



NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
6:00 P.M. – October 14, 2021
30360 Cougar Bend, Bulverde, TX 78163

MEETING AGENDA

1) CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL

2) APPROVAL OF MINUTES

- a. September 16, 2021, Planning and Zoning Commission meeting.
- b. September 28, 2021, Special Planning and Zoning Commission meeting.

3) REGULAR AGENDA ITEMS

- A. PC-21-17 (Final): Consider the approval of a Final Plat for Park Village, Unit 6, generally located near the intersection of Lobo Park and Blenheim Park.
- B. PC-21-18 (Final): Consider the approval of a Final Plat for Park Village, Unit 8, generally located near the intersection of Lobo Park and Blenheim Park.
- C. PC-21-19 (Final): Consider the approval of a Final Plat for Park Village, Unit 9, generally located near the intersection of Lobo Park and Blenheim Park.
- D. ZC-21-05: Hold a public hearing and consider a Zone Change from R-3 Residential Zoning District to R-2 Residential Zoning District on an approximately 0.42-square miles of land, generally located approximately 1.3 miles west of the intersection of East Amman Road and Bulverde Road.
- E. ZC-21-06: Hold a public hearing and consider an initial Zoning Designation of R-2, Residential District, for approximately 0.270 square miles of land generally located on the east side of Blanco Road approximately 1.2 miles south of State Hwy 46.
- F. VR-21-04: Consider a request by Noah's Ark Development for a variance to Section 17.04.003, related to Cuts, and Section 17.04.004, related to Fills, of the City of Bulverde Code of Ordinances, on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.
- G. VR-21-05: Consider a request by Noah's Ark Development for a variance to Chapter 17, Section 17.06.009, related to Tree Removal and Mitigation, of the City of Bulverde Code of Ordinances, on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.
- H. VR-21-06: Consider a request by Noah's Ark Development for a variance to Section 17.03.005, related to Disturbance of Slope Areas, of the City of Bulverde Code of Ordinances, on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.
- I. PDD-21-04: Hold a public hearing and consider a PDD Zone Change request to amend the existing C-2 Commercial District to a PDD Planned Development District on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.

4) EXECUTIVE SESSION

The Planning and Zoning Commission reserves the right to adjourn into executive session at any time regarding any item on the agenda for any reason authorized by Chapter 551, Texas Government Code, including but not limited to the following sections:

551.071 – Consultation with attorney

551.072 – Deliberations regarding real property

5) PUBLIC COMMENTS NOT RELATED TO POSTED AGENDA ITEMS

Persons desiring to address the Commission regarding issues not on the agenda will be received at this time. Those wishing to speak should present a completed comment form to the Chair prior to the meeting. Speakers are limited to 3 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the Commission cannot take action on items not listed on the meeting agenda.

6) REPORT BY CITY OFFICIALS AND STAFF ON ITEMS OF COMMUNITY INTEREST

In accordance with Section 551.0415 of the Government Code, topics discussed under this item are limited to expressions of thanks, congratulations or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial or community event; and Announcements involving an imminent threat to the public health and safety of people in the political subdivision that has arisen after the posting of the agenda.

7) ADJOURNMENT

City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations must be made 48 hours prior to the meeting. Please contact the City Secretary at 830.980.8832 or FAX 830.438.4339 for information or assistance. I, the undersigned authority, do hereby certify that the above Notice of Meeting was posted on the bulletin board in front of Bulverde City Hall, which is always readily accessible to the public, by 5:00 pm on October 11, 2021.

Susana Huerta, AICP
Planning Director

These minutes have been prepared to satisfy the requirements of Section 551.021 of the Texas Government Code. Recordings of most City meetings are available at www.bulverdetx.gov

City of Bulverde Planning & Zoning Commission Minutes
Regular Commission Meeting: September 16, 2021

Meeting Duration: 6:00pm-7:16pm

CALL TO ORDER

Commission Members Present: Lindy Sisk (Chairman), Seth Prescott, Michelle Molina, Jeffrey Burrier, Ted Hawkins, Gregory Porter, Michael Beavers (Alternate), Joe Alexandre (Vice Chair)

Commission Members Absent: None

City Staff Present: Susana Huerta (Planning Director), Adrian Garcia (City Engineer) Jason Rammel (City Attorney), Eron Spencer (Planner I), Grant Fore (Planner I)

APPROVAL OF MINUTES

- a. August 12, 2021 Planning and Zoning Commission Meeting. **Chairman Sisk made a motion to approve the meeting minutes, motion seconded by Commissioner Molina. Motion passed 7-0.**
- b. September 2, 2021 Special Planning and Zoning Commission Meeting. **Chairman Sisk made a motion to approve the meeting minutes, motion seconded by Commissioner Hawkins. Motion passed 7-0.**

REGULAR AGENDA ITEMS

- A. PC-21-15 (MDP): Reconsideration of a Master Development Plan (MDP) Amendment for Belle Oaks Ranch, generally located on the east side of Blanco Road, approximately 1.2 miles south of State Highway 46. **Eron Spencer, Planner I, presented the staff report for this agenda item to the commission. After further discussion and consideration, Commissioner Molina made a motion, seconded by commissioner Burrier to recommend denial of the Master Development Plan (MDP) Amendment, due to the deficiencies in the submittal. Motion passed 7-0.**
- B. PC-21-16 (Replat): Consider the approval of a Replat (Revision) for Lot 22 & 23, Block 10, Belle Oaks Ranch Phase IV, generally located on the east side of Blanco Road approximately 1.2 miles south of State Highway 46. **Eron Spencer, Planner I, presented the staff report for this agenda item to the commission. After further discussion and consideration, Commissioner Hawkins made a motion to recommend approval of PC-21-16, seconded by Commissioner Prescott. Motion passed 7-0.**
- C. SUP-21-05: Hold a public hearing and consider a request by Ashley & Chisum Cooke for the approval of a Special Use Permit to allow an outdoor vendors market to be operated on an approximately 8.029-acre tract of land at 2541 Bulverde Road. **Director Huerta presented the staff report for this agenda item to the commission and answered questions asked by the commission. Mr. and Mrs. Cooke also gave a presentation providing more information on their proposed market. After further consideration and discussion, Vice Chairman Alexandre made a motion to recommend approval of SUP-21-05, with the following conditions that were recommended by city staff: 1) All activities associated with the outdoor vendors market, including parking of patrons and vendors, must be located within the improved, hard surfaced areas of the property as shown in the site plan, or apply to be considered for a variance from this requirement; 2) All activities associated with the outdoor vendors market must not be in violation of any laws or codes related to noise, nuisances or food safety, or otherwise have a negative effect on the health, safety, or welfare of the public or surrounding properties; 3) No signs, vendor merchandise, or other market items are allowed to be stored or displayed outside of the market's operating hours; 4) No other special uses are allowed under this special use permit. The motion was seconded by Commissioner Porter, and the motion passed 7-0.**

- D. ZC-21-03: Hold a public hearing and consider a Zone Change from AG Agricultural Zoning District to R-2 Residential Zoning District on an approximately 0.02-square mile strip of land, generally located on the east side of Blanco Road approximately 1.2 miles south of State Highway 46. **Director Huerta presented the staff report for this agenda item to the commission and answered questions asked by the commission. After further consideration and discussion, Chairman Sisk made a motion to recommend approval of ZC-21-03, seconded by Commissioner Prescott. Motion passed 7-0.**
- E. ZC-21-04: Hold a public hearing and consider a Zone Change from AG Agricultural Zoning District and R-2 Residential Zoning District to R-1 Residential Zoning District on an approximately 0.04-square mile strip of land, generally located at 7055 FM 1863. **Director Huerta presented the staff report for this agenda item to the commission and answered questions asked by the commission. After further consideration and discussion, Commissioner Molina made a motion to recommend approval of ZC-21-04, seconded by Chairman Sisk. Motion passed 7-0.**

PUBLIC COMMENTS

None

REPORT BY CITY OFFICIALS AND STAFF ON ITEMS OF COMMUNITY INTEREST

Director Huerta announced the resignation of Eron Spencer, Planner I, and expressed best wishes as he moves forward in his career.

ADJOURNMENT

There being no further business to come before the Commission, the meeting adjourned at 7:16p.m. I certify that the above minutes were approved by the Commission on October 14, 2021.

Maria Franco, City Secretary

These minutes have been prepared to satisfy the requirements of Section 551.021 of the Texas Government Code. Recordings of most City meetings are available at www.bulverdetx.gov

City of Bulverde Planning & Zoning Commission Minutes
Special Commission Meeting: September 28, 2021

Meeting Duration: 6:00pm-7:03pm

CALL TO ORDER

Commission Members Present: Lindy Sisk (Chairman), Seth Prescott, Michelle Molina, Ted Hawkins, Gregory Porter, Joe Alexandre (Vice Chair)

Commission Members Absent: Jeffrey Burrier, Michael Beavers (Alternate),

City Staff Present: Susana Huerta (Planning Director), Adrian Garcia (City Engineer) Jason Rammel (City Attorney), Grant Fore (Planner I)

REGULAR AGENDA ITEMS

- A. CA-21-09: Public Hearing and Consideration of an Ordinance of the City Council of the City of Bulverde, Texas, amending Chapter 14, Zoning, The City of Bulverde Code of Ordinances by amending the Use Table in Section 14.04.002 to delete specific columns for Special Use Permits and Planned Development Districts and to allow Caretaker's Quarters in the R-2, R-3, R-4, and R-5 Residential Districts by Special Use Permit; repealing conflicting Ordinances; providing a severability clause; and providing an effective date. **Director Huerta presented the staff report for this agenda item to the commission and answered questions asked by the commission. After further consideration and discussion, Commissioner Prescott made a motion to recommend to city council to consider an ordinance amending the zoning use table, to allow caretakers quarters, guest houses and home offices in R-2 zoning as a permitted use with a special use permit, with caretakers quarters, guest houses and home offices continuing to not be permitted in R-3, R-4 and R-5 zoning. The motion was seconded by Commissioner Hawkins and passed with a 6-0 vote.**
- B. CA-21-10: Public Hearing and Consideration of an Ordinance of the City of Bulverde, Texas, Amending Chapter 14, Zoning, The City of Bulverde Code of Ordinances, by amending Section 14.15.008 to remove the Bulverde Hills and Bulverde Estates from Relaxed Setback Requirements; repealing conflicting ordinances; providing a severability clause; and providing an effective date. **Director Huerta presented the staff report for this agenda item to the commission and answered questions asked by the commission. After further consideration and discussion, Vice Chairman Alexandre made a motion to recommend approval of the amendment as presented. The motion was seconded by Chairman Sisk and passed with a 5-0 vote, with Commissioner Prescott abstaining.**

PUBLIC COMMENTS

None

REPORT BY CITY OFFICIALS AND STAFF ON ITEMS OF COMMUNITY INTEREST

ADJOURNMENT

There being no further business to come before the Commission, the meeting adjourned at 7:03p.m. I certify that the above minutes were approved by the Commission on October 14, 2021.

Maria Franco, City Secretary



PLANNING AND ZONING COMMISSION ITEM:
PC-21-17
FINAL PLAT
PARK VILLAGE, UNIT 6

MEETING DATE: October 14, 2021
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Consider the approval of a Final Plat for Park Village, Unit 6, generally located near the intersection of Lobo Park and Blenheim Park.

APPLICANT:

Two Seventy-Seven, LTD
8023 Vantage Drive, Suite 1200
San Antonio, TX
210-524-4000

PROPERTY INFORMATION:

Owner: Two Seventy Seven, LTD.
Legal Description: 43.269 ACRES; SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.39 ACRES SITUATED IN THE J. WEBB SURVEY NO. 237, ABSTRACT 665.
Size: 43.269 acres; 108 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed final plat for Unit 6 of the Park Village Development, located at the northwest corner of the City in the City's Extraterritorial Jurisdiction.

ANALYSIS:

This proposed Final Plat is for approximately 43.269 acres of vacant property and establishes 108 single family residential lots.

The proposed subdivision lies completely outside the City Limits. No portion of this proposed final plat lies within the 100-yr floodplain. Water is being provided by Canyon Lake Water Service Company and sewer service will be provided by an on-site package treatment plant.

Halff Associates and City Staff have reviewed the proposed Final Plat and related required documents including a drainage analysis and traffic impact analysis and have determined that the submittal meets the requirements in the Subdivision Ordinance and the approved Development Agreement for the development.

Therefore, Staff recommends **approval** of this final plat.

ATTACHMENTS:

Application

Final Plat

Halff Acceptance Memo



APPLICATION FOR FINAL PLAT

Planning & Development Department
 30360 Cougar Bend, Bulverde, TX 78163
 Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

1. Name of Subdivision: Park Village Unit No 6
 Location Description/Nearest Intersection: Lobo Park & Blenheim Park

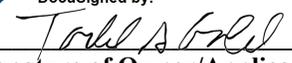
2. Owner/Applicant: Two Seventy Seven, Ltd. (Todd Gold)
 Address: 8023 Vantage Drive, Suite 1200 Email: tgold@reocsanantonio.com
 Telephone: (210) 524-4000 Fax: (210) 524-4029 Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): Cude Engineers (Kyle Hudek)
 Address: 4122 Pond Hill Rd., Suite 101 Email: khudek@cudeengineers.com
 Telephone: (210) 681-2951 Fax: (210) 523-7112 Mobile: _____

4. Property Details:

City Limits:	<u> </u> In <u> </u> <u> </u> Out (ETJ)	Water Source:	<u> </u> CLWSC
Commercial:	<u> </u> Yes <u> </u> <u> </u> No	Sewage Treatment:	<u> </u> GBRA
Residential:	<u> </u> Yes <u> </u> <u> </u> No		
No. of Lots:	<u> </u> 108	TxDOT Frontage:	<u> </u> Yes <u> </u> <u> </u> No
Total Acreage without floodplain:	<u> </u> 43.227	100-Year Floodplain:	<u> </u> Yes <u> </u> <u> </u> No
Density Class:	<u> </u> High Density	Edwards Aquifer Zone:	<u> </u> Recharge
Zoning Class:	<u> </u> N/A		<u> </u> Contributing

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.

DocuSigned by:

 Signature of Owner/Applicant

1/20/2021
 Date

Fees and Submittal Dates on Page 2

Fees:**Final Plats**

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
 \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 – (0-5 acres)
 \$2500 + \$10/lot – (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
 \$2500 + \$10/acre (5+ acres)

Subdivision Improvement Construction Plan Review

- \$2500

Subdivision Improvement Construction Inspection

- \$50 + \$2.00/LF of each infrastructure improvement to be inspected

Subdivision Improvement Construction Deposit for Multiple Inspections

- \$50 + \$2.00/LF of each infrastructure improvement to be inspected

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



Planning and Development Final Plat Application Checklist

**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Final Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
 - SICP Fee
- 2 copies of the Final Utility Layout showing all proposed utilities and easements
- 2 copies of the Final Traffic Impact Analysis
- 2 copies of construction cost projections for improvements required herein. Cost projections prepared without complete and approved construction plans shall include at a minimum a 10% design phase contingency and a 15% construction contingency.
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Final Drainage Study
- 1 copy of the recorded deed
- 1 copy of each letter approving the Final Plat reviewed by all utilities that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - Electric Utility
 - Gas Utility
 - Public Water System
 - Telephone Utility
 - Cable TV Utility
 - TxDOT
 - TCEQ
 - Other agencies or entities having jurisdiction
- Variance Requests (if any)
- Original Tax Certificates
 - City
 - County
 - School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat

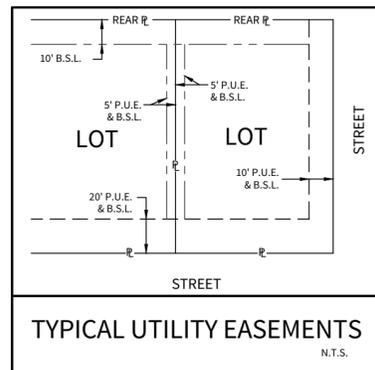
Reviewed by:

Date:

Case Number:



- LEGEND**
- AC. = ACRES
 - BLK. = BLOCK
 - B.S.L. = BUILDING SETBACK LINE
 - C1 = CURVE NUMBER
 - DOC. = DOCUMENT
 - DRN. = DRAINAGE
 - ELEC. = ELECTRIC
 - ESMT. = EASEMENT
 - EX. = EXISTING
 - GBRA = GUADALUPE-BLANCO RIVER AUTHORITY
 - G.P.M. = GALLONS PER MINUTE
 - F.I.R. = FOUND IRON ROD
 - L1 = LINE NUMBER
 - LTD. = LIMITED
 - MSL. = MEAN SEA LEVEL
 - N.A.D. = NORTH AMERICAN DATUM
 - NO. = NUMBER
 - N.T.S. = NOT TO SCALE
 - O.P.R.C.C.T. = OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS
 - PERM. = PERMEABLE
 - PG. = PAGE
 - PGS. = PAGES
 - P.U.E. = PUBLIC UTILITY EASEMENT
 - R.O.W. = RIGHT-OF-WAY
 - SAN. SEW. = SANITARY SEWER
 - VAR. = VARIABLE
 - WAT. = WATER
 - WID. = WIDTH
 - W.W.T.P. = WASTE WATER TREATMENT PLANT
 - = STREET CENTERLINE
 - - - = BUILDING SETBACK LINE
 - = CITY LIMIT LINE
 - = EXISTING GROUND MAJOR CONTOUR
 - = EXISTING GROUND MINOR CONTOUR
 - = 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "CUDE"



STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

M.W. CUDE ENGINEERS, L.L.C.
YURI V. BALMaceda WHEELLOCK, R.P.L.S.

REGISTERED PROFESSIONAL LAND SURVEYOR
R.P.L.S. #6815

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF COMAL COUNTY.

M.W. CUDE ENGINEERS, L.L.C.
JEFFREY A. MCKINNIE, P.E.

LICENSED PROFESSIONAL ENGINEER NO. 89393

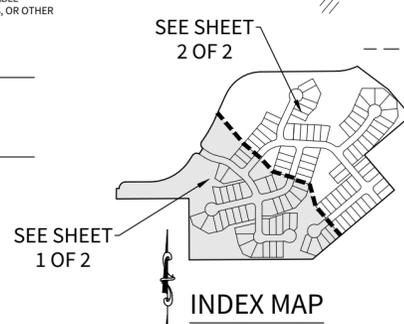
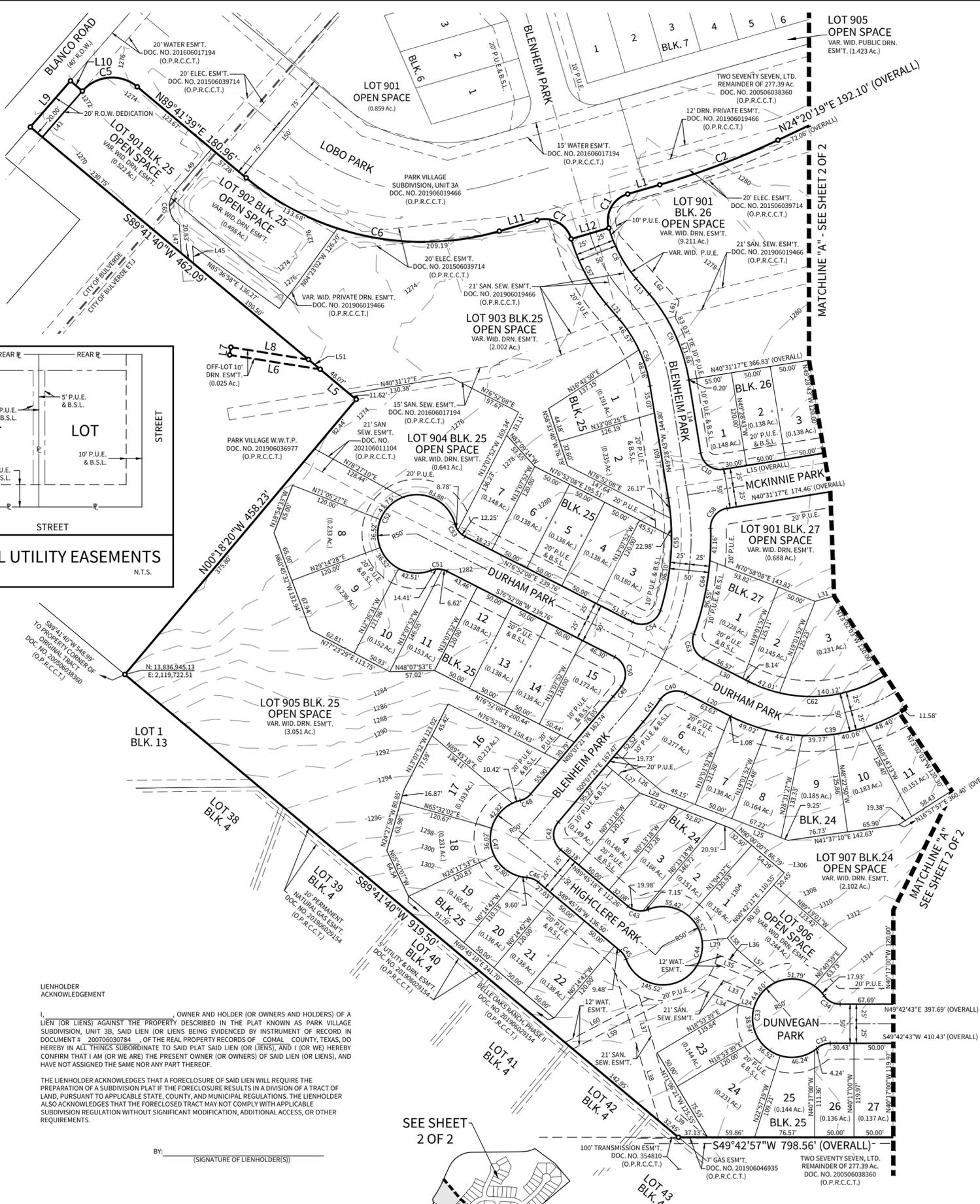
THIS PLAT OF PARK VILLAGE SUBDIVISION, UNIT 6 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF BULVERDE PLANNING AND ZONING COMMISSION, COMAL COUNTY, TEXAS AND IS HEREBY APPROVED FOR THE FILING BY SAID COMMISSION. DATED THIS ___ DAY OF A.D., 2021.

BY: _____
CHAIRMAN
CITY OF BULVERDE
PLANNING AND ZONING COMMISSION

STATE OF TEXAS
COUNTY OF COMAL

I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE ON THE ___ DAY OF ___ A.D. AT ___ M. AND DULY RECORDED THE ___ DAY OF ___ A.D. AT ___ M. IN THE RECORDS OF MAPS AND PLATS IN SAID OFFICE, OF SAID COUNTY, IN DOCUMENT NUMBER _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS ___ DAY OF ___ A.D.

BY: _____
COUNTY CLERK, COMAL COUNTY, TEXAS



FINAL SUBDIVISION PLAT
ESTABLISHING
PARK VILLAGE SUBDIVISION, UNIT 6

A SUBDIVISION PLAT ESTABLISHING 108 RESIDENTIAL LOTS AND 11 OPEN SPACE LOTS, CONTAINING 43.269 ACRES, SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.39 ACRES DESCRIBED IN THE DEED FROM BELLE OAKS RANCH, LTD. TO TWO SEVENTY SEVEN PARK VILLAGE, LTD. RECORDED UNDER DOCUMENT NO. 200506038360, O.P.R.C.C.T., SITUATED IN THE H. KABELMACHER SURVEY 936, ABSTRACT 842 AND M. MCVICAR SURVEY 238, ABSTRACT 387, COMAL COUNTY, TEXAS.

M.W. CUDE ENGINEERS, L.L.C.
4122 POND HILL RD. • S-101
SAN ANTONIO, TEXAS 78231
T:210.681.2951 • F:210.523.7112
WWW.CUDEENGINEERS.COM
TBPE #455 • TBPLS #10048500
MWC: JEFFREY A. MCKINNIE
PRJ. NO.: 03021.015

SCALE: 1"=100'

STATE OF TEXAS
COUNTY OF COMAL
KNOW ALL MEN BY THESE PRESENTS:

THE OWNER OF THE LAND SHOWN ON THIS PLAT WHOSE NAME IS SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER
TWO SEVENTY SEVEN LTD.

8023 VANTAGE DRIVE, SUITE 1200
SAN ANTONIO, TEXAS 78230
PHONE: (210) 524-4000
CONTACT PERSON: TODD A. GOLD

OWNER'S NAME

STATE OF TEXAS
COUNTY OF COMAL

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ___ DAY OF ___

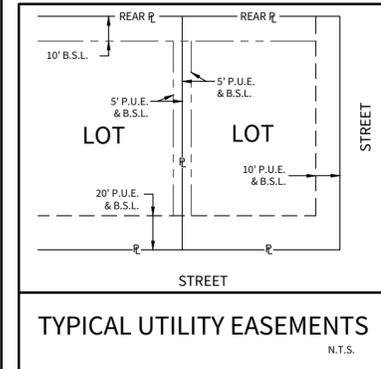
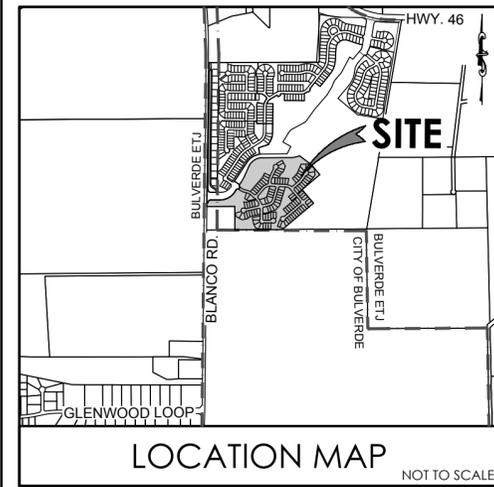
PRINT NOTARY'S NAME _____ NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

- GUADALUPE-BLANCO RIVER AUTHORITY NOTES:**
1. THE GUADALUPE-BLANCO RIVER AUTHORITY (GBRA) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
 2. TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
 3. OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN GBRA EASEMENTS OR WITHIN 10 FEET OF GBRA UTILITIES, WHICHEVER IS GREATER.
 4. DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
 5. MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 6. THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
 7. CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

EASEMENT STATEMENT

PROPERTY OWNERS ARE ADVISED THAT THEY ARE RESPONSIBLE FOR MAINTENANCE OF DEDICATED EASEMENTS ON THEIR PROPERTY AND MAY NOT UTILIZE THESE EASEMENTS FOR ANY PURPOSE DETRIMENTAL TO THEIR INTENDED USE (I.E. NO STRUCTURES, SEPTIC TANK FIELDS, ETC.). GRANTEES OF SAID DEDICATED EASEMENTS RESERVE THE RIGHT OF ACCESS TO SUCH EASEMENTS.

- GENERAL PLATTING NOTES**
1. 1/2" IRON RODS WITH "CUDE" CAP SET AT LOT CORNERS.
 2. ALL COORDINATES SHOWN ARE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE 4204. ALL DISTANCES GIVEN HEREON ARE SURFACE. TO CONVERT TO GRID, APPLY SCALE FACTOR OF 0.99987. TO CONVERT GRID COORDINATES TO SURFACE, SCALE 1.00013. COORDINATES SHOWN HEREON ARE SURFACE COORDINATES. (CONTOURS ESTABLISHED USING VERTICAL DATUM NAVD 88.)
 3. THIS PROPERTY LIES WITHIN THE CITY OF BULVERDE AND AN EXTRATERRITORIAL JURISDICTION OF THE CITY OF BULVERDE.
 4. THIS PROPERTY WILL BE SERVED BY A STATE CERTIFIED PUBLIC WATER SUPPLY SYSTEM. MINIMUM WATER PRESSURE REQUIREMENTS BASED ON TCEQ CURRENT STANDARDS CAN BE MET AT THE PROPOSED METER LOCATION FOR ALL LOTS. ADEQUATE PRESSURE FOR NORMAL DOMESTIC USE AT ELEVATIONS GREATER THAN 1120 FT. MSL CANNOT BE GUARANTEED. PRIVATE BOOSTER SYSTEM MAY BE REQUIRED.
 5. THIS PROPERTY IS SERVED BY A CENTRALIZED SEWER TREATMENT SYSTEM, COMAL COUNTY WCID NO. 6.
 6. THIS PROPERTY LIES WITHIN THE CONTRIBUTING ZONE TO THE EDWARDS AQUIFER.
 7. 108 LOTS, BEING 43.227 ACRES, 11 OPEN SPACES.
 8. OPEN SPACE LOT 901-907 BLK. 25, LOTS 901, 903 AND 904 BLK. 26, LOT 902 BLK. 22, LOT 901 BLK. 27 ARE A SUBSTANDARD LOT AND DRAINAGE EASEMENT FOR STORM WATER CONVEYANCE, DETENTION, AND TREATMENT. HABITABLE STRUCTURES ARE PROHIBITED.
 9. ALL DEVELOPABLE LOTS TO HAVE A 20' FRONT SETBACK, 10' REAR SETBACK, 5' SIDE SETBACK AND 10' SIDE SETBACK WHEN ADJACENT TO ROADWAY.
 10. ROADWAY LENGTH = 4,819 LF.
 11. ALL DEVELOPABLE LOTS TO HAVE A 20' FRONT P.U.E., 5' SIDE P.U.E., AND 10' SIDE P.U.E. WHEN ADJACENT TO ROADWAY.



LEGEND

- AC. = ACRES
- BLK. = BLOCK
- B.S.L. = BUILDING SETBACK LINE
- C1 = CURVE NUMBER
- DOC. = DOCUMENT
- DRN. = DRAINAGE
- ELEC. = ELECTRIC
- ESMT. = EASEMENT
- EX. = EXISTING
- GBRA = GUADALUPE-BLANCO RIVER AUTHORITY
- G.P.M. = GALLONS PER MINUTE
- F.I.R. = FOUND IRON ROD
- L1 = LINE NUMBER
- LTD. = LIMITED
- MSL = MEAN SEA LEVEL
- N.A.D. = NORTH AMERICAN DATUM
- NO. = NUMBER
- N.T.S. = NOT TO SCALE
- O.P.R.C.C.T. = OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS
- PERM. = PERMEABLE
- PG. = PAGE
- PSS. = PAGES
- P.U.E. = PUBLIC UTILITY EASEMENT
- R.O.W. = RIGHT-OF-WAY
- SAN. SEW. = SANITARY SEWER
- VAR. = VARIABLE
- WAT. = WATER
- WID. = WIDTH
- W.W.T.P. = WASTE WATER TREATMENT PLANT
- - - = STREET CENTERLINE
- - - - - = BUILDING SETBACK LINE
- - - - - = CITY LIMIT LINE
- - - - - = EXISTING GROUND MAJOR CONTOUR
- - - - - = EXISTING GROUND MINOR CONTOUR
- = 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "CUDE"

LINE TABLE

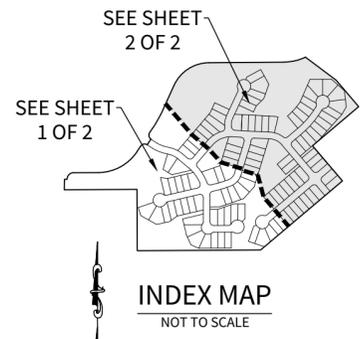
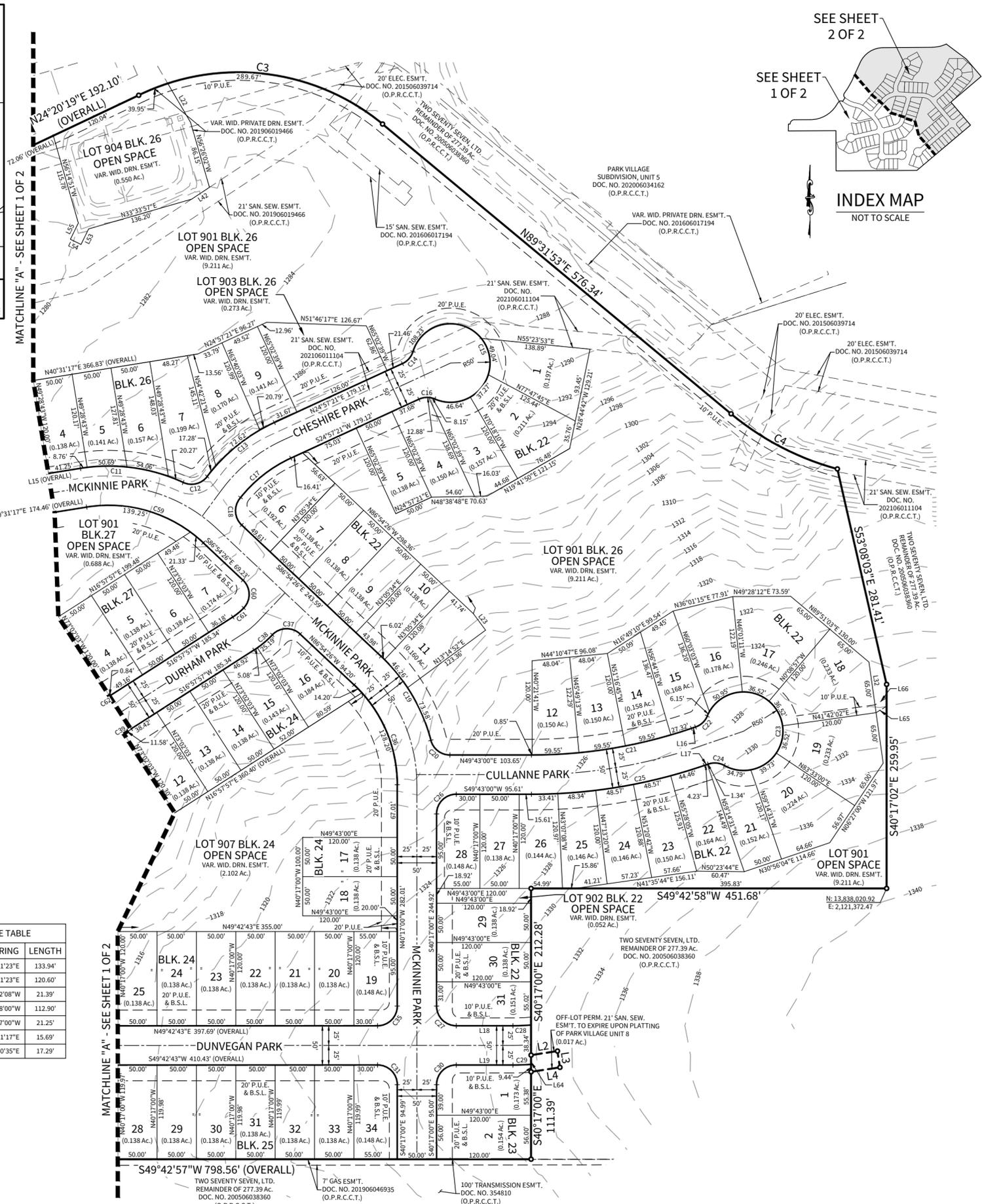
LINE	BEARING	LENGTH
L1	N33°33'58"E	42.49'
L2	N40°59'05"E	33.89'
L3	S49°00'55"E	21.00'
L4	S40°59'05"W	37.11'
L5	S89°41'40"W	59.69'
L6	S58°46'36"W	116.82'
L7	N31°12'55"W	10.00'
L8	N58°46'36"E	100.12'
L9	N00°39'47"E	77.96'
L10	S89°20'13"E	20.00'
L11	N33°33'58"E	50.05'
L12	N33°33'58"E	50.00'
L13	S80°33'34"E	25.92'
L14	S49°28'43"E	94.80'
L15	N40°31'17"E	171.25'
L16	N30°45'29"E	5.57'
L17	S30°45'29"W	5.57'
L18	N49°42'43"E	71.99'
L19	S49°42'43"W	72.00'
L20	S76°52'08"W	64.71'
L21	N80°33'34"W	25.92'
L22	N70°36'55"W	57.37'
L23	N76°45'08"W	26.21'
L24	N64°28'44"E	20.83'
L25	N70°58'08"E	171.61'

LINE TABLE

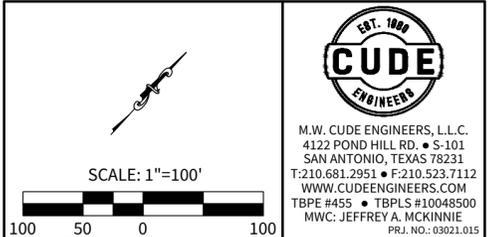
LINE	BEARING	LENGTH
L26	N89°45'18"E	76.07'
L27	N89°45'18"E	55.03'
L28	N70°58'08"E	126.55'
L29	N42°55'31"E	32.44'
L30	S76°52'08"W	64.71'
L31	N34°00'33"E	25.14'
L32	N48°17'58"W	130.00'
L33	N72°19'26"E	48.80'
L34	N72°19'26"E	55.89'
L35	N72°12'42"E	52.51'
L36	N72°12'42"E	60.77'
L37	N56°39'59"W	149.78'
L38	N56°39'59"W	196.85'
L39	N89°41'40"E	58.86'
L40	N00°39'47"E	77.62'
L41	N00°39'47"E	77.62'
L42	N16°09'15"E	27.18'
L43	S44°15'10"E	22.80'
L44	N44°15'10"W	36.28'
L45	N00°44'33"E	70.72'
L46	S89°41'40"W	19.46'
L47	N14°13'57"W	22.01'
L48	N75°46'03"E	15.00'
L49	N14°13'57"W	22.95'
L50	N89°19'01"W	66.73'
L51	N79°41'21"W	16.99'

LINE TABLE

LINE	BEARING	LENGTH
L52	N22°11'23"E	133.94'
L53	N22°11'23"E	120.60'
L54	N26°52'08"W	21.39'
L55	N82°18'00"W	112.90'
L56	N40°17'00"W	21.25'
L57	N18°31'17"E	15.69'
L58	N18°40'35"E	17.29'



FINAL SUBDIVISION PLAT
ESTABLISHING
PARK VILLAGE SUBDIVISION, UNIT 6
A SUBDIVISION PLAT ESTABLISHING 108 RESIDENTIAL LOTS AND 11 OPEN SPACE LOTS, CONTAINING 43.269 ACRES, SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.39 ACRES DESCRIBED IN THE DEED FROM BELLE OAKS RANCH, LTD. TO TWO SEVENTY SEVEN PARK VILLAGE, LTD. RECORDED UNDER DOCUMENT, 200506038360, O.P.R.C.C.T., SITUATED IN THE H. KABELMACHER SURVEY #936, ABSTRACT 842 AND M. MCVICAR SURVEY #238, ABSTRACT 387, COMAL COUNTY, TEXAS.



CUDE ENGINEERS
EST. 1960
M.W. CUDE ENGINEERS, L.L.C.
4122 POND HILL RD. • S-101
SAN ANTONIO, TEXAS 78231
T:210.681.2951 • F:210.523.7112
WWW.CUDEENGINEERS.COM
TBPE #455 • TBPIS #10048500
MWC: JEFFREY A. MCKINNIE
PRJ. NO.: 03021.015

CURVE TABLE

CURVE	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD	LENGTH
C1	35.00'	90°00'00"	35.00'	N11°26'02"W	49.50'	54.98'
C2	1000.00'	9°13'34"	80.70'	N28°57'08"E	160.87'	161.05'
C3	288.07'	65°33'34"	185.50'	N56°28'15"E	311.93'	329.62'
C4	356.43'	24°39'26"	77.90'	N77°12'10"E	152.21'	153.39'
C5	50.00'	89°01'52"	49.16'	N45°10'43"E	70.11'	77.69'
C6	350.00'	56°07'41"	186.60'	N61°37'48"E	329.32'	342.87'
C7	35.00'	90°00'00"	35.00'	N78°33'58"E	49.50'	54.98'
C8	175.00'	24°07'31"	37.40'	S68°29'48"E	73.14'	73.69'
C9	225.00'	31°04'50"	62.57'	S65°01'09"E	120.56'	122.05'
C10	25.00'	90°00'00"	25.00'	N85°31'17"E	35.36'	39.27'
C11	225.00'	34°03'55"	68.93'	N57°33'14"E	131.81'	133.77'
C12	25.00'	77°48'58"	20.18'	N35°40'43"E	31.40'	33.95'
C13	225.00'	28°11'07"	56.49'	N10°51'47"E	109.57'	110.68'
C14	25.00'	48°11'23"	11.18'	N00°51'40"E	20.41'	21.03'
C15	50.00'	276°22'46"	44.72'	S65°02'39"E	66.67'	241.19'
C16	25.00'	48°11'23"	11.18'	S49°03'02"W	20.41'	21.03'
C17	175.00'	27°26'59"	42.74'	S11°13'52"W	83.04'	83.84'
C18	25.00'	84°24'48"	22.67'	S44°42'02"E	33.59'	36.83'
C19	225.00'	32°02'59"	64.62'	S70°52'57"E	124.22'	125.86'
C20	25.00'	75°25'32"	19.33'	N87°25'47"E	30.59'	32.91'
C21	625.00'	18°57'32"	104.36'	N40°14'15"E	205.87'	206.81'
C22	25.00'	48°11'23"	11.18'	N06°39'47"E	20.41'	21.03'
C23	50.00'	276°22'46"	44.72'	S59°14'31"E	66.67'	241.19'
C24	25.00'	48°11'23"	11.18'	S54°51'10"W	20.41'	21.03'
C25	675.00'	18°57'32"	112.71'	S40°14'15"W	222.34'	223.35'
C26	25.00'	90°00'00"	25.00'	S04°43'00"W	35.36'	39.27'
C27	25.00'	90°00'21"	25.00'	S85°17'09"E	35.36'	39.27'
C28	275.00'	4°47'56"	11.52'	N47°18'45"E	23.03'	23.03'
C29	325.00'	4°03'31"	11.52'	S47°40'58"W	23.02'	23.02'
C30	25.00'	89°59'42"	25.00'	S04°42'52"W	35.35'	39.27'
C31	25.00'	90°00'17"	25.00'	N85°17'08"W	35.36'	39.27'
C32	25.00'	40°30'45"	9.23'	S29°27'21"W	17.31'	17.68'
C33	50.00'	275°32'53"	45.38'	N33°01'35"W	67.21'	240.46'
C34	25.00'	55°02'08"	13.02'	N77°13'47"E	23.10'	24.01'
C35	25.00'	89°59'43"	25.00'	N04°42'52"E	35.35'	39.27'
C36	175.00'	46°37'26"	75.41'	N63°35'43"W	138.51'	142.40'
C37	25.00'	90°00'00"	25.00'	S48°05'34"W	35.36'	39.27'
C38	125.00'	13°52'23"	15.21'	S10°14'46"W	30.19'	30.27'
C39	225.00'	59°54'11"	129.65'	S46°55'03"W	224.67'	235.24'
C40	25.00'	82°38'03"	21.98'	S35°33'07"W	33.01'	36.06'
C41	365.00'	5°38'34"	17.99'	S02°56'38"E	35.93'	35.95'
C42	25.00'	90°07'21"	25.05'	S45°11'01"E	35.39'	39.32'
C43	25.00'	62°10'55"	15.08'	N58°39'51"E	25.82'	27.13'
C44	50.00'	272°06'30"	48.19'	S16°22'21"E	69.40'	237.46'
C45	25.00'	29°55'35"	6.68'	N75°16'54"W	12.91'	13.06'
C46	25.00'	36°05'26"	8.14'	S71°42'35"W	15.49'	15.75'
C47	50.00'	162°19'58"	321.73'	N45°10'08"W	98.81'	141.66'
C48	25.00'	36°07'12"	8.15'	N17°56'15"E	15.50'	15.76'
C49	315.00'	3°04'49"	8.47'	N01°39'46"W	16.93'	16.94'
C50	25.00'	99°55'41"	29.76'	N53°10'01"W	38.28'	43.60'
C51	25.00'	48°11'23"	11.18'	S52°46'27"W	20.41'	21.03'
C52	50.00'	276°22'46"	44.72'	N13°07'52"W	66.67'	241.19'
C53	25.00'	48°11'23"	11.18'	S79°02'11"E	20.41'	21.03'
C54	25.00'	99°55'41"	29.76'	N26°54'17"E	38.28'	43.60'
C55	315.00'	26°25'10"	73.94'	N36°16'08"W	143.97'	145.25'
C56	175.00'	31°04'50"	48.66'	N65°01'09"W	93.77'	94.93'
C57	225.00'	24°07'31"	48.08'	N68°29'48"W	94.04'	94.74'
C58	25.00'	82°38'03"	21.98'	N00°47'45"W	33.01'	36.06'
C59	175.00'	52°34'17"	86.44'	N66°48'25"E	155.00'	160.57'
C60	25.00'	90°00'00"	25.00'	S41°54'26"E	35.36'	39.27'
C61	75.00'	13°52'23"	9.12'	S10°14'46"W	18.12'	18.16'
C62	175.00'	59°54'11"	100.84'	S46°55'03"W	174.74'	182.96'
C63	25.00'	82°38'03"	21.98'	N61°48'51"W	33.01'	36.06'
C64	365.00'	21°36'57"	69.68'	N31°18'18"W	136.89'	137.70'
C65	29.50'	95°41'40"	32.59'	N47°06'16"W	43.74'	49.27'

REVIEW MEMORANDUM

TO: Jeffrey McKinnie, P.E.
Cude Engineers
jmckinnie@cudeengineers.com
4122 Pond Hill Rd, Ste. 101
San Antonio, TX 78231

FROM: Sam Edwards, PE, CFM
sedwards@half.com

SUBJECT: Park Village Unit 6 Final Plat Acceptance **DATE:** September 23, 2021
PC-21-17

Half Associates, on behalf of the City of Bulverde, has performed a review on the Park Village Unit 6 Final Plat, dated 9/8/2021. The review was conducted relative to the requirements established in the vested Subdivision Ordinance 258-07-09-25 of the City of Bulverde AND the Development Agreement dated July 31, 2014 with Two Seventy Seven, LTD. Based on our review of the referenced documents, Half Associates has no comments and recommends approval of the Park Village Unit 6 Final Plat at the next available Planning & Zoning meeting.

Plat specifications, Ordinance Section 1.05(b)

No comments

Plat Supporting Documents, Ordinance Section 1.04(c)

No comments

General Design 2.03(c)

No comments

Streets 2.04(a)

No comments

Storm Water Management Plan / Drainage Analysis

No comments

Design Plans

No comments



PLANNING AND ZONING COMMISSION ITEM:
PC-21-18
FINAL PLAT
PARK VILLAGE, UNIT 8

MEETING DATE: October 14, 2021
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Consider the approval of a Final Plat for Park Village, Unit 8, generally located near the intersection of Lobo Park and Blenheim Park.

APPLICANT:

Two Seventy-Seven, LTD
8023 Vantage Drive, Suite 1200
San Antonio, TX
210-524-4000

PROPERTY INFORMATION:

Owner: Two Seventy Seven, LTD.
Legal Description: 23.856 ACRES; SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.39 ACRES SITUATED IN THE J. WEBB SURVEY NO. 237, ABSTRACT 665.
Size: 23.856 acres; 66 residential lots / 5 open space lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed final plat for Unit 8 of the Park Village Development, located at the northwest corner of the City in the City's Extraterritorial Jurisdiction.

ANALYSIS:

This proposed Final Plat is for approximately 23.856 acres of vacant property and establishes 66 single family residential lots and five open space lots.

The proposed subdivision lies completely outside the City Limits. No portion of this proposed final plat lies within the 100-yr floodplain. Water is being provided by Canyon Lake Water Service Company and sewer service will be provided by an on-site package treatment plant.

Halff Associates and City Staff have reviewed the proposed Final Plat and related required documents including a drainage analysis and traffic impact analysis and have determined that the submittal meets the requirements in the Subdivision Ordinance and the approved Development Agreement for the development.

Therefore, Staff recommends **approval** of this final plat.

ATTACHMENTS:

Application

Final Plat

Halff Acceptance Memo



APPLICATION FOR FINAL PLAT

Planning & Development Department
 30360 Cougar Bend, Bulverde, TX 78163
 Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

1. Name of Subdivision: Park Village Unit No 8
 Location Description/Nearest Intersection: Lobo Park & Blenheim Park

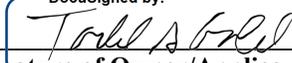
2. Owner/Applicant: Two Seventy Seven, Ltd. (Todd Gold)
 Address: 8023 Vantage Drive, Suite 1200 Email: tgold@reocsanantonio.com
 Telephone: (210) 524-4000 Fax: (210) 524-4029 Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): Cude Engineers (Kyle Hudek)
 Address: 4122 Pond Hill Rd., Suite 101 Email: khudek@cudeengineers.com
 Telephone: (210) 681-2951 Fax: (210) 523-7112 Mobile: _____

4. Property Details:

City Limits:	<u> </u> In <u> </u> <u> </u> Out (ETJ)	Water Source:	<u> </u> CLWSC
Commercial:	<u> </u> Yes <u> </u> <u> </u> No	Sewage Treatment:	<u> </u> GBRA
Residential:	<u> </u> Yes <u> </u> <u> </u> No	TxDOT Frontage:	<u> </u> Yes <u> </u> <u> </u> No
No. of Lots:	<u> </u> 66	100-Year Floodplain:	<u> </u> Yes <u> </u> <u> </u> No
Total Acreage without floodplain:	<u> </u> 23.625	Edwards Aquifer Zone:	<u> </u> Recharge
Density Class:	<u> </u> High Density		<u> </u> <u> </u> Contributing
Zoning Class:	<u> </u> N/A		

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.

DocuSigned by:

 Signature of Owner/Applicant

1/20/2021
 Date

Fees and Submittal Dates on Page 2

Fees:**Final Plats**

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
 \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 – (0-5 acres)
 \$2500 + \$10/lot – (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
 \$2500 + \$10/acre (5+ acres)

Subdivision Improvement Construction Plan Review

- \$2500

Subdivision Improvement Construction Inspection

- \$50 + \$2.00/LF of each infrastructure improvement to be inspected

Subdivision Improvement Construction Deposit for Multiple Inspections

- \$50 + \$2.00/LF of each infrastructure improvement to be inspected

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



Planning and Development Final Plat Application Checklist

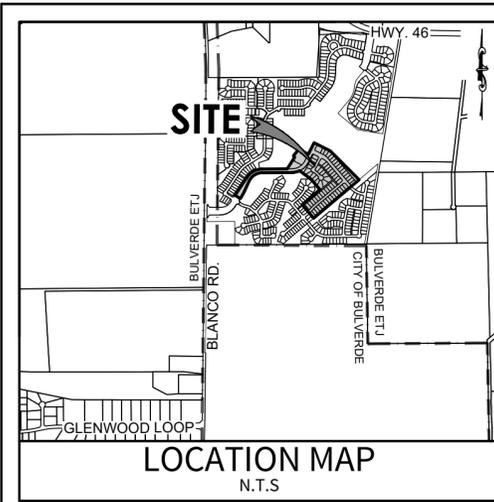
**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Final Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
 - SICP Fee
- 2 copies of the Final Utility Layout showing all proposed utilities and easements
- 2 copies of the Final Traffic Impact Analysis
- 2 copies of construction cost projections for improvements required herein. Cost projections prepared without complete and approved construction plans shall include at a minimum a 10% design phase contingency and a 15% construction contingency.
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Final Drainage Study
- 1 copy of the recorded deed
- 1 copy of each letter approving the Final Plat reviewed by all utilities that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - Electric Utility
 - Gas Utility
 - Public Water System
 - Telephone Utility
 - Cable TV Utility
 - TxDOT
 - TCEQ
 - Other agencies or entities having jurisdiction
- Variance Requests (if any)
- Original Tax Certificates
 - City
 - County
 - School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat

Reviewed by:

Date:

Case Number:



GUADALUPE-BLANCO RIVER AUTHORITY NOTES:

- TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
- OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN GBRA EASEMENTS OR WITHIN 10 FEET OF GBRA UTILITIES, WHICHEVER IS GREATER.
- DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
- MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES, GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
- CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

EASEMENT STATEMENT

PROPERTY OWNERS ARE ADVISED THAT THEY ARE RESPONSIBLE FOR MAINTENANCE OF DEDICATED EASEMENTS ON THEIR PROPERTY AND MAY NOT UTILIZE THESE EASEMENTS FOR ANY PURPOSE DETRIMENTAL TO THEIR INTENDED USE (I.E. NO STRUCTURES, SEPTIC TANK FIELDS, ETC.) GRANTEES OF SAID DEDICATED EASEMENTS RESERVE THE RIGHT OF ACCESS TO SUCH EASEMENTS.

GENERAL PLATTING NOTES

- 1/2" IRON RODS WITH "CUDE" CAP SET AT LOT CORNERS.
- ALL COORDINATES SHOWN ARE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE 4204. ALL DISTANCE GIVEN HEREON ARE SURFACE. TO CONVERT TO GRID, APPLY SCALE FACTOR OF 0.99987. TO CONVERT GRID COORDINATES TO SURFACE, SCALE 1.00013. COORDINATES SHOWN HEREON ARE SURFACE COORDINATES. (CONTOURS ESTABLISHED USING VERTICAL DATUM NAVD 88.)
- THIS PROPERTY LIES WITHIN AN EXTRATERRITORIAL JURISDICTION OF THE CITY OF BULVERDE.
- THIS PROPERTY WILL BE SERVED BY A STATE CERTIFIED PUBLIC WATER SUPPLY SYSTEM. MINIMUM WATER PRESSURE REQUIREMENTS BASED ON TCEQ CURRENT STANDARDS CAN BE MET AT THE PROPOSED METER LOCATION FOR ALL LOTS. ADEQUATE PRESSURE FOR NORMAL DOMESTIC USE AT ELEVATIONS GREATER THAN 1120 FT. MSL CANNOT BE GUARANTEED. PRIVATE BOOSTER SYSTEM MAY BE REQUIRED.
- THIS PROPERTY IS SERVED BY A CENTRALIZED SEWER TREATMENT SYSTEM, COMAL COUNTY WCID NO. 6.
- THIS PROPERTY LIES WITHIN THE CONTRIBUTING ZONE TO THE EDWARDS AQUIFER.
- 66 LOTS, BEING 23.856 ACRES, 5 OPEN SPACES.
- OPEN SPACE LOTS 914 AND 915 BLK. 18, LOT 903 BLK. 22, LOT 902 BLK. 23 AND LOT 902 BLK. 27 ARE SUBSTANDARD LOTS AND DRAINAGE EASEMENT FOR STORM WATER CONVEYANCE, DETENTION, AND TREATMENT. HABITABLE STRUCTURES ARE PROHIBITED.
- ALL DEVELOPABLE LOTS TO HAVE A 20' FRONT SETBACK, 10' REAR SETBACK, 5' SIDE SETBACK AND 10' SIDE SETBACK WHEN ADJACENT TO ROADWAY.
- ROADWAY LENGTH = 4,578 LF.
- ALL DEVELOPABLE LOTS TO HAVE A 20' FRONT P.U.E., 10' REAR SETBACK, 5' SIDE P.U.E., AND 10' SIDE P.U.E. WHEN ADJACENT TO ROADWAY.

LEGEND

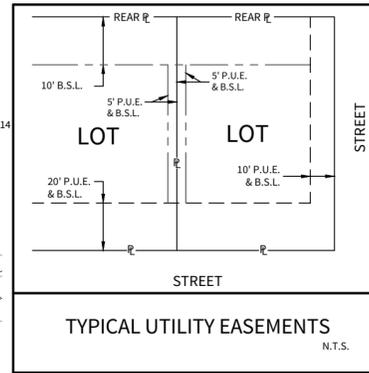
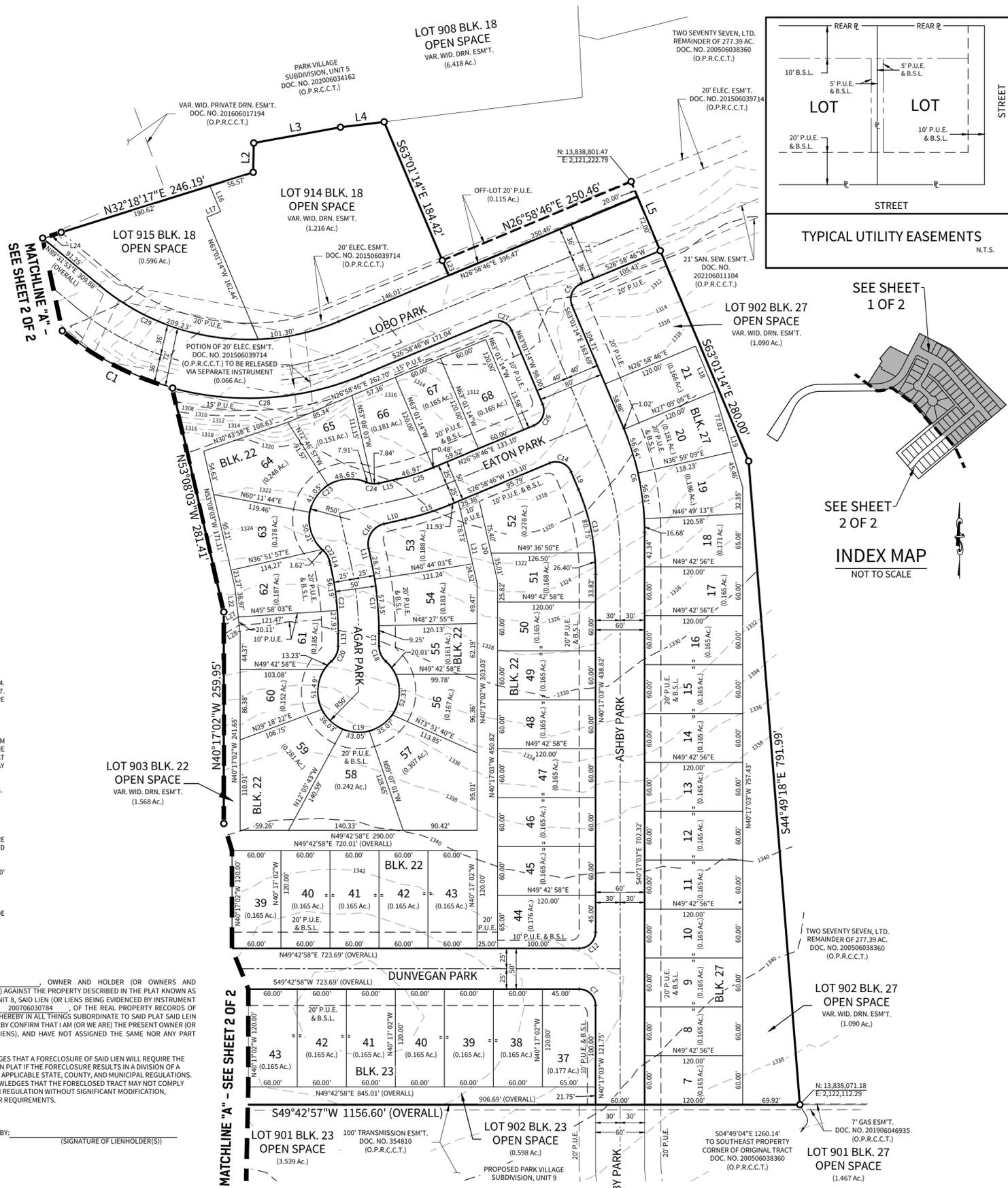
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- = CITY LIMITS

I, _____, OWNER AND HOLDER (OR OWNERS AND HOLDERS) OF A LIEN (OR LIENS) AGAINST THE PROPERTY DESCRIBED IN THE PLAT KNOWN AS PARK VILLAGE SUBDIVISION, UNIT 8, SAID LIEN (OR LIENS) BEING EVIDENCED BY INSTRUMENT OF RECORD IN DOCUMENT # _____ OF THE REAL PROPERTY RECORDS OF COMAL COUNTY, TEXAS, DO HEREBY CONFIRM THAT I AM (OR WE ARE) THE PRESENT OWNER (OR OWNERS) OF SAID LIEN (OR LIENS), AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

THE LIENHOLDER ACKNOWLEDGES THAT A FORECLOSURE OF SAID LIEN WILL REQUIRE THE PREPARATION OF A SUBDIVISION PLAT IF THE FORECLOSURE RESULTS IN A DIVISION OF A TRACT OF LAND, PURSUANT TO APPLICABLE STATE, COUNTY, AND MUNICIPAL REGULATIONS. THE LIENHOLDER ALSO ACKNOWLEDGES THAT THE FORECLOSED TRACT MAY NOT COMPLY WITH APPLICABLE SUBDIVISION REGULATION WITHOUT SIGNIFICANT MODIFICATION, ADDITIONAL ACCESS, OR OTHER REQUIREMENTS.

BY: _____ (SIGNATURE OF LIENHOLDER(S))

(NAME(S) AND TITLE PRINTED)



SEE SHEET 1 OF 2

SEE SHEET 2 OF 2
INDEX MAP
NOT TO SCALE

FINAL SUBDIVISION PLAT
ESTABLISHING
PARK VILLAGE SUBDIVISION, UNIT 8
A SUBDIVISION PLAT ESTABLISHING 66 RESIDENTIAL LOTS AND 5 OPEN SPACE LOTS, CONTAINING 23.856 ACRES; SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.39 ACRES DESCRIBED IN THE DEED FROM BELLE OAKS RANCH, LTD. TO TWO SEVENTY SEVEN PARK VILLAGE, LTD. RECORDED UNDER DOCUMENT, 200506038360, O.P.R.C.C.T., SITUATED IN THE H. KABELMACHER SURVEY NO. 936, ABSTRACT 842, H. WHITE SURVEY NO. 430, ABSTRACT 658 AND M. MCVICAR SURVEY NO. 238, ABSTRACT 387, COMAL COUNTY, TEXAS.

CUDE
M.W. CUDE ENGINEERS, L.L.C.
4122 POND HILL RD. • 5-101
SAN ANTONIO, TEXAS 78231
T-210.681.2951 • F-210.523.7112
WWW.CUDEENGINEERS.COM
TBPLS #10048500 • TBPE FIRM #455
MWC: JEFFREY A. MCKINNIE
PRJ. NO.: 03021.018

STATE OF TEXAS
COUNTY OF COMAL
KNOW ALL MEN BY THESE PRESENTS:

THE OWNER OF THE LAND SHOWN ON THIS PLAT WHOSE NAME IS SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER
TWO SEVENTY SEVEN, LTD.

8023 VANTAGE DRIVE, SUITE 1200
SAN ANTONIO, TEXAS 78230
PHONE: (210) 524-4000
CONTACT PERSON: TODD A. GOLD

OWNER'S NAME

STATE OF TEXAS
COUNTY OF COMAL
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ A.D.,

PRINT NOTARY'S NAME _____ NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE FOLLOWING DATE:

M.W. CUDE ENGINEERS, L.L.C.
YURI V. BALMACEA WHEELLOCK, R.P.L.S.

REGISTERED PROFESSIONAL LAND SURVEYOR
R.P.L.S. #6815

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF COMAL COUNTY.

M.W. CUDE ENGINEERS, L.L.C.
JEFFREY A. MCKINNIE, P.E.

LICENSED PROFESSIONAL ENGINEER NO. 89393

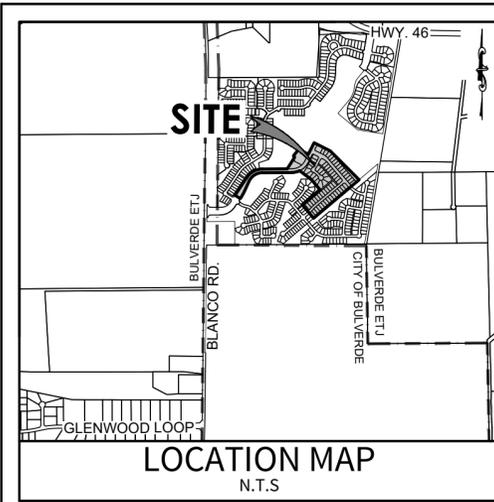
THIS PLAT OF _____ PARK VILLAGE SUBDIVISION, UNIT 8 _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF BULVERDE PLANNING AND ZONING COMMISSION, COMAL COUNTY, TEXAS AND IS HEREBY APPROVED FOR THE FILING BY SAID COMMISSION, DATED THIS _____ DAY OF _____ A.D., 2021.

BY: _____
CHAIRMAN
CITY OF BULVERDE
PLANNING AND ZONING COMMISSION

STATE OF TEXAS
COUNTY OF COMAL

I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____ A.D. _____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____ A.D. _____ AT _____ M. IN THE RECORDS OF MAPS AND PLATS IN SAID OFFICE, OF SAID COUNTY, IN DOCUMENT NUMBER _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____ A.D.

BY: _____
COUNTY CLERK, COMAL COUNTY, TEXAS

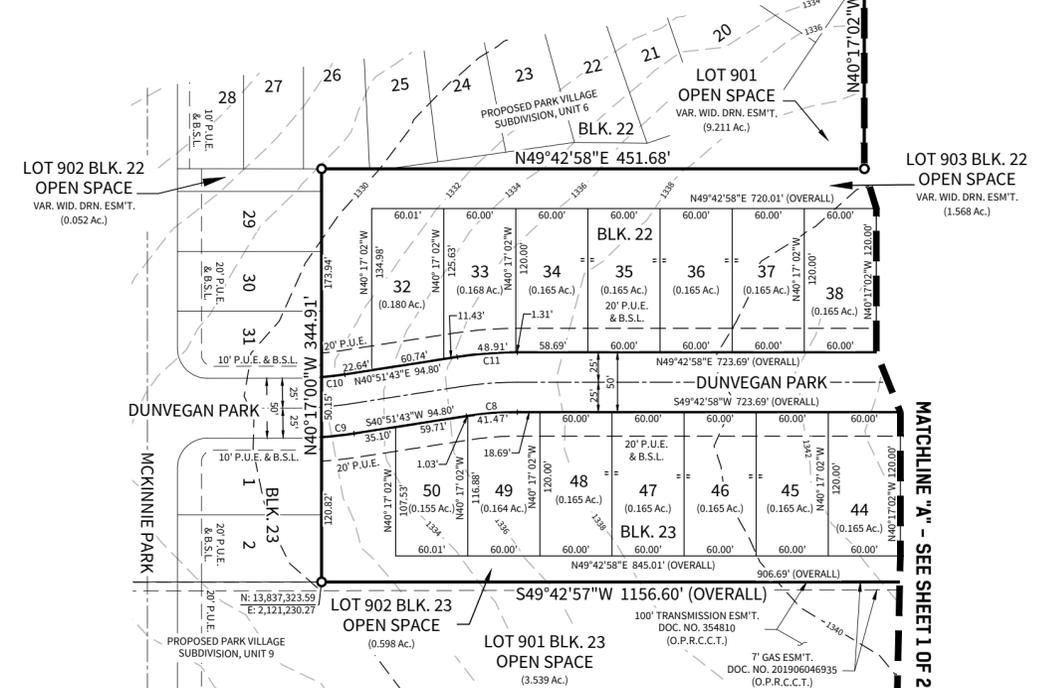
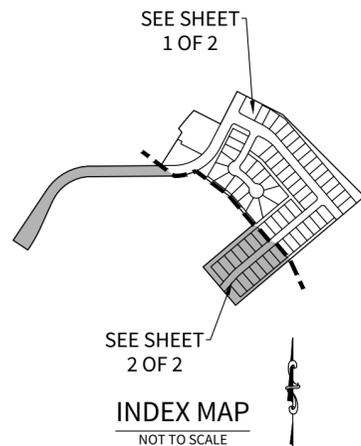
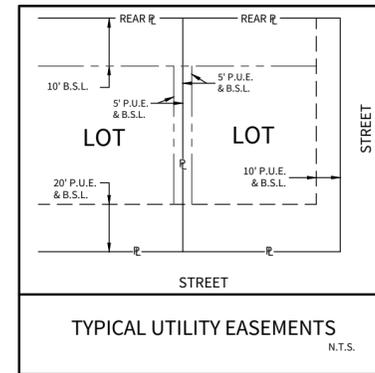


LEGEND

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CURVE TABLE						
CURVE	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD	LENGTH
C1	356.43'	24°39'26"	77.90'	S77°12'10"W	152.21'	153.39'
C2	288.07'	65°33'34"	185.50'	S56°28'15"W	311.93'	329.62'
C3	1000.00'	9°13'38"	80.70'	S28°57'08"W	160.87'	161.05'
C4	360.00'	55°57'56"	191.28'	N61°32'55"E	337.83'	351.64'
C5	20.00'	90°00'00"	20.00'	S18°01'14"E	28.28'	31.42'
C6	330.00'	22°44'11"	66.35'	S51°39'08"E	130.09'	130.95'
C7	20.00'	90°00'00"	20.00'	N85°17'03"W	28.28'	31.42'
C8	275.00'	8°51'15"	21.29'	S45°17'20"W	42.45'	42.50'
C9	325.00'	4°47'29"	13.60'	S43°15'28"W	27.17'	27.18'
C10	275.00'	4°03'04"	9.73'	N42°53'15"E	19.44'	19.44'
C11	325.00'	8°51'15"	25.16'	N45°17'20"E	50.17'	50.22'
C12	20.00'	90°00'00"	20.00'	N04°42'57"E	28.28'	31.42'
C13	270.00'	22°44'11"	54.29'	N51°39'08"W	106.44'	107.14'
C14	20.00'	90°00'00"	20.00'	S71°58'46"W	28.28'	31.42'
C15	325.00'	9°53'11"	28.11'	S31°55'22"W	56.01'	56.08'
C16	25.00'	90°00'00"	25.00'	S08°08'03"E	35.36'	39.27'
C17	425.00'	12°51'00"	47.86'	S46°42'33"E	95.12'	95.32'
C18	25.00'	48°11'23"	11.18'	S64°22'44"E	20.41'	21.03'
C19	50.00'	276°22'46"	44.72'	S49°42'58"W	66.67'	241.19'
C20	25.00'	48°11'23"	11.18'	N16°11'21"W	20.41'	21.03'
C21	375.00'	12°51'00"	42.23'	N46°42'33"W	83.93'	84.10'
C22	25.00'	36°05'26"	8.14'	N71°10'46"W	15.49'	15.75'
C23	50.00'	162°10'47"	318.92'	N08°08'03"W	98.79'	141.53'
C24	25.00'	36°05'26"	8.14'	N54°54'40"E	15.49'	15.75'
C25	275.00'	9°53'11"	23.78'	N31°55'22"E	47.39'	47.45'
C26	20.00'	90°00'00"	20.00'	N18°01'14"W	28.28'	31.42'
C27	20.00'	90°00'00"	20.00'	S71°58'46"W	28.28'	31.42'
C28	356.43'	37°53'41"	122.36'	S45°55'37"W	231.47'	235.74'
C29	284.43'	62°33'07"	172.78'	N58°15'20"E	295.33'	310.53'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N89°31'53"E	137.90'
L2	N39°07'08"W	35.95'
L3	N39°22'17"E	107.78'
L4	N42°40'09"E	53.86'
L5	S63°01'14"E	92.00'
L6	S33°33'58"W	18.82'
L7	N56°26'02"W	120.00'
L8	S45°28'07"E	18.05'
L9	N63°01'14"W	23.42'
L10	S36°51'57"W	27.44'
L11	S53°08'03"E	9.97'
L12	S40°17'02"E	15.75'
L13	N40°17'02"W	15.75'
L14	N53°08'03"W	5.18'
L15	N36°51'57"E	22.66'
L16	N63°01'14"W	34.11'
L17	N26°57'55"E	18.17'
L18	N63°01'14"W	60.36'
L19	N56°36'48"W	122.47'
L20	N53°08'03"W	110.41'
L21	N53°08'03"W	103.25'
L22	N46°42'33"W	57.07'
L23	N63°01'14"W	20.00'
L24	N32°18'17"E	23.79'
L25	N44°31'53"E	46.90'
L26	S89°59'05"E	47.69'
L27	N18°40'35"E	20.72'
L28	S18°31'17"W	22.06'



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SCALE: 1"=100'

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 WWW.CUDEENGINEERS.COM
 TBPLS #10048500 • TBPE FIRM #455
 MWC: JEFFREY A. MCKINNIE
 PRJ. NO.: 03021.018

REVIEW MEMORANDUM

TO: Jeffrey McKinnie, P.E.
Cude Engineers
jmckinnie@cudeengineers.com
4122 Pond Hill Rd, Ste. 101
San Antonio, TX 78231

FROM: Sam Edwards, PE, CFM
sedwards@half.com

SUBJECT: Park Village Unit 8 Final Plat Acceptance **DATE:** September 23, 2021
PC-21-18

Half Associates, on behalf of the City of Bulverde, has performed a review on the Park Village Unit 8 Final Plat, dated 9/8/2021. The review was conducted relative to the requirements established in the vested Subdivision Ordinance 258-07-09-25 of the City of Bulverde AND the Development Agreement dated July 31, 2014 with Two Seventy Seven, LTD. Based on our review of the referenced documents, Half Associates has no comments and recommends approval of the Park Village Unit 8 Final Plat at the next available Planning & Zoning meeting.

Plat specifications, Ordinance Section 1.05(b)

No comments

Plat Supporting Documents, Ordinance Section 1.04(c)

No comments

General Design 2.03(c)

No comments

Streets 2.04(a)

No comments

Storm Water Management Plan / Drainage Analysis

No comments

Design Plans

No comments



PLANNING AND ZONING COMMISSION ITEM:
PC-21-19
FINAL PLAT
PARK VILLAGE, UNIT 9

MEETING DATE: October 14, 2021
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Consider the approval of a Final Plat for Park Village, Unit 9, generally located near the intersection of Lobo Park and Blenheim Park.

APPLICANT:

Two Seventy-Seven, LTD
8023 Vantage Drive, Suite 1200
San Antonio, TX
210-524-4000

PROPERTY INFORMATION:

Owner: Two Seventy Seven, LTD.
Legal Description: 28.682 ACRES; SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.39 ACRES SITUATED IN THE J. WEBB SURVEY NO. 237, ABSTRACT 665.
Size: 28.682 acres; 79 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed final plat for Unit 9 of the Park Village Development, located at the northwest corner of the City in the City's Extraterritorial Jurisdiction.

ANALYSIS:

This proposed Final Plat is for approximately 28.682 acres of vacant property and establishes 79 single family residential lots.

The proposed subdivision lies completely outside the City Limits. No portion of this proposed final plat lies within the 100-yr floodplain. Water is being provided by Canyon Lake Water Service Company and sewer service will be provided by an on-site package treatment plant.

Halff Associates and City Staff have reviewed the proposed Final Plat and related required documents including a drainage analysis and traffic impact analysis and have determined that the submittal meets the requirements in the Subdivision Ordinance and the approved Development Agreement for the development.

Therefore, Staff recommends **approval** of this final plat.

ATTACHMENTS:

Application

Final Plat

Halff Acceptance Memo

Fees:**Final Plats**

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
 \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 – (0-5 acres)
 \$2500 + \$10/lot – (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
 \$2500 + \$10/acre (5+ acres)

Subdivision Improvement Construction Plan Review

- \$2500

Subdivision Improvement Construction Inspection

- \$50 + \$2.00/LF of each infrastructure improvement to be inspected

Subdivision Improvement Construction Deposit for Multiple Inspections

- \$50 + \$2.00/LF of each infrastructure improvement to be inspected

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



Planning and Development Final Plat Application Checklist

**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Final Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
 - SICP Fee
- 2 copies of the Final Utility Layout showing all proposed utilities and easements
- 2 copies of the Final Traffic Impact Analysis
- 2 copies of construction cost projections for improvements required herein. Cost projections prepared without complete and approved construction plans shall include at a minimum a 10% design phase contingency and a 15% construction contingency.
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Final Drainage Study
- 1 copy of the recorded deed
- 1 copy of each letter approving the Final Plat reviewed by all utilities that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
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- Variance Requests (if any)
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- Letter of Agent or other power of attorney authorizing signature of Owner on plat

Reviewed by:

Date:

Case Number:



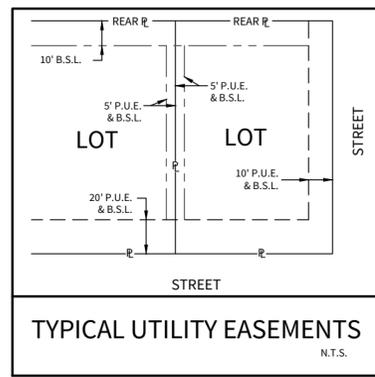
LEGEND

Ac.	= ACRES
BLK.	= BLOCK
B.S.L.	= BUILDING SETBACK LINE
C1	= CURVE NUMBER
DOC. NO.	= DOCUMENT NUMBER
DRN.	= DRAINAGE
ELEC.	= ELECTRIC
ESMT.	= EASEMENT
EX.	= EXTRATERRITORIAL JURISDICTION
ETJ	= EXISTING
L1	= LINE NUMBER
MSL	= MEAN SEA LEVEL
N.T.S.	= NOT TO SCALE
O.P.R.C.C.T.	= OFFICIAL PUBLIC RECORDS COMAL COUNTY, TEXAS
PERM.	= PERMISSIBLE
P.U.E.	= PUBLIC UTILITY EASEMENT
R.O.W.	= RIGHT-OF-WAY
SAN. SEW.	= SANITARY SEWER
VAR.	= VARIABLE
WAT.	= WATER
WCID	= WATER CONTROL AND IMPROVEMENT DISTRICT
WID.	= WIDTH
---	= STREET CENTERLINE
- - -	= EXISTING GROUND MAJOR CONTOUR
- · - · -	= EXISTING GROUND MINOR CONTOUR
---	= PLAT BOUNDARY
---	= OFF-LOT EASEMENT
---	= BUILDING SETBACK LINE
○	= 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "CUDE"
---	= CITY LIMITS

GENERAL PLATTING NOTES

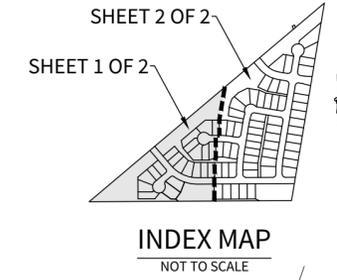
- 1/2" IRON RODS WITH "CUDE" CAP SET AT LOT CORNERS.
- ALL COORDINATES SHOWN ARE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE 4204. ALL DISTANCE GIVEN HEREON ARE SURFACE. TO CONVERT TO GRID, DISTANCE MULTIPLY BY SCALE FACTOR OF 0.99987. TO CONVERT GRID COORDINATES TO SURFACE, SCALE 1.00013. COORDINATES SHOWN HEREON ARE SURFACE COORDINATES. (CONTOURS ESTABLISHED USING VERTICAL DATUM NAVD 88.)
- THIS PROPERTY LIES WITHIN AN EXTRATERRITORIAL JURISDICTION OF THE CITY OF BULVERDE.
- THIS PROPERTY WILL BE SERVED BY A STATE CERTIFIED PUBLIC WATER SUPPLY SYSTEM. MINIMUM WATER PRESSURE REQUIREMENTS BASED ON TCEQ CURRENT STANDARDS CAN BE MET AT THE PROPOSED METER LOCATION FOR ALL LOTS. ADEQUATE PRESSURE FOR NORMAL DOMESTIC USE AT ELEVATIONS GREATER THAN 1120 FT. MSL CANNOT BE GUARANTEED. PRIVATE BOOSTER SYSTEM MAY BE REQUIRED.
- THIS PROPERTY IS SERVED BY A CENTRALIZED SEWER TREATMENT SYSTEM, COMAL COUNTY WCID NO. 6.
- THIS PROPERTY LIES WITHIN THE CONTRIBUTING ZONE TO THE EDWARDS AQUIFER.
- 79 LOTS, BEING 28.682 ACRES, 7 OPEN SPACES.
- OPEN SPACE LOTS 901 BLK. 23, LOTS 908-911 BLK. 25, LOT 901 BLK. 27 AND LOT 901 BLK. 28 ARE A SUBSTANDARD LOT AND DRAINAGE EASEMENT FOR STORM WATER CONVEYANCE, DETENTION, AND TREATMENT. HABITABLE STRUCTURES ARE PROHIBITED.
- ALL DEVELOPABLE LOTS TO HAVE A 20' FRONT SETBACK, 10' REAR SETBACK, 5' SIDE SETBACK AND 10' SIDE SETBACK WHEN ADJACENT TO ROADWAY.
- ROADWAY LENGTH = 4,123 LF.
- DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF P.E.C. TRANSMISSION EASEMENTS OR P.E.C. TRANSMISSION FACILITIES MUST BE APPROVED IN WRITING BY P.E.C. AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY P.E.C.

- GUADALUPE-BLANCO RIVER AUTHORITY NOTES:**
- THE GUADALUPE-BLANCO RIVER AUTHORITY (GBRA) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
 - TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
 - OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN GBRA EASEMENTS OR WITHIN 10 FEET OF GBRA UTILITIES, WHICHEVER IS GREATER.
 - DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
 - MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
 - CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.



EASEMENT STATEMENT

PROPERTY OWNERS ARE ADVISED THAT THEY ARE RESPONSIBLE FOR MAINTENANCE OF DEDICATED EASEMENTS ON THEIR PROPERTY AND MAY NOT UTILIZE THESE EASEMENTS FOR ANY PURPOSE DETRIMENTAL TO THEIR INTENDED USE (I.E. NO STRUCTURES, SEPTIC TANK FIELDS, ETC.) GRANTEES OF SAID DEDICATED EASEMENTS RESERVE THE RIGHT OF ACCESS TO SUCH EASEMENTS.



LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N00°18'20"W	35.48'	L24	N86°34'09"W	20.01'
L2	N09°24'25"E	39.70'	L25	N40°17'02"W	54.53'
L3	N80°35'35"W	44.02'	L26	N89°41'40"E	166.72'
L4	S89°41'40"W	59.37'	L27	N66°44'31"W	56.65'
L5	N89°41'40"E	59.37'	L28	N80°35'35"W	170.00'
L6	S80°35'35"E	44.02'	L29	N80°35'35"W	160.20'
L7	N80°35'41"W	72.20'	L30	N80°35'35"W	83.24'
L8	N40°17'03"W	72.53'	L31	N09°24'25"E	27.29'
L9	S40°17'03"E	72.53'	L32	N71°13'44"W	45.90'
L10	S80°35'41"E	72.20'	L33	N89°41'40"E	37.59'
L11	S80°35'41"E	27.96'	L34	N38°43'03"E	58.23'
L12	S86°20'08"E	57.33'	L35	N66°28'11"E	18.72'
L13	N74°51'14"W	57.33'	L36	N00°18'20"W	116.98'
L14	N80°35'41"W	27.96'	L37	N00°18'20"W	115.28'
L15	S00°18'20"E	35.48'	L38	N48°44'07"W	26.80'
L16	S49°43'00"W	52.08'	L39	N23°40'50"W	4.87'
L17	N49°43'00"E	111.96'	L40	N00°00'00"E	10.83'
L18	N00°18'20"W	35.48'	L41	N90°00'00"E	20.00'
L19	S00°18'20"E	35.48'	L42	N49°42'57"E	23.65'
L20	N70°52'36"W	49.07'	L43	N23°40'50"W	94.68'
L21	N84°38'51"E	53.65'	L44	N23°40'50"W	104.51'
L22	N27°47'48"E	22.90'	L45	N00°00'00"E	6.64'
L23	N12°56'45"W	61.92'			

CURVE TABLE						
CURVE	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD	LENGTH
C1	275.00'	50°01'21"	128.30'	S65°17'40"E	232.54'	240.09'
C2	25.00'	90°00'00"	25.00'	N44°41'40"E	35.36'	39.27'
C3	835.00'	9°42'45"	70.94'	N04°33'02"E	141.38'	141.55'
C4	25.00'	90°00'00"	25.00'	N35°35'35"W	35.36'	39.27'
C5	575.00'	9°42'45"	48.85'	N85°26'58"W	97.36'	97.47'
C6	25.00'	48°11'23"	11.18'	S65°35'58"W	20.41'	21.03'
C7	50.00'	276°22'46"	44.72'	N00°18'20"W	66.67'	241.19'
C8	25.00'	48°11'23"	11.18'	S66°12'39"E	20.41'	21.03'
C9	625.00'	9°42'45"	53.10'	S85°26'58"E	105.82'	105.95'
C10	25.00'	90°00'00"	25.00'	N54°24'25"E	35.36'	39.27'
C11	525.00'	6°45'23"	30.99'	N12°47'06"E	61.87'	61.91'
C12	25.00'	33°07'51"	7.44'	N00°24'08"W	14.26'	14.46'
C13	50.00'	151°22'16"	195.95'	N58°43'05"E	96.90'	132.10'
C14	25.00'	34°59'48"	7.88'	S63°05'41"E	15.03'	15.27'
C15	25.00'	90°00'00"	25.00'	N54°24'25"E	35.36'	39.27'
C16	25.00'	90°00'00"	25.00'	N35°35'38"W	35.36'	39.27'
C17	230.00'	40°18'38"	84.42'	N60°26'22"W	158.50'	161.82'
C18	170.00'	40°18'38"	62.40'	S60°26'22"E	117.15'	119.60'
C19	25.00'	89°59'54"	25.00'	N54°24'22"E	35.35'	39.27'
C20	25.00'	48°11'23"	11.18'	N14°41'17"W	20.41'	21.03'
C21	50.00'	276°22'46"	44.72'	S80°35'35"E	66.67'	241.19'

CURVE TABLE						
CURVE	RADIUS	DELTA	TANGENT	CHORD BEARING	CHORD	LENGTH
C22	25.00'	48°11'23"	11.18'	S33°30'06"W	20.41'	21.03'
C23	25.00'	90°00'00"	25.00'	S35°35'38"E	35.36'	39.27'
C24	100.00'	5°44'27"	5.01'	S83°27'55"E	10.02'	10.02'
C25	100.00'	5°44'27"	5.01'	N77°43'28"W	10.02'	10.02'
C26	25.00'	89°59'54"	25.00'	S54°24'22"W	35.35'	39.27'
C27	475.00'	9°42'45"	40.36'	S04°33'02"W	80.42'	80.52'
C28	25.00'	90°00'00"	25.00'	S45°18'20"E	35.36'	39.27'
C29	325.00'	35°37'32"	104.43'	N72°29'34"W	198.84'	202.08'
C30	20.00'	75°36'11"	15.51'	S87°31'06"W	24.52'	26.39'
C31	25.00'	70°31'44"	17.68'	S14°27'09"W	28.87'	30.77'
C32	50.00'	250°31'44"	70.71'	N75°32'51"W	81.65'	218.63'
C33	20.00'	90°00'00"	20.00'	N04°43'00"E	28.28'	31.42'
C34	25.00'	90°00'00"	25.00'	N45°18'20"W	35.36'	39.27'
C35	785.00'	9°42'45"	66.70'	N04°33'02"E	132.91'	133.07'
C36	475.00'	7°35'36"	31.52'	N13°12'13"E	62.90'	62.95'
C37	25.00'	82°24'24"	21.89'	N58°12'13"E	32.94'	35.96'
C38	25.00'	90°00'00"	25.00'	S35°35'35"E	35.36'	39.27'
C39	525.00'	9°42'45"	44.60'	S04°33'02"W	88.89'	89.00'
C40	25.00'	90°00'00"	25.00'	S44°41'40"W	35.36'	39.27'

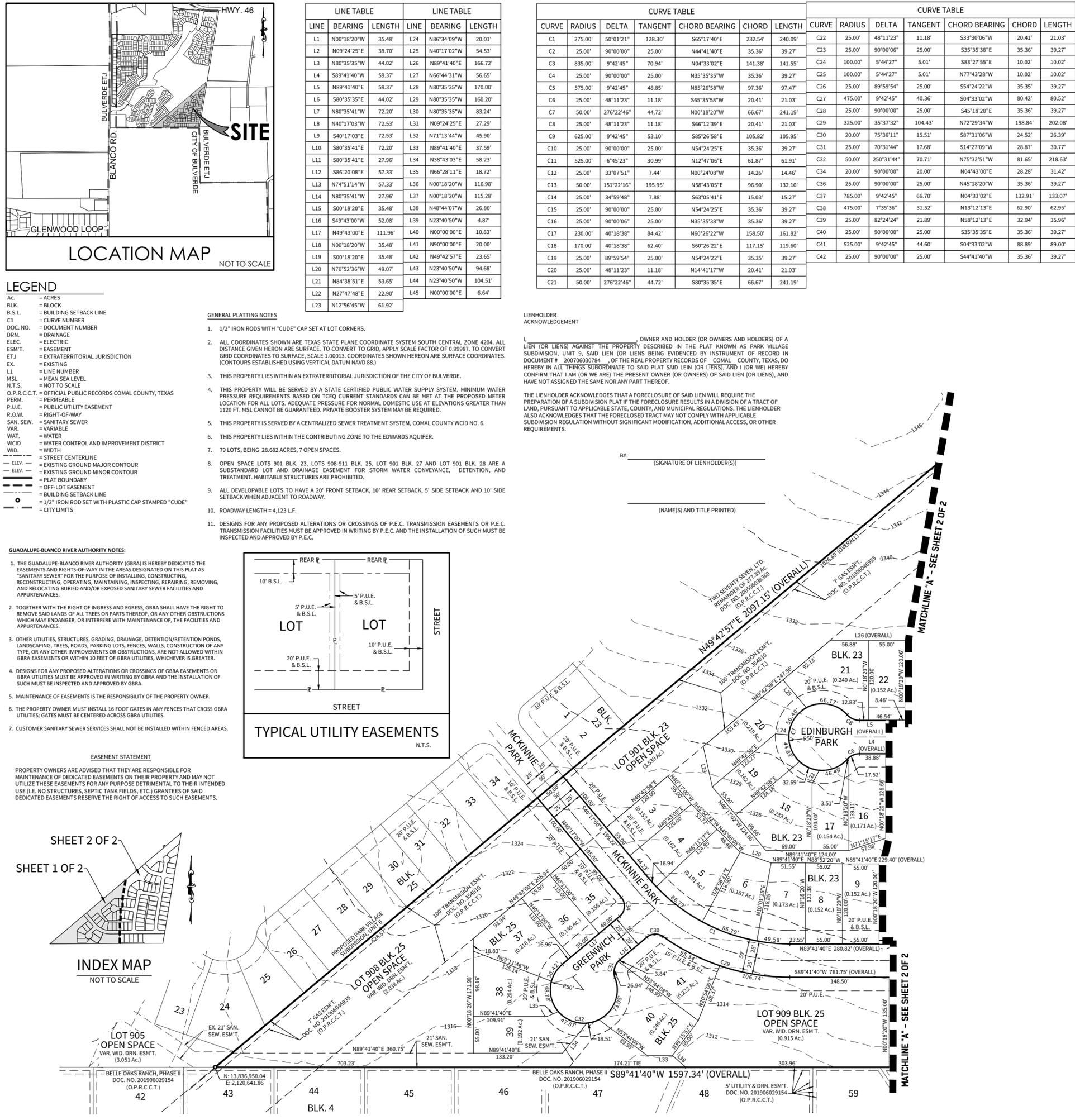
LIENHOLDER ACKNOWLEDGEMENT

I, _____, OWNER AND HOLDER (OR OWNERS AND HOLDERS) OF A LIEN (OR LIENS) AGAINST THE PROPERTY DESCRIBED IN THE PLAT KNOWN AS PARK VILLAGE SUBDIVISION, UNIT 9, SAID LIEN (OR LIENS BEING EVIDENCED BY INSTRUMENT OF RECORD IN DOCUMENT # 200706030784 OF THE REAL PROPERTY RECORDS OF COMAL COUNTY, TEXAS, DO HEREBY IN ALL THINGS SUBORDINATE TO SAID PLAT SAID LIEN (OR LIENS), AND I (OR WE) HEREBY CONFIRM THAT I AM (OR WE ARE) THE PRESENT OWNER (OR OWNERS) OF SAID LIEN (OR LIENS), AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

THE LIENHOLDER ACKNOWLEDGES THAT A FORECLOSURE OF SAID LIEN WILL REQUIRE THE PREPARATION OF A SUBDIVISION PLAT IF THE FORECLOSURE RESULTS IN A DIVISION OF A TRACT OF LAND, PURSUANT TO APPLICABLE STATE, COUNTY, AND MUNICIPAL REGULATIONS. THE LIENHOLDER ALSO ACKNOWLEDGES THAT THE FORECLOSED TRACT MAY NOT COMPLY WITH APPLICABLE SUBDIVISION REGULATION WITHOUT SIGNIFICANT MODIFICATION, ADDITIONAL ACCESS, OR OTHER REQUIREMENTS.

BY: _____
(SIGNATURE OF LIENHOLDER(S))

(NAME(S) AND TITLE PRINTED)



FINAL SUBDIVISION PLAT ESTABLISHING

PARK VILLAGE SUBDIVISION, UNIT 9

A SUBDIVISION PLAT ESTABLISHING 79 RESIDENTIAL LOTS AND 7 OPEN SPACE LOTS, CONTAINING 28.682 ACRES. SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.39 ACRES DESCRIBED IN THE DEED FROM BELLE OAKS RANCH, LTD. TO TWO SEVENTY SEVEN PARK VILLAGE, LTD. RECORDED UNDER DOCUMENT, 200506038360, O.P.R.C.C.T., SITUATED IN THE H. WHITE SURVEY NO. 430, ABSTRACT 658 AND M. MCIVAR SURVEY 238, ABSTRACT 387, COMAL COUNTY, TEXAS.

M.W. CUDE ENGINEERS, L.L.C.
4122 POND HILL RD. • S-101
SAN ANTONIO, TEXAS 78231
T:210.681.2951 • F:210.523.7112
WWW.CUDEENGINEERS.COM
TBPE #455 • TBPLS #10048500
MWC: JEFFREY A. MCKINNIE
PRJ. NO.: G3021.019

STATE OF TEXAS
COUNTY OF COMAL
KNOW ALL MEN BY THESE PRESENTS:

THE OWNER OF THE LAND SHOWN ON THIS PLAT WHOSE NAME IS SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATES TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER
TWO SEVENTY SEVEN LTD.

8023 VANTAGE DRIVE, SUITE 1200
SAN ANTONIO, TEXAS 78230
PHONE: (210) 524-4000
CONTACT PERSON: TODD A. GOLD

STATE OF TEXAS
COUNTY OF COMAL

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ A.D., _____

PRINT NOTARY'S NAME _____ NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE FOLLOWING DATE:

M.W. CUDE ENGINEERS, L.L.C.
YURI V. BALMaceda WHEELock, R.P.L.S.

REGISTERED PROFESSIONAL LAND SURVEYOR
R.P.L.S. #6815

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF COMAL COUNTY.

M.W. CUDE ENGINEERS, L.L.C.
JEFFREY A. MCKINNIE, P.E.

LICENSED PROFESSIONAL ENGINEER NO. 89393

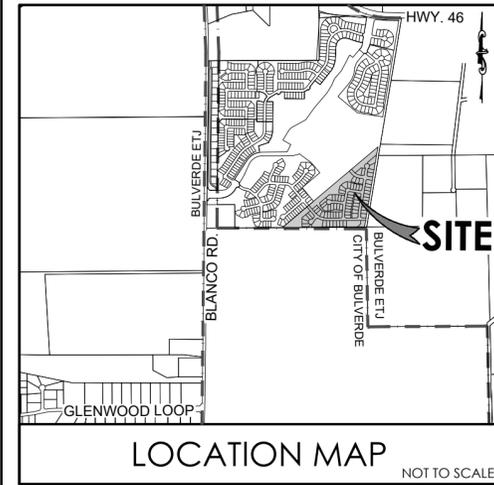
THIS PLAT OF PARK VILLAGE SUBDIVISION, UNIT 9 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY OF BULVERDE PLANNING AND ZONING COMMISSION, COMAL COUNTY, TEXAS AND IS HEREBY APPROVED FOR THE FILING BY SAID COMMISSION. DATED THIS _____ DAY OF _____ A.D., 2021.

BY: _____
CHAIRMAN
CITY OF BULVERDE
PLANNING AND ZONING COMMISSION

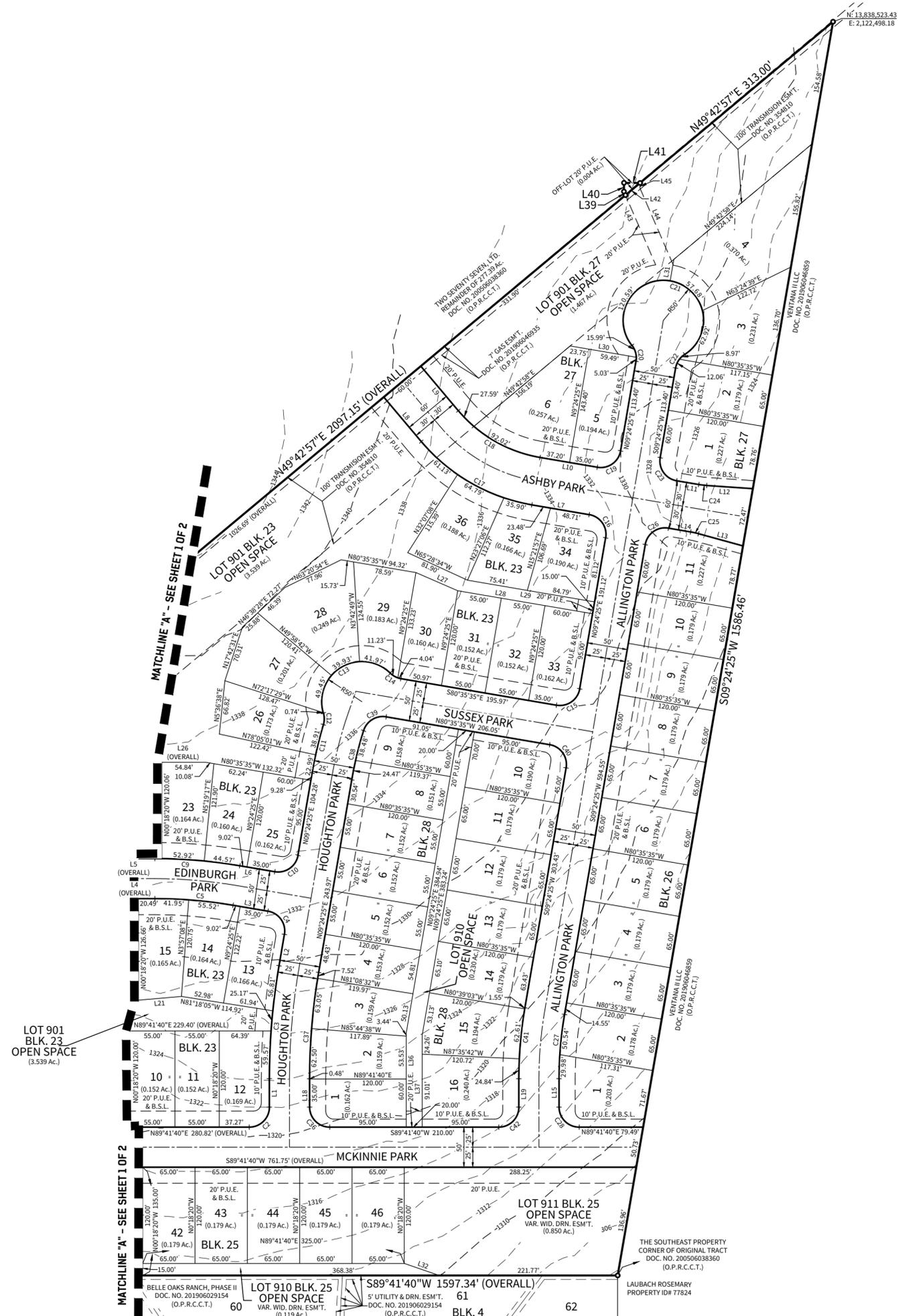
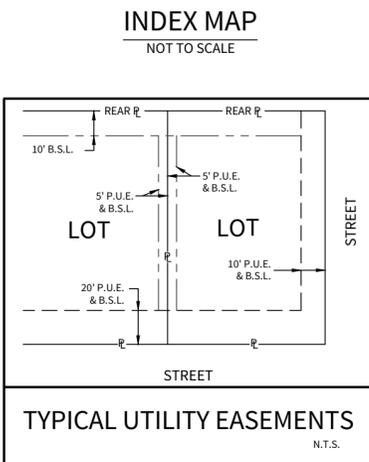
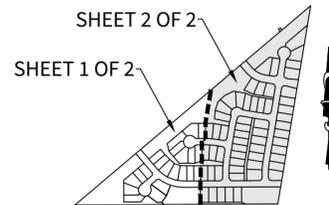
STATE OF TEXAS
COUNTY OF COMAL

I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____ A.D. AT _____ M. AND DULY RECORDED THE _____ DAY OF _____ A.D. AT _____ M. IN THE RECORDS OF MAPS AND PLATS IN SAID OFFICE, OF SAID COUNTY, IN DOCUMENT NUMBER _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____ A.D. _____

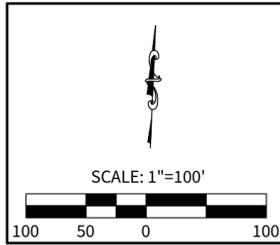
BY: _____
COUNTY CLERK, COMAL COUNTY, TEXAS
OCTOBER 8, 2021 SHEET 1 OF 2



- LEGEND**
- Ac. = ACRES
 - BLK. = BLOCK
 - B.S.L. = BUILDING SETBACK LINE
 - C1 = CURVE NUMBER
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 - ELEC. = ELECTRIC
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 - - - - - = EXISTING GROUND MINOR CONTOUR
 - - - - - = PLAT BOUNDARY
 - - - - - = OFF-LOT EASEMENT
 - - - - - = BUILDING SETBACK LINE
 - - - - - = 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED "CUDE"
 - - - - - = CITY LIMITS



FINAL SUBDIVISION PLAT
ESTABLISHING
PARK VILLAGE SUBDIVISION, UNIT 9
A SUBDIVISION PLAT ESTABLISHING 79 RESIDENTIAL LOTS AND 7 OPEN SPACE LOTS, CONTAINING 28.652 ACRES; SAID TRACT IS A PORTION OF THE TRACT CONTAINING 277.35 ACRES DESCRIBED IN THE DEED FROM BELLE OAKS RANCH, LTD. TO TWO SEVENTY SEVEN PARK VILLAGE, LTD. RECORDED UNDER DOCUMENT NO. 201906029154, O.P.R.C.C.T., SITUATED IN THE H. WHITE SURVEY NO. 430, ABSTRACT 658 AND M. MCVICAR SURVEY 238, ABSTRACT 387, COMAL COUNTY, TEXAS.



EST. 1960
CUDE
ENGINEERS

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PRJ. NO.: 03021.019



Halff Associates, Inc.
100 NE Loop 410, Suite 200
San Antonio, Texas 78216
(210) 798-1895

REVIEW MEMORANDUM

TO: Jeffrey McKinnie, P.E.
Cude Engineers
jmckinnie@cudeengineers.com
4122 Pond Hill Rd, Ste. 101
San Antonio, TX 78231

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: Park Village Unit 9 Final Plat Acceptance **DATE:** October 8, 2021
PC-21-19

Halff Associates, on behalf of the City of Bulverde, has performed a review on the Park Village Unit 9 Final Plat, dated 10/8/2021. The review was conducted relative to the requirements established in the vested Subdivision Ordinance 258-07-09-25 of the City of Bulverde AND the Development Agreement dated July 31, 2014 with Two Seventy Seven, LTD.

Based on our review of the referenced documents, Halff Associates has no comments and recommends approval of the Park Village Unit 9 Final Plat at the next available Planning & Zoning meeting.

Plat specifications, Ordinance Section 1.05(b)

No comments

Plat Supporting Documents, Ordinance Section 1.04(c)

No comments

General Design 2.03(c)

No comments

Streets 2.04(a)

No comments

Storm Water Management Plan / Drainage Analysis

No comments

Design Plans

No comments



PLANNING AND ZONING COMMISSION ITEM:
ZC-21-05
ZONE CHANGE
0.42 Sq. Mi. (Goldsmith)

MEETING DATE: October 14, 2021
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Hold a public hearing and consider a Zone Change from R-3 Residential Zoning District to R-2 Residential Zoning District on an approximately 0.42-square miles of land, generally located approximately 1.3 miles west of the intersection of East Amman Road and Bulverde Road.

PROPERTY INFORMATION:

Existing Land Use: Single Family Residential (Under Development)
Existing Zoning: R-3 Residential District
Proposed Zoning: R-2 Residential District

NOTICE:

Public Notice: September 26, 2021
Personal Notice: October 1, 2021

Staff sent 33 Personal Notices to properties within a 200-foot buffer of the subject property. As of present, Staff received no letters of support or opposition out of those 33 properties that were individually notified.

IN SUPPORT: 0

IN OPPOSITION: 0

SUMMARY:

This is a City-initiated zone change from R-3 Residential District to an R-2 Residential District on an approximately 0.42-square miles of land, approximately 1.3 miles west of the intersection of East Amman Road and Bulverde Road. The subject area is currently undeveloped land. This property which is part of the Goldsmith Tract was annexed into the City in October of 2015 and zoned R-3 Residential according to a Development Agreement entered into by the City of Bulverde and Ammann Hills Ranch, LTD and Bulverde Point Ranch, LTD in October of 2015. The property was purchased by DTB Investments L.P. in 2016 and an Amendment to the 2015 Development Agreement was entered into in 2018. Later, DTB sold the property to Bitterblue, Inc., and a Second Amendment to the Development Agreement was executed in 2020.

PREVIOUS ACTIONS:

A Master Development Plan (MDP) for this property was approved at the August 12, 2021 Planning & Zoning Commission meeting.

ANALYSIS:

The property is currently zoned R-3 Residential. R-2 Residential zoning allows for a minimum 1-acre lot size and R-3 Residential zoning allows for a minimum 21,675 square foot (roughly ½ acre) lot size. However, the Second Amendment to the Development Agreement stipulates the minimum lot size required for residential lots in this proposed development is 1-acre, and such lots must be developed in accordance with R-2 Residential District regulations. This zone change will bring this portion of the Goldsmith tract into conformance with the approved Development Agreement for the property.

As shown in the attached zoning exhibit, the subject property is bordered by R-1 Residential zoning to the west, and R-2 Residential zoning to the east.

Per Section 14.03.004 of the Bulverde Code of Ordinances: *The intent of the R-2 district is to provide for the development of single-family homes on lots that are large by typical suburban standards but are not required to meet the minimum standards for the R-1 district.* Standard lot size in R-2 Residential ranges from one (1) to 4.99 acres.

Per Section 14.03.005 of the Bulverde Code of Ordinances: *The intent of the R-3 district is to provide for the development of single-family homes on lots that are less than one acre in size. Lots will be large by typical suburban standards but will not be required to meet the minimum standards for the R-1 or R-2 districts.*

ATTACHMENTS:

- A. Zoning Map Exhibit



ZC-21-05 Zoning Map Exhibit



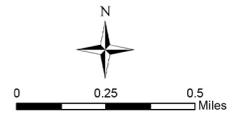
City of Bulverde Zoning Map

Key to Features

- City Limits
- ETJ Boundary
- Streams
- Parcels

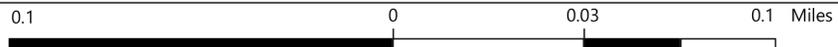
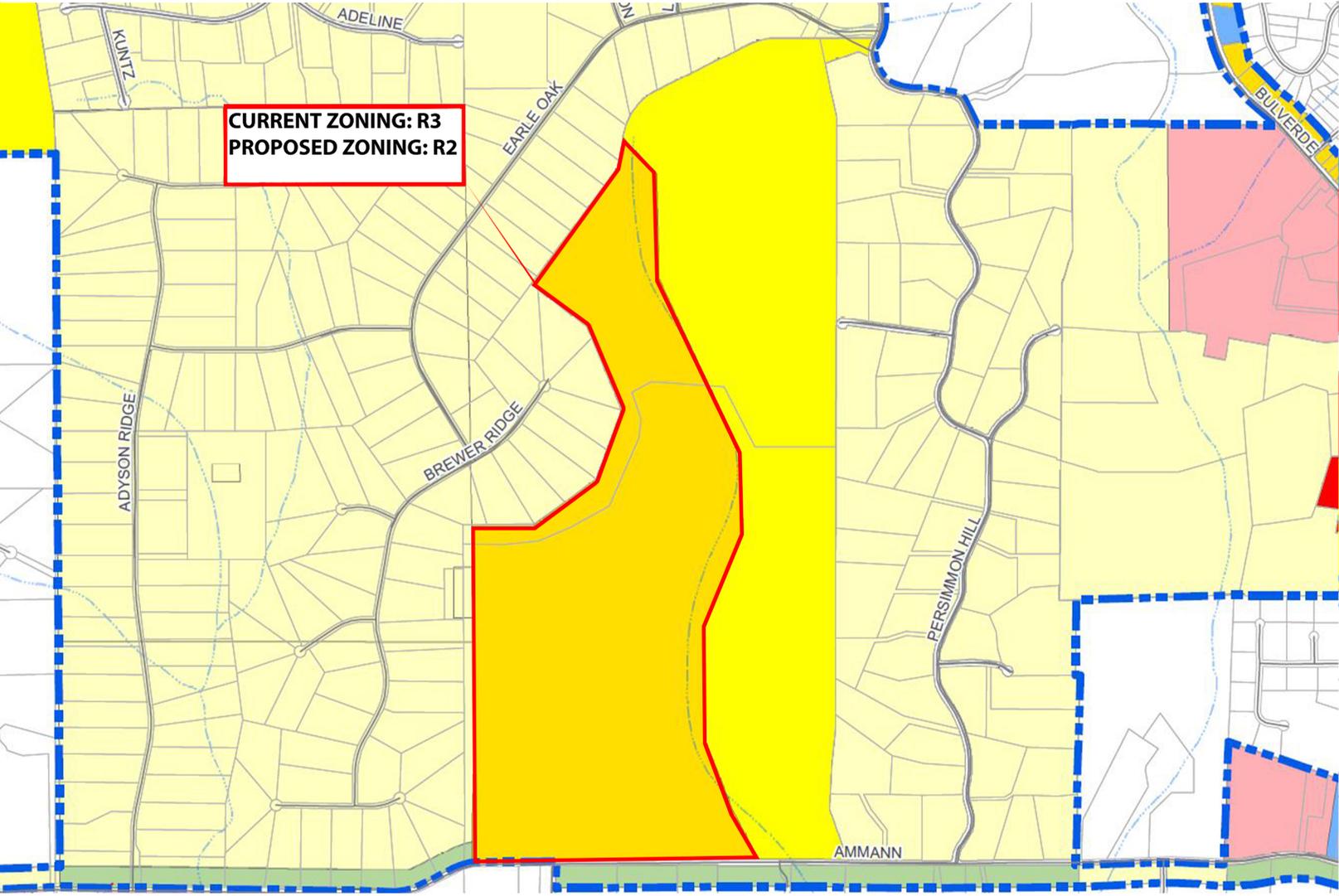
Zone

- AG
- AV
- R1
- R2
- R3
- R4
- R5
- C1
- C2
- C3
- PDD
- I1
- SUP



1 inch = 0.25 miles

CURRENT ZONING: R3
PROPOSED ZONING: R2



NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



PLANNING AND ZONING COMMISSION ITEM:
ZC-21-06

ZONE CHANGE

0.27 Sq. Mi. (Belle Oaks Addition)

MEETING DATE: October 14, 2021

DEPARTMENT: Planning & Development

PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Hold a public hearing and consider an initial Zoning Designation of R-2, Residential District, for approximately 0.270 square miles of land generally located on the east side of Blanco Road approximately 1.2 miles south of State Hwy 46.

PROPERTY INFORMATION:

Existing Land Use: Single Family Residential (Under Development)

Existing Zoning: N/A

Proposed Zoning: R-2 Residential District

NOTICE:

Public Notice: September 26, 2021

Personal Notice: October 1, 2021

Staff sent 25 Personal Notices to properties within a 200-foot buffer of the subject property. As of present, Staff received no letters of support or opposition out of those 25 properties that were individually notified.

IN SUPPORT: 0

IN OPPOSITION: 0

SUMMARY:

This is a City-initiated initial zone designation to an R-2 Residential District on an approximately 0.270-square miles of land, generally located on the east side of Blanco Road approximately 1.2 miles south of State Hwy 46 and adjacent to the Belle Oaks Ranch Subdivision. The subject area is approximately 172.5 acres of undeveloped land. This property was a voluntary annexation on September 14, 2021, which was requested by the owner, Southerland Properties. A development agreement was made between the City and Owner adding to the Belle Oaks Ranch Development on April 13, 2021. As part of the development agreement the owner agreed to the annexation of the property and to comply with the City's developmental regulations in the same manner as Belle Oaks Ranch.

PREVIOUS ACTIONS:

A Development Agreement between the City of Bulverde and Belle Oaks Ranch, Ltd., was executed on January 9, 2018. Additionally, the Belle Oaks Ranch Development was previously annexed and zoned to its current zoning designation on June 12, 2018 under cases AN-18-01 and ZC-18-04.

ANALYSIS:

All properties in the Belle Oaks Ranch Subdivision are zoned R-2 Residential District. The purpose of this initial zone designation to a R-2 Residential District for the 0.270-square miles of land is to match the existing zoning of properties in Belle Oaks Ranch.

As shown in the attached zoning exhibit, the subject property is bordered by R-2 Residential zoning to the west, and R-1 Residential zoning to the east.

Per Section 14.03.004 of the Bulverde Code of Ordinances: *The intent of the R-2 district is to provide for the development of single-family homes on lots that are large by typical suburban standards but are not required to meet the minimum standards for the R-1 district.* Standard lot size in R-2 Residential ranges from one (1) to 4.99 acres.

Per Article II, Section 2.2(A) of the Development Agreement: *All residential lots must be one acre or greater.* All residential lots within the 0.270 square miles of land meet the minimum lot size requirement for R-2 Residential zoning. This City-initiated zone change will conform with the existing development and streamline the development review process as properties in this area of the Belle Oaks Ranch Subdivision are developed.

ATTACHMENTS:

- A. Zoning Map Exhibit

ZC-21-06 ZONING MAP EXHIBIT

Legend

-  ZONING LIMITS
-  EXISTING CITY LIMITS




1 inch = 600 feet

ZONING AREA
0.270 SQ. MILES
172.50 ACRES

- | ID | OWNER NAME, LEGAL DESCRIPTION |
|-----|---|
| 1. | SOUTHERLAND BELLE OAKS LLC, BELLE OAKS RANCH PHASE III, LOT 908 |
| 2. | KNOTT RORY R & SUE, BELLE OAKS RANCH PHASE III, BLOCK 4, LOT 95 |
| 3. | THOMAS CLAREN J SR & LORI G, BELLE OAKS RANCH PHASE III, BLOCK 4, LOT 96 |
| 4. | MULLEN MICHAEL F & KAREN M, BELLE OAKS RANCH PHASE III, BLOCK 4, LOT 97 |
| 5. | MULLEN MICHAEL F & KAREN M, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 98 |
| 6. | PROVIDENT POINT LLC, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 99 |
| 7. | MCNAB JAMES A G RVCBL FAMILY TRST AGRMNT 3-24-2016, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 100 |
| 8. | BEARDEN CHARLES D & AUDREY, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 101 |
| 9. | COLUNGA JULIAN R & JESSICA, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 102 |
| 10. | MARTINEZ ROMAN J & NATALIE I FRYE-MARTINEZ, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 103 |
| 11. | NOVACK JOSEPH J & MICHELE L MONCEAUX, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 104 |
| 12. | GUIROVICH LOUIS J & MARY E, BELLE OAKS RANCH PHASE IV, BLOCK 4, LOT 105 |

LAUBACH ROSEMARY
A-408 SUR-431 T G MCGEHEE,
ACRES 57.782

LAUBACH ROSEMARY
A-408 SUR-431 T G MCGEHEE,
ACRES 87.59, (& OTHER SURVEYS)

SIMONS TRAVIS JAMES
A-497 SUR-601 A RUBIO,
ACRES 62.782

FIELDER PATRICIA G
SHEPHERDS RANCH 5, LOT 109

KELLER DONALD L & MARLENE
SHEPHERDS RANCH 5, LOT 110

TAYLOR WESLEY L & SANDRA K
SHEPHERDS RANCH 5, LOT 111, LIFE ESTATE

BOBO KENNETH A
SHEPHERDS RANCH 5, LOT 113 & 114

MOLINA WILLIAM H & ANNA M
SHEPHERDS RANCH 5, LOT 115

CASTLEBERRY KEARY P & CATHERINE B
CENTENNIAL RIDGE 3, BLOCK 1, LOT 57

LAUBACH GERALD
A-119 SUR-768 A CARSON, ACRES 80.74

LAUBACH GERALD
A-762 SUR-874
E WAHRMUND
ACRES 48.127

POINT OF BEGINNING

BELLE OAKS RANCH LTD
A-655 SUR-237 J WEBB
ACRES 230.857

ANSLEY RIDGE
1
2
3
4
5
6
7
8
9
10
11
12

FOSSIL SPRINGS
POST OAK RIDGE
LIVE OAK RIDGE

KUNZ

SHEPHERDS RANCH



PLANNING AND ZONING COMMISSION ITEM:
VR-21-04
VARIANCE
Noah's Ark

MEETING DATE: October 14, 2021
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Consider a request by Noah's Ark Development for a variance to Section 17.04.003, related to Cuts, and Section 17.04.004, related to Fills, of the City of Bulverde Code of Ordinances, on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.

OWNER:

Robert Keith Stoddard, Jr,

APPLICANT:

Noah's Ark Development
30435 US Highway 281 N
Bulverde, TX 78163

PROPERTY INFORMATION:

Address: 30665 US Highway 281 N
Legal Description: Agapito Gayton Survey, Abstract 174, acres 6.00
Owner: Robert Keith Stoddard, Jr,
Existing Land Use: Undeveloped
Existing Zoning: C-2, Commercial District

SUMMARY:

The applicant, Noah's Ark Development, intends to develop a 6.00-acre tract of land into a 149,025-square-foot expansion (in three (3) phases of development) of an existing self-storage facility located on the adjacent property to the south. The property is located on the west side of US Hwy 281 north of Bulverde Road, within the City Limits of the City of Bulverde.

The City of Bulverde has advised the applicant of the requirements that must be adhered to during the development and construction process, including Chapter 10 (Subdivision Ordinance) and Chapter 17 (Environmental Protection Ordinance).

The applicant has the following variance requests:

Cuts. The applicant is requesting a variance to the cut requirements in Chapter 17, Section 17.04.003 of the Bulverde Code of Ordinances. **The proposed maximum depth of cut exceeds four (4) feet.**

Fills. The applicant is requesting a variance to the fill requirements in Chapter 17, Section 17.04.004 of the Bulverde Code of Ordinances. **The proposed maximum depth of fill exceeds (4) feet.**

The applicant's request is included in the application for each variance request, which is attached to this staff report. The applicant shall present their case to the Planning & Zoning Commission for consideration during the meeting.

THE GRANTING OF THIS REQUESTED VARIANCE DOES NOT CONSTITUTE APPROVAL OF ANY OTHER VARIANCES WHICH MAY BE DEPICTED IN THE EXHIBITS ATTACHED TO THIS APPLICATION AND REPORT. ANY AND ALL OTHER VARIANCES FROM THE BULVERDE CODE OF ORDINANCES THAT DO NOT INCLUDE THIS REQUESTED VARIANCE WILL BE REQUESTED IN A SEPARATE APPLICATION AND APPROVAL PROCESS.

ANALYSIS:

Cuts. To develop the subject property, as shown in the attached exhibits, the applicant is proposing to cut areas of the site that exceed 4 feet in depth (as high as 15 feet). Section 17.04.003 of the City of Bulverde Code of Ordinances defines "cut" as: *the removal of naturally occurring earth material for the purpose of creating a more level building area. Cuts or other excavation associated with the preparation of land for development of lots and public improvements may not exceed four (4) feet in depth.*

Fills. According to the attached exhibits, the applicant is also proposing to fill areas of the site that exceed 4 feet in depth (as high as 15 feet). Pursuant to Section 17.04.004 of the City of Bulverde Code of Ordinances, *fills associated with the preparation of land for development of lots and public improvements may not exceed four (4) feet in depth.*

Halff Associates and City staff reviewed all documents submitted with this variance request. Review comments associated with the requested variance can be found in the attached review memo. The applicant did not provide a proposed grading in order for the reviewer to visualize how cut/fill will be limited to comply with City code. It was not shown where the isolated cases of 15'+ grades were proposed. A proposed grading plan with locations of cut/fill in excess of 4' is required in order to properly analyze the requested variances.

Section 17.04.006, which pertains to relief from cut and fill requirements, provides a variance process in which a *request for cuts or fills greater than eight (8) feet may be approved by the City Council in accordance with Section 1.07 of Chapter 10, Exhibit A, of the City of Bulverde Code of Ordinances.*

AUTHORITY OF THE PLANNING & ZONING COMMISSION:

Section 1.07 of the City of Bulverde Code of Ordinances states:

a) General.

(i) *Variations to the requirements of this ordinance may be granted by the City Council for nonprocedural items provided the City Council determines that undue hardship will result from strict compliance with the ordinance. A variance may be granted only when in harmony with the general purpose and intent of this ordinance so that the public health, safety and welfare may be secured and substantial justice done. In granting a variance, the City Council shall prescribe only conditions that it deems necessary to or desirable in the public interest.*

(ii) *In making the findings required herein, the City Council shall take into account the nature of the proposed land use, existing uses of land in the vicinity, the number of persons who will reside or work in the proposed subdivision, and the probable effect of such variance upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity. No variance shall be granted unless the City Council makes affirmative findings as to all of the following:*

- 1) *That there are special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of the land;*
- 2) *That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant;*
- 3) *That granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area; and*
- 4) *That granting of the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this ordinance.*

ATTACHMENTS:

- A. Half Review Memo
- B. Application
- C. Letter of Authorization
- D. Survey
- E. Topographic & Tree Survey
- F. Site Plan
- G. Elevations
- H. Additional Exhibits

REVIEW MEMORANDUM

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: Variance requests
Noah's Ark PDD-21-04

DATE: September 27, 2021

Halff Associates, on behalf of the City of Bulverde, has reviewed the variance requests for the proposed Noah's Ark storage facility expansion off Hwy 281. Following review of the submitted documents, Halff is providing the following responses:

1. The TIA Worksheet was not completed in accordance with CoB Code of Ordinances Ch. 10, Section 2.04 (b) (iii) 2). Insufficient information was provided to evaluate the TIA Worksheet.
2. The fire marshal should be consulted regarding the site plan, which appears to show part of this site's access via the parcel to the north. There is nothing nearby existing to connect to. While it appears the northern property is owned by the same person, there is nothing I see which indicates how/whether/when that access will be extended through the adjacent property. Access via the current Noah's Ark area to the south is also shown. This access may not be adequate for emergency response. The geometry seems too tight for fire trucks to navigate, and it's uncertain this layout meets typical fire department requirements for maximum dead-end length without a cul-de-sac.
3. Cut and Fill variance – No proposed grading was provided to visualize how cut/fill will be limited to comply with City code. Where are the isolated cases of 15'+ grading? Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.
4. Tree removal variance – Applicant is proposing to only save 13% of the caliper width of protected trees vs. the required 60%. This seems excessive.
5. Steep Slope variance – Applicant did not provide a slope map identifying sections of slope per Section 4.04 of the subdivision code. Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.

Please keep these responses in mind as the City considers the variance requests.



Sam Edwards, PE, CFM
Halff Associates, Inc.



Half Associates, Inc.
100 NE Loop 410, Suite 200
San Antonio, Texas 78216
(210) 798-1895

CC. Adrian Garcia, PE, CFM – City Engineer, Bulverde
Susanna Ramos, AICP – City Planner, Bulverde
Josh Logan, PE, CFM – Half Associates Senior Project Manager



Application for Variance

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

Date: 14 September 2021

Case No. _____

Applicant Information:

Noah's Ark Development 210-307-5599
Name Phone Fax
30435 US HWY 281 N BULVERDE, TX 78163 cecelia@noahsarkdevelopment.com
Address Email

Property Owner Information:

ROBERT KEITH STODDARD JR 210-723-8118
Name Phone Fax
ks@stoddardgc.com
Address Email

** If property owner is not the applicant, a letter of authorization from the owner is required with application submittal.*

Property Identification:

Street Address: 30665 U.S. Highway 281 N, Bulverde, TX 78163
Legal Description: A 6.000-acre tract of land situated in the Agapito Gayton Survey, Abstract No. 174, Comal County, Texas, out of that certain 10.02 Acre tract conveyed to Robert Keith Stoddard, described indocument No. 200106026299, official public records, Comal County
Zoning District Classification: C-2

Description of Request:

1. Variance to Section 17.04.006 of the City of Bulverde Code of Ordinances, which requires:
The city manager may approve a cut or fill of not more than eight feet.

2. Variance to Section 17.03.005 of the City of Bulverde Code of Ordinances, which requires:
Disturbance associated with the preparation of land for development of lots or improvements shall not disturb more than that percentage of the surface area indicated.

3. Variance to Section 17.06.009 of the City of Bulverde Code of Ordinances, which requires:
The total tree removal from the site cannot exceed 60% of the total caliper width of protected, specimen, majestic, or historic trees.

4. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

5. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

The undersigned agrees to pay the **non refundable** application fee and any other applicable fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required. The undersigned also acknowledges the City Staff may require additional appropriate information be submitted to aid in the review.

Cecelia Parra

14 September 2021

Signature of Owner/Applicant

Date

Fees: \$1,500

Zoning and Plat Variance Review Fee - \$750.00 (per Section/Provision of the Code)

Variance Review Fee (all other Variances)- \$500.00 (per Section/Provision of the Code)

VARIANCE CRITERIA EXPLANATION FORM

Article 17.04 Cut and Fill Requirements

(This Form is required with submittal of a Variance Application. If more than one variance is requested in an application, a separate Variance Criteria Explanation Form shall be required for each Variance. Please include additional pages as necessary.)

- 1) Describe the special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the reasonable use of the land.

The existing property has over 35 ft. of fall from the northwest corner to the southeast corner with a 7 ft.+/- "ridge" dissecting the middle of the site. Cut/fill exceeding limits of 8 ft. put forth in Article 17.04 will be required for development of the proposed self-storage use.

- 2) Describe how the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.

Reasonable efforts shall be made to limit cut/fill to comply with 17.04. However, there will be portions of the site which will need to be graded in excess of those limitations, up to 15 ft. in isolated cases.

- 3) Describe how granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area.

In the case of cut/fill exceeding limitations of 17.04, best management practices identified in the approved stormwater pollution prevention plan or the appropriate permit issued by the Texas Commission on Environmental Quality will be constructed so that water quality levels would be the same or better quality as would result from a cut or fill of not more than four (4) feet. Railings will be added in case walls are needed.

- 4) What effect, if any, would the variance have on the orderly subdivision of other land in the area in accordance with the City of Bulverde Code of Ordinances?

None, as the effects are internal to the site.

***Note for the Board / Commission:**

The following responses were provided by the applicant and may not be consistent with the Department staff report.

AUTHORIZATION LETTER FOR THE CITY OF BULVERDE

DATE: 14 Sept. 2021

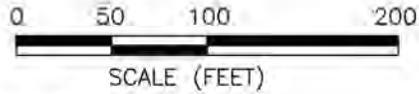
City of Bulverde
Planning and Zoning Commission
30360 Cougar Bend
Bulverde, TX 78163

RE: Owner Authorization for Noah's Ark Development (the "Applicant")

This is to certify that I, ROBERT KEITH STODDARD JR (property owner) am the owner of the property located at 30665 US Hwy 281 N Bulverde, TX 78163. Please accept this letter as my authorization to allow NOAH'S GP, INC., DBA NOAH'S ARK DEVELOPMENT (applicant) to submit applications for the referenced property to the Planning and Zoning Commission of the City of Bulverde.

Owners Signature: Keith Stoddard
Owners Phone Number: 210-723-8118
Owners Email Address: ks@stoddardgc.com

ROBERT KEITH STODDARD
 REMAINDER OF
 A TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.



LOT 68

LOT 69

SADDLE RIDGE
 SUBDIVISION
 UNIT 1
 VOL 13 PG
 42-48

LOT 105

LOT 70

FOUND 1/2" IRON

LOT 71

6.00 ACRES
 OUT OF A
 TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.

(UNIMPROVED)

A=499.73'
 R=3759.72'
 D=7°36'56"
 CH=S 13°46'28" W
 CHL=499.36'

GRID COORDINATES
 N:13819660.64
 E:2148425.92
 Z:1033.54

N 21°05'23" W
 49.48'

FOUND 1/2" IRON
 ROD "4233"

N 89°44'16" W 349.54'

LOT 1
 3.50 ACRES
 NOAH'S ARK
 VOL 12 PG 14)

S 10°02'32" W
 101.29'

FOUND 1/2" IRON
 CAPPED "ACS
 INC. SA"

US HWY 281

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- C.M. CONTROLLING MONUMENT
- P.O.B. POINT OF BEGINNING

SURVEYOR NOTES:

THIS BOUNDARY SURVEY WAS COMPLETED WITHOUT ADDITIONAL RESEARCH TO DETERMINE IF OTHER MATTERS OF RECORD, IF ANY, MIGHT AFFECT THIS PROPERTY, SUCH AS EASEMENTS, SETBACKS, OR OTHER ENCUMBRANCES.

BASIS OF BEARING IS NAD83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE

DATE OF FIELDWORK: 06/18/2021

LEGAL DESCRIPTION

SURVEY OF A 6.000 ACRE TRACT OF LAND SITUATED IN THE AGAPITO GAYTON SURVEY, ABSTRACT NO. 174, COMAL COUNTY, TEXAS, OUT OF THAT CERTAIN 10.02 ACRE TRACT CONVEYED TO ROBERT KEITH STODDARD, DESCRIBED IN DOCUMENT NO. 200106026299, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.



**SHERWOOD
 SURVEYING & S.U.E.**
 UTILITIES | RESIDENTIAL | COMMERCIAL | INDUSTRIAL
 6477 FM 311, P.O. BOX 992 TBPELS FIRM#10044200
 SPRING BRANCH, TEXAS 78070
 PHONE (830) 228-5788 FAX (830) 885-2170



SURVEYORS CERTIFICATE

I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, REGISTRATION NUMBER 4069, HEREBY STATE THAT DURING THE MONTH OF JUNE, 2021, A SURVEY OF THE REAL PROPERTY SHOWN HEREON WAS MADE UPON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

Richard A. Goodwin JUNE 29, 2021
 RICHARD A. GOODWIN DATE
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4069



P.O. BOX 992 | 6477 FM 311, SPRING BRANCH, TX 78070
WWW.SHERWOODSURVEYING.COM
TBPELS FIRM #10044200

6.000 ACRES

FN NO. 21NAD001

JUNE 29, 2021

FIELDNOTE DESCRIPTION

BEING A 6.000 ACRE TRACT, SITUATED IN THE AGAPITO GAYTON SURVEY NO. 194, ABSTRACT NUMBER 174, OUT OF THAT CERTAIN 10.02 ACRE TRACT RECORDED IN DOCUMENT NUMBER 200106026299 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, SAID 6.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A ½" IRON ROD FOUND SITUATED ON THE WESTERLY LINE OF U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF LOT 1, NOAH'S ARK, A SUBDIVISION RECORDED IN VOLUME 12, PAGE 141, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, SAME BEING THE SOUTHEASTERLY CORNER OF SAID 10.02 ACRE TRACT, FOR THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 89°44'16" W, ALONG THE NORTHERLY LINE OF SAID LOT 1, NOAH'S ARK SUBDIVISION, COMMON WITH THE SOUTHERLY LINE OF SAID 10.02 ACRE TRACT, A DISTANCE OF 349.54 FEET TO A ½" IRON ROD FOUND FOR THE NORTHWESTERLY CORNER OF SAID LOT 1 SITUATED IN THE EASTERLY LINE OF SADDLE RIDGE SUBDIVISION, UNIT 1, RECORDED IN VOLUME 13, PAGE 42-48, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, FOR THE SOUTHWESTERLY CORNER OF SAID 10.02 ACRE TRACT AND THE SOUTHWESTERLY CORNER OF THE HEREIN TRACT;

THENCE, ALONG THE WESTERLY LINE OF SAID 10.02 ACRE TRACT, COMMON WITH THE EASTERLY LINE OF SAID SADDLE RIDGE SUBDIVISION, UNIT 1, THE FOLLOWING COURSES:

N 21°05'23" W, A DISTANCE OF 49.48 FEET TO A ½" IRON ROD FOUND;

N 00°56'03" W, A DISTANCE OF 539.39 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" FOR THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 89°44'16" E, SEVERING SAID 10.02 ACRE TRACT, A DISTANCE OF 512.70 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" ON THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;



THENCE, ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281,
THE FOLLOWING COURSES:

S 10°02'32" W, A DISTANCE OF 101.29 FEET TO A FOUND ½" IRON ROD
CAPPED "ACS INC. SA" AT THE BEGINNING OF A CURVE TO THE RIGHT;

IN A CURVE TO THE RIGHT, HAVING A RADIUS OF 3759.72 FEET, AN ARC
LENGTH OF 499.73 FEET, A CENTRAL ANGLE OF 07° 36' 56", AND
HAVING A CHORD BEARING OF S 13°46'28" TO THE **POINT OF BEGINNING**,
CONTAINING AN AREA OF 6.00 ACRES OF LAND MORE OR LESS.

A SURVEY EXHIBIT WAS PREPARED ON THIS SAME DATE. BASIS OF BEARING
IS NAD 83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE.

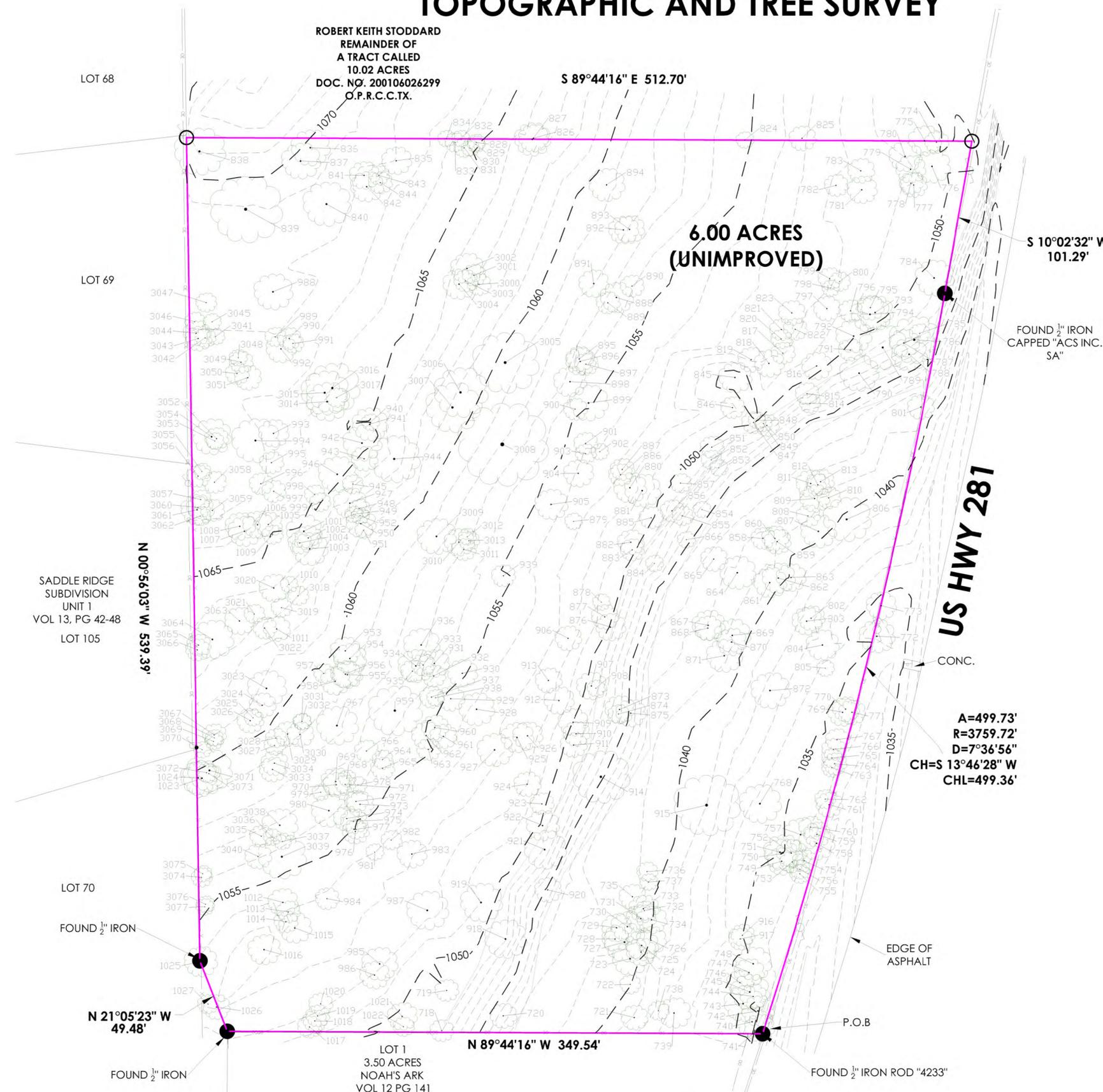
I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND
SURVEYOR, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREIN WAS
DETERMINED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND
SUPERVISION.

 6/29/21

RICHARD A. GOODWIN DATE
R.P.L.S. #4069 STATE OF TEXAS



TOPOGRAPHIC AND TREE SURVEY



SURVEYOR NOTES:
 THIS BOUNDARY SURVEY WAS COMPLETED WITHOUT ADDITIONAL RESEARCH TO DETERMINE IF OTHER MATTERS OF RECORD, IF ANY, MIGHT AFFECT THIS PROPERTY, SUCH AS EASEMENTS, SETBACKS, OR OTHER ENCUMBRANCES.
 BASIS OF BEARING IS NAD83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE
 DATE OF FIELDWORK: 7-7-21

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- C.M. CONTROLLING MONUMENT
- BENCHMARK
- △ CONTROL POINT
- E ELECTRIC BOX
- T TELEPHONE PEDESTAL
- W WATER METER
- E ELECTRIC METER
- MH MANHOLE
- ↑ GUY WIRE
- POWER POLE
- SIGN
- ☀ LIGHT POLE
- W WATER VALVE
- W IRRIGATION CONTROL VALVE
- W WIRE FENCE
- CO CLEAN OUT
- ⊙ FIRE HYDRANT
- G GAS METER
- T MARKER-UNDERGROUND TELEPHONE
- WW MANHOLE-WASTE WATER
- CONCRETE MONUMENT
- ☁ TREE

DESIGNED BY:	-
CHECKED BY:	R. GOODWIN
DRAWN BY:	J. FITZGIBBONS
JOB:	21NAD001
DATE:	7-13-21
SCALE:	1" = 50'
SHEET:	1 OF 2

LEGAL DESCRIPTION
 BEING A 6.000 ACRE TRACT OF LAND SITUATED IN THE AGAPITO GAYTON SURVEY, ABSTRACT NO. 174, COMAL COUNTY, TEXAS, OUT OF THAT CERTAIN 10.02 ACRE TRACT CONVEYED TO ROBERT KEITH STODDARD, DESCRIBED IN DOCUMENT NO. 200106026299, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

NOAH'S ARK
 SELF STORAGE I,
 L.P.

REVISIONS	DATE



SURVEYORS CERTIFICATE
 I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, REGISTRATION NUMBER 4069, HEREBY STATE THAT DURING THE MONTH OF JULY, 2021, A SURVEY OF THE REAL PROPERTY SHOWN HEREON WAS MADE UPON THE GROUND UNDER MY DIRECTION AND SUPERVISION.
 RICHARD A. GOODWIN
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4069
 7-14-21

DOC. NO. 200106026277
O.P.R.C.C.TX.

ISSUE	DATE
OWNER REVIEW	1/11/2021
	1/20/2021
	8/19/2021
	9/13/2021

NOAH'S ARK
SELF STORAGE/
CORP OFFICE

US HWY 281 NORTH
BULVERDE, TX 78163

**Kaufman
Design
Group**

ARCHITECTURE

12371 E. LINCOLN CT.
WICHITA, KS 67207
(316) 618-0448
(316) 618-0048 fax
skaufman@cox.net

SHEET TITLE
SITE ARCHITECTURAL

SHEET NUMBER

SA1

OF SHEETS



SITE AREA	
261,395 SF	6.00 ACRES
BUILDING DATA	
PHASE 1	
98,625 TOTAL GSF	
RETAIL 1,800 SQ FT	
RENTAL OFFICE 1000 SQ FT	
SUPPORT 270 SQ FT	
	3070 SQ FT
CORP OFFICE 6075 SQ FT	
STORAGE 89,480 GSF	
APPROX 68,000 NET RENTABLE	
PHASE 2	
OFFICE 6,000 GSF	
STORAGE 26,900 GSF	
PHASE 3	
17,500 TOTAL GSF	

Building GSF = 149,450
Total SF = 261,367.77
FAR = 0.57:1

Impervious Cover = 127,183.37
Total SF = 261,367.77
Impervious Cover = 48.66%

SADDLE RIDGE
SUBDIVISION
UNIT 1
VOL 13, PG 42-48
LOT 105

LOT 70

N 21°05'23" W
49.48'

N 00°56'03" W 539.39'

3 STORY
32,875 SF/FLOOR
98,625 GSF

PHASE 2
1 STORY
UPPER
13,500 SF

PHASE 2
1 STORY
UPPER
13,400 SF

PHASE 3
1 STORY
ELEV 1055
17,500 SF

OFFICE/WAREHOUSE
PHASE 2
1 STORY
6,000 SF

A=499.73'
R=3759.72'
D=7°36'56"
CH=S 13°46'28" W
CHL=499.36'

S 10°02'32" W
101.29'

US HWY 281

LOT 1
3.50 ACRES
NOAH'S ARK
VOL 12 PG 141

N 89°44'16" W 349.54'

SITE DEVELOPMENT PLAN
scale 1" = 30.0'

MATERIAL LEGEND

TAG	TAG	DESCRIPTION	MANUF/COLOR
(A)		24 GA. ARCHITECTURAL STEEL PANEL 1 1/8" DEEP HORIZONTAL FLUTE	MBCI A PANEL COPPER METALLIC
(B)		NATIVE DIMENSIONAL CUT LIMESTONE	TO BE SELECTED
(C)		24 GA. ARCHITECTURAL STEEL PANEL HORIZONTAL INSTALLATION	MBCI D PANEL DOVE METALLIC
(D)		STEEL FRAMING & CANOPY OR SHADE STRUCTURE	PAINT TO BE SELECTED
(E)		STOREFRONT ALUM. GLAZING SYSTEM	ANODIZED ALUMINUM FRAME
(F)			
(G)			

MASONRY 28% OF EAST FACADE
LESS DOORS AND WINDOWS

LOW EAVE
ELEV 132'-0"

3rd FINISH FLOOR
ELEV 122'-0"

2nd FINISH FLOOR
ELEV 111'-0"

1st FINISH FLOOR
ELEV 95'-0"



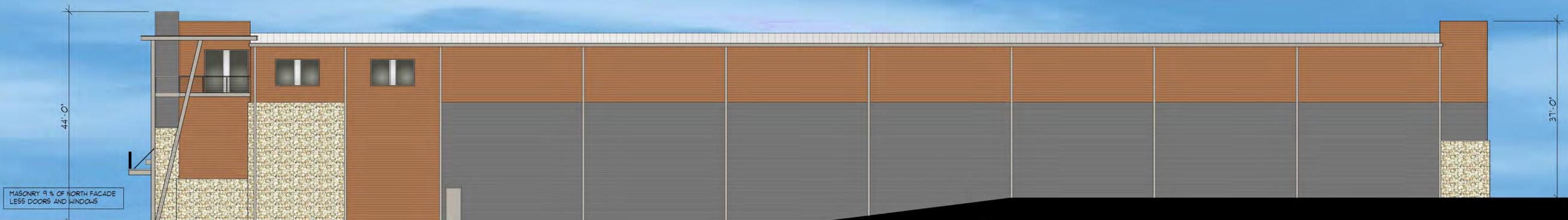
EAST FRONTAGE ELEVATION

SCALE 3/32" = 1'-0"



SOUTH ELEVATION

SCALE 3/32" = 1'-0"



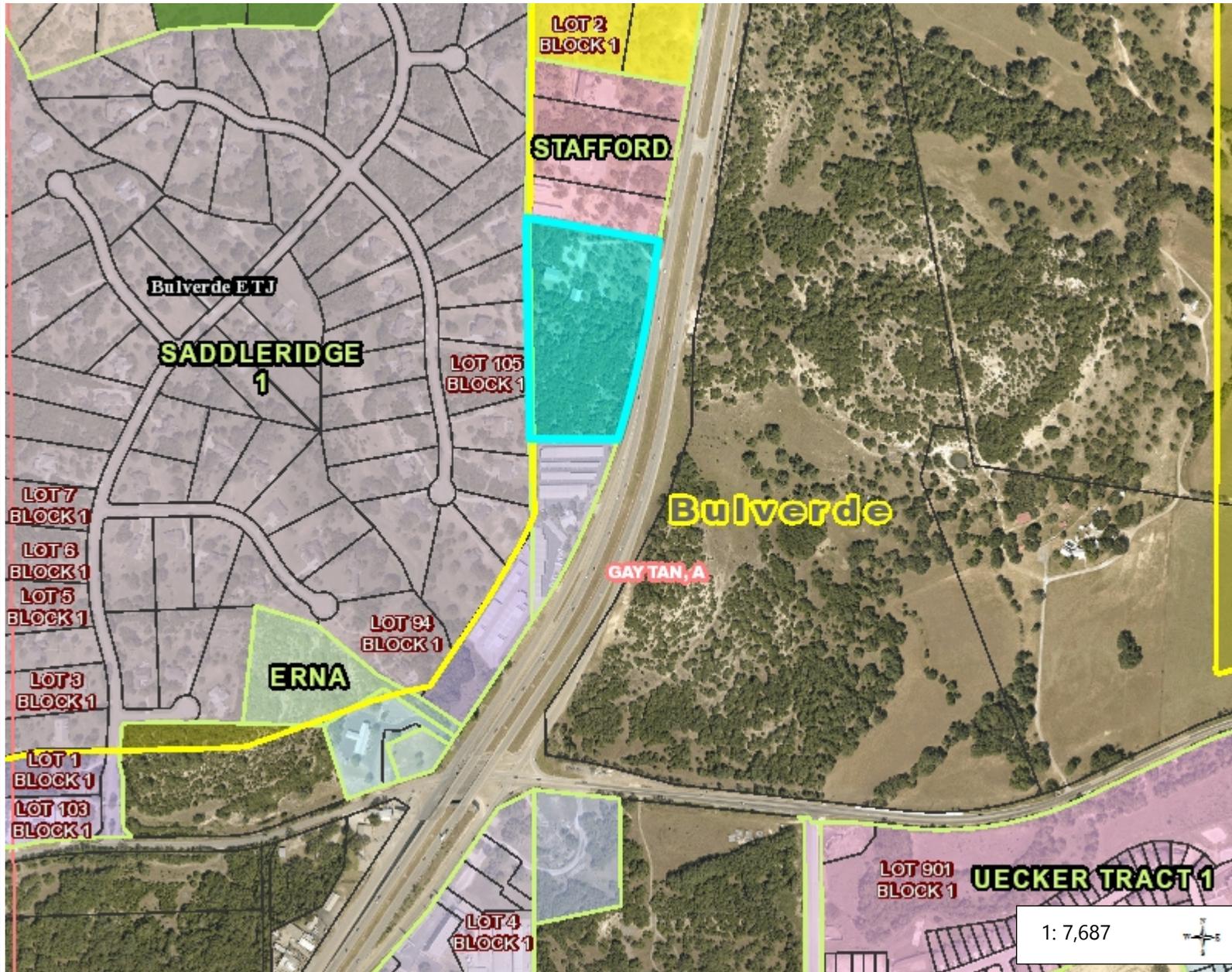
NORTH ELEVATION

SCALE 3/32" = 1'-0"



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
- Vacate & Replat
- Amendment to Plat
- Amending Plat
- Vacating Plat
- Red: Band_1
- Green: Band_2
- Blue: Band_3



Notes

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



FLOODPLAIN



Legend

- Addresses
- Culverts
- Guardrails
- Major Roads
 - Farm roads
 - Highways
- Streets
- Major Thoroughfares
 - Collector Road
 - Freeway
 - Local Road
 - Primary Arterial
 - Secondary Arterial
- LOMAs
- LOMRs
- FEMA Floodplain 100 Yr
- Firm Panel
- Floodway
- 500 Yr Floodplain
- Parcels
- Future Parcels
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

1: 5,597






Edwards Aquifer Contributing Zone



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

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PLANNING AND ZONING COMMISSION ITEM:
VR-21-05
VARIANCE
Noah's Ark

MEETING DATE: October 14, 2021
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Consider a request by Noah's Ark Development for a variance to Chapter 17, Section 17.06.009, related to Tree Removal and Mitigation, of the City of Bulverde Code of Ordinances, on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.

OWNER:

Robert Keith Stoddard, Jr,

APPLICANT:

Noah's Ark Development
30435 US Highway 281 N
Bulverde, TX 78163

PROPERTY INFORMATION:

Address: 30665 US Highway 281 N
Legal Description: Agapito Gayton Survey, Abstract 174, acres 6.00
Owner: Robert Keith Stoddard, Jr,
Existing Land Use: Undeveloped
Existing Zoning: C-2, Commercial District

SUMMARY:

The applicant, Noah's Ark Development, intends to develop a 6.00-acre tract of land into a 149,025-square-foot expansion (in three (3) phases of development) of an existing self-storage facility located on the adjacent property to the south. The property is located on the west side of US Hwy 281 north of Bulverde Road, within the City Limits of the City of Bulverde.

The City of Bulverde has advised the applicant of the requirements that must be adhered to during the development and construction process, including Chapter 10 (Subdivision Ordinance) and Chapter 17 (Environmental Protection Ordinance).

The applicant has the following variance requests:

Tree Removal and Mitigation. The applicant is requesting a variance to exceed 60% of the total caliper width of specimen trees allowed to be removed on site. The site has a total of 3,751 caliper inches of protected trees. There are 1,113.5 inches proposed to be removed from within the building pad or 10' setback. They are proposing to remove an additional 2,637.5 caliper inches that are not exempt. Out of the 60% required to be preserved or 1,582.5 caliper inches, the applicant is only proposing to preserve 346 caliper inches that account for 13.12% of the total caliper inches.

The applicant has submitted an explanation for each variance request in their application, which is attached to this staff report. The applicant shall present their case to the Planning & Zoning Commission for consideration during the meeting.

THE GRANTING OF THIS REQUESTED VARIANCE DOES NOT CONSTITUTE APPROVAL OF ANY OTHER VARIANCES WHICH MAY BE DEPICTED IN THE EXHIBITS ATTACHED TO THIS APPLICATION AND REPORT. ANY AND ALL OTHER VARIANCES FROM THE BULVERDE CODE OF ORDINANCES THAT DO NOT INCLUDE THIS REQUESTED VARIANCE WILL BE REQUESTED IN A SEPARATE APPLICATION AND APPROVAL PROCESS.

ANALYSIS:

Under Section 17.06.009(c) of the Bulverde Code of Ordinances, *total tree removal from the site cannot exceed 60% of the total caliper width of protected, specimen, majestic, or historic trees on site.* **However, the proposed removal of 3,751 caliper inches does not comply with the current ordinance because it accounts for 86.88% of the total caliper width of protected trees on the subject property.**

Under Section 17.06.009(d)(7) of the Bulverde Code of Ordinances, *If insufficient land area exists to plant the required total caliper width of replacement trees as defined in this section, then the cash in lieu amount can be applied up to 50% of the required replacement tree caliper. At the sole cost of the permittee, a certified arborist shall make a written determination of the maximum total caliper width of replacement trees that may be planted on the site.* **The applicant is not proposing any mitigation for the removal of the protected trees.**

Halff Associates and City staff reviewed all documents submitted with this variance request. Review comments associated with the requested variance can be found in the attached review memo.

AUTHORITY OF THE PLANNING & ZONING COMMISSION:

Section 1.07 of the City of Bulverde Code of Ordinances states:

a) General.

(i) *Variations to the requirements of this ordinance may be granted by the City Council for nonprocedural items provided the City Council determines that undue hardship will result from strict compliance with the ordinance. A variance may be granted only when in harmony with the general purpose and intent of this ordinance so that the public health, safety and welfare may be secured and substantial justice*

done. In granting a variance, the City Council shall prescribe only conditions that it deems necessary to or desirable in the public interest.

(ii) In making the findings required herein, the City Council shall take into account the nature of the proposed land use, existing uses of land in the vicinity, the number of persons who will reside or work in the proposed subdivision, and the probable effect of such variance upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity. No variance shall be granted unless the City Council makes affirmative findings as to all of the following:

- 1) That there are special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of the land;*
- 2) That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant;*
- 3) That granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area; and*
- 4) That granting of the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this ordinance.*

ATTACHMENTS:

- A. Halff Review Memo
- B. Application
- C. Letter of Authorization
- D. Noah's Ark Tree Calculations
- E. Site Plan Exhibit
- F. Survey
- G. Topographic & Tree Survey
- H. Elevations
- I. Additional Exhibits

REVIEW MEMORANDUM

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: Variance requests
Noah's Ark PDD-21-04

DATE: September 27, 2021

Halff Associates, on behalf of the City of Bulverde, has reviewed the variance requests for the proposed Noah's Ark storage facility expansion off Hwy 281. Following review of the submitted documents, Halff is providing the following responses:

1. The TIA Worksheet was not completed in accordance with CoB Code of Ordinances Ch. 10, Section 2.04 (b) (iii) 2). Insufficient information was provided to evaluate the TIA Worksheet.
2. The fire marshal should be consulted regarding the site plan, which appears to show part of this site's access via the parcel to the north. There is nothing nearby existing to connect to. While it appears the northern property is owned by the same person, there is nothing I see which indicates how/whether/when that access will be extended through the adjacent property. Access via the current Noah's Ark area to the south is also shown. This access may not be adequate for emergency response. The geometry seems too tight for fire trucks to navigate, and it's uncertain this layout meets typical fire department requirements for maximum dead-end length without a cul-de-sac.
3. Cut and Fill variance – No proposed grading was provided to visualize how cut/fill will be limited to comply with City code. Where are the isolated cases of 15'+ grading? Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.
4. Tree removal variance – Applicant is proposing to only save 13% of the caliper width of protected trees vs. the required 60%. This seems excessive.
5. Steep Slope variance – Applicant did not provide a slope map identifying sections of slope per Section 4.04 of the subdivision code. Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.

Please keep these responses in mind as the City considers the variance requests.



Sam Edwards, PE, CFM
Halff Associates, Inc.



Half Associates, Inc.
100 NE Loop 410, Suite 200
San Antonio, Texas 78216
(210) 798-1895

CC. Adrian Garcia, PE, CFM – City Engineer, Bulverde
Susanna Ramos, AICP – City Planner, Bulverde
Josh Logan, PE, CFM – Half Associates Senior Project Manager



Application for Variance

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

Date: 14 September 2021

Case No. _____

Applicant Information:

Noah's Ark Development 210-307-5599
Name Phone Fax
30435 US HWY 281 N BULVERDE, TX 78163 cecelia@noahsarkdevelopment.com
Address Email

Property Owner Information:

ROBERT KEITH STODDARD JR 210-723-8118
Name Phone Fax
Address ks@stoddardgc.com
Email

** If property owner is not the applicant, a letter of authorization from the owner is required with application submittal.*

Property Identification:

Street Address: 30665 U.S. Highway 281 N, Bulverde, TX 78163
Legal Description: A 6.000-acre tract of land situated in the Agapito Gayton Survey, Abstract No. 174, Comal County, Texas, out of that certain 10.02 Acre tract conveyed to Robert Keith Stoddard, described in document No. 200106026299, official public records, Comal County
Zoning District Classification: C-2

Description of Request:

1. Variance to Section 17.04.006 of the City of Bulverde Code of Ordinances, which requires:
The city manager may approve a cut or fill of not more than eight feet.

2. Variance to Section 17.03.005 of the City of Bulverde Code of Ordinances, which requires:
Disturbance associated with the preparation of land for development of lots or improvements shall not disturb more than that percentage of the surface area indicated.

3. Variance to Section 17.06.009 of the City of Bulverde Code of Ordinances, which requires:
The total tree removal from the site cannot exceed 60% of the total caliper width of protected, specimen, majestic, or historic trees.

4. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

5. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

The undersigned agrees to pay the **non refundable** application fee and any other applicable fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required. The undersigned also acknowledges the City Staff may require additional appropriate information be submitted to aid in the review.

Cecelia Parra

14 September 2021

Signature of Owner/Applicant

Date

Fees: \$1,500

Zoning and Plat Variance Review Fee - \$750.00 (per Section/Provision of the Code)

Variance Review Fee (all other Variances)- \$500.00 (per Section/Provision of the Code)

VARIANCE CRITERIA EXPLANATION FORM

17.06.009 – Tree Removal

(This Form is required with submittal of a Variance Application. If more than one variance is requested in an application, a separate Variance Criteria Explanation Form shall be required for each Variance. Please include additional pages as necessary.)

- 5) Describe the special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the reasonable use of the land.
According to the latest tree survey, there are more than 3,750 caliper inches of trees located throughout the site.

- 6) Describe how the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.
The scattered locations of the trees make it difficult to adhere to Sec. 17.06.009 (C) regarding not exceeding 60%, with the proposed self-storage (or any) use. In order to comply with the ordinance, such a small percentage of the site could be reasonably developed for commercial/retail, that up to 75% of the lot would need to remain undisturbed.

- 7) Describe how granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area.
Tree removal, by its nature, is not detrimental to the public's safety.

- 8) What effect, if any, would the variance have on the orderly subdivision of other land in the area in accordance with the City of Bulverde Code of Ordinances?

None.

***Note for the Board / Commission:**

The following responses were provided by the applicant and may not be consistent with the Department staff report.

AUTHORIZATION LETTER FOR THE CITY OF BULVERDE

DATE: 14 Sept. 2021

City of Bulverde
Planning and Zoning Commission
30360 Cougar Bend
Bulverde, TX 78163

RE: Owner Authorization for Noah's Ark Development (the "Applicant")

This is to certify that I, ROBERT KEITH STODDARD JR (property owner) am the owner of the property located at 30665 US Hwy 281 N Bulverde, TX 78163. Please accept this letter as my authorization to allow NOAH'S GP, INC., DBA NOAH'S ARK DEVELOPMENT (applicant) to submit applications for the referenced property to the Planning and Zoning Commission of the City of Bulverde.

Owners Signature: Keith Stoddard
Owners Phone Number: 210-723-8118
Owners Email Address: ks@stoddardgc.com

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
718	T OAK 8	8		
719	T OAK 8	8		
720	T OAK 9 8 MT	13		
721	T OAK 9	9		
722	T OAK 7 6 MT	10		
723	T OAK 12	12		
724	T OAK 10 7 MT	13.5		
725	T OAK 11	11		
726	T OAK 10	10		
727	T OAK 14	14		
728	T OAK 9	9		
729	T OAK 10	10		
730	T OAK 11	11		
731	T OAK 10	10		
732	T OAK 7	7		
733	T OAK 10 9 MT	14.5		
734	T OAK 10	10		
735	T OAK 9	9		9
736	T OAK 7	7		
737	T OAK 6	6		6
738	T OAK 7	7		
739	T OAK 11	11		
740	T OAK 11	11		
741	T OAK 10 9 MT	14.5		
742	T OAK 11 11 MT	16.5		
743	T OAK 13	13		
744	T OAK 9 8 MT	13		
745	T OAK 13	13		
746	T OAK 9	9		
747	T OAK 10	10		
748	T OAK 12	12		
749	T OAK 10	10		
750	T OAK 11	11		
751	T OAK 13	13		
752	T OAK 10	10		
753	T OAK 8	8		
754	T OAK 8	8		
755	T OAK 7	7		
756	T OAK 7	7		
757	T OAK 12	12		
758	T OAK 12 8 MT	16		
759	T OAK 9	9		
760	T OAK 8	8		
761	T OAK 9	9		
762	T OAK 7	7		
763	T OAK 7	7		

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
764	T OAK 8	8	outside 12	
765	T OAK 7	7		
766	T OAK 8	8		
767	T OAK 8	8		
768	T OAK 14 11 MT	19.5		
769	T OAK 10 9 MT	14.5		
770	T OAK 9	9		
771	T OAK 9	9		
772	T OAK 12			
773	T OAK 10	10		
774	T OAK 8	8		
775	T OAK 11	11		
776	T OAK 12	12		
777	T OAK 9	9		
778	T OAK 8	8		
779	T OAK 10	10		
780	T OAK 11	11		
781	T OAK 10	10		
782	T OAK 8	8		
783	T OAK 9	9		
784	T OAK 13	13		
785	T OAK 7	7		
786	T OAK 17	17		
787	T OAK 10	10		
788	T OAK 12	12		
789	T OAK 16	16		
790	T OAK 13	13		
791	T OAK 8	8		
792	T OAK 12	12		
793	T OAK 12	12		
794	T OAK 13	13		
795	T OAK 9	9		
796	T OAK 8	8		
797	T OAK 9	9		
798	T OAK 6	6		
799	T OAK 8 8 MT	12		
800	T OAK 7	7		
801	T OAK 9	9		
802	T OAK 9	9	9	
803	T OAK 10	10	10	
804	T OAK 11 11 MT	16.5		
805	T OAK 6	6		
806	T OAK 16	16	16	
807	T OAK 12	12	12	
808	T OAK 8 8 MT	12	12	
809	T OAK 10	10		

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
810	T OAK 8 8 6 MT	15		
811	T OAK 10	10		
812	T OAK 8	8		
813	T OAK 9	9		
814	T OAK 7	7		
815	T OAK 8	8		
816	T OAK 10 7 MT	13.5		
817	T OAK 8	8		
818	T OAK 10 9 MT	14.5		
819	T OAK 9	9		
820	T OAK 7	7		
821	T OAK 8	8		
822	T OAK 8	8		
823	T OAK 9	9		
824	T OAK 6	6	outside	
825	T OAK 9		9 outside	
826	T OAK 10		10	
827	T OAK 12	12		
828	T OAK 6	6		
829	T OAK 6	6		
830	T OAK 6	6		
831	T OAK 7	7		
832	T OAK 6	6		
833	T OAK 7	7		
834	T OAK 6	6		
835	T OAK 10 9 MT	14.5		
836	T OAK 13	13		
837	T OAK 13 9 MT	17.5		
838	T OAK 17	17	17	
839	T OAK 24	24	24	
840	T OAK 16	16		16
841	T OAK 10	10		10
842	T OAK 11	11		11
843	T OAK 7	7		7
844	T OAK 8 8 MT	12		12
845	T OAK 11	11		
846	T OAK 8 7 MT	11.5		
847	T OAK 8	8		
848	T OAK 6	6		
849	T OAK 6	6		
850	T OAK 8	8		
851	T OAK 8	8		
852	T OAK 7	7		
853	T OAK 6	6		
854	T OAK 6	6		
855	T OAK 7	7		

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
856	T OAK 8	8		
857	T OAK 7	7		
858	T OAK 8	8		8
859	T OAK 9	9		9
860	T OAK 9	9		9
861	T OAK 11	11		11
862	T OAK 11	11		11
863	T OAK 10	10		10
864	T OAK 12	12		
865	T OAK 9	9		
866	T OAK 6	6		
867	T OAK 11	11		
868	T OAK 9	9		
869	T OAK 12	12		12
870	T OAK 10	10		10
871	T OAK 12	12		12
872	T OAK 13 11 MT	18.5		18.5
873	T OAK 10 8 5 MT	16.5		
874	T OAK 7	7		
875	T OAK 10	10		
876	T OAK 10	10		
877	T OAK 9	9		
878	T OAK 6	6		
879	T OAK 6	6		6
880	T OAK 11	11		
881	T OAK 12	12		
882	T OAK 9	9		
883	T OAK 8	8		
884	T OAK 6	6		
885	T OAK 8	8		
886	T OAK 8	8		
887	T OAK 8	8		
888	T OAK 11	11	11	
889	T OAK 8	8	8	
890	T OAK 8	8	8	
891	T OAK 10	10	10	
892	T OAK 10	10	10	
893	T OAK 10	10	10	
894	T OAK 12	12	12	
895	T OAK 9	9	9	
896	T OAK 10	10	10	
897	T OAK 8	8	8	
898	T OAK 11	11		
899	T OAK 13	13		
900	T OAK 8	8		
901	T OAK 8	8		

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
902	T OAK 6	6		
903	T OAK 7	7		
904	T OAK 10	10		10
905	T OAK 11	11		11
906	T OAK 9	9		9
907	T OAK 10	10		
908	T OAK 6	6		
909	T OAK 10	10		
910	T OAK 9	9		
911	T OAK 9	9		
912	T OAK 10	10		
913	T OAK 9	9		9
914	T OAK 19	19	19	
915	T OAK 22	22		
916	T OAK 8	8		
917	T OAK 8	8		
918	T OAK 14	14		
919	T OAK 14	14		14
920	T OAK 9 8 MT	13		
921	T OAK 14	14	14	
922	T OAK 11	11		
923	T OAK 8	8		
924	T OAK 9	9		
925	T OAK 11	11		
926	T OAK 10	10		
927	T OAK 12	12		
928	T OAK 12	12		
929	T OAK 9	9		
930	T OAK 10	10		10
931	T OAK 10	10		10
932	T OAK 8	8		8
933	T OAK 8	8		8
934	T OAK 12	12		12
935	T OAK 8	8		8
936	T OAK 12	12		
937	T OAK 8	8		
938	T OAK 6	6		
939	T OAK 8	8		8
940	T OAK 6	6		
941	T OAK 12	12		
942	T OAK 13	13		13
943	T OAK 9	9		9
944	T OAK 17	17		17
945	T OAK 7	7		7
946	T OAK 13	13		13
947	T OAK 11	11		11

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
948	T OAK 7	7	Keep	7
949	T OAK 6	6		6
950	T OAK 10	10		10
951	T OAK 6	6		6
952	T OAK 6	6		6
953	T OAK 10	10		10
954	T OAK 11	11		11
955	T OAK 10	10		10
956	T OAK 10	10		10
957	T OAK 7	7		7
958	T OAK 10	10		10
959	T OAK 18	18		18
960	T OAK 9	9		9
961	T OAK 9	9		9
962	T OAK 10	10		10
963	T OAK 8	8		8
964	T OAK 7	7		7
965	T OAK 8	8		8
966	T OAK 8	8		8
967	T OAK 14 8 MT	18		18
968	T OAK 6	6		6
969	T OAK 10	10		10
970	T OAK 9	9		9
971	T OAK 7	7		7
972	T OAK 8	8		8
973	T OAK 9	9		9
974	T OAK 9	9		9
975	T OAK 9	9		9
976	T OAK 9	9		9
977	T OAK 7	7		7
978	T OAK 6	6		6
979	T OAK 6	6		6
980	T OAK 12	12		12
981	T OAK 6	6	6	
982	T OAK 7	7	7	
983	T OAK 10	10	10	
984	T OAK 8	8	8	
985	T OAK 12	12	12	
986	T OAK 10	10	10	
987	T OAK 14	14	14	
988	T OAK 13	13		
989	T OAK 7	7		
990	T OAK 8	8		
991	T OAK 7	7		
992	T OAK 10	10		
993	T OAK 10	10		

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
994	T OAK 16	16		
995	T OAK 8	8		
996	T OAK 8	8		
997	T OAK 8	8		
998	T OAK 7	7		
999	T OAK 7 6 6 6 MT	16		
1001	T OAK 12	12		12
1002	T OAK 9	9		9
1003	T OAK 12	12		12
1004	T OAK 8	8		8
1005	T OAK 9	9		
1006	T OAK 10	10		
1007	T OAK 11	11		
1008	T OAK 10	10		
1009	T OAK 7	7		
1010	T OAK 6	6		
1011	T OAK 9	9		
1012	T OAK 10	10		
1013	T OAK 8	8		
1014	T OAK 8	8		
1015	T OAK 11	11		11
1016	T OAK 11	11		
1017	T OAK 8	8		
1018	T OAK 8	8		
1019	T OAK 8	8		
1020	T OAK 8	8		
1021	T OAK 10	10		
1022	T OAK 7	7		
1023	T OAK 13 9 MT	17.5	17.5	
1024	T OAK 12	12	12	
1025	T OAK 11 8 7 MT	18.5	18.5	
1026	T OAK 9 6 MT	12		
1027	T OAK 7		outside	
3000	T OA 8	8		8
3001	T OA 8	8		8
3002	T OA 11	11		11
3003	T OA 8	8		8
3004	T OA 11	11		11
3005	T OA 22	22		22
3006	T OA 18	18		
3007	T OA 18	18		
3008	T OA 30 MT	30		30
3009	T OA 13	13		13
3010	T OA 10	10		10
3011	T OA 8	8		8
3012	T OA 6	6		6

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
3013	T OA 7	7		7
3014	T OA 14 MT	14		
3015	T OA 16	16		
3016	T OA 18	18		
3017	T OA 7	7		
3018	T OA 7	7		7
3019	T OA 7	7		
3020	T OA 10	10		
3021	T OA 7	7		
3022	T OA 8	8		
3023	T OA 13	13		
3024	T OA 9	9		
3025	T OA 6	6		
3026	T OA 9	9		
3027	T OA 7	7		
3028	T OA 7	7		
3029	T OA 9	9		
3030	T OA 9	9		9
3031	T OA 6	6		6
3032	T OA 6	6		6
3033	T OA 9	9		
3034	T OA 9	9		
3035	T OA 8	8		
3036	T OA 6	6		
3037	T OA 6	6		
3038	T OA 12	12		
3039	T OA 16	16		
3040	T OA 9	9		
3041	T OA 6	6	6	
3042	T OA 7	7	7	
3043	T OA 9	9	9	
3044	T OA 9	9	9	
3045	T OA 6	6	6	
3046	T OA 7	7	7	
3047	T OA 7	7	7	
3048	T OA 6	6		
3049	T OA 8	8		
3050	T OA 8	8		
3051	T OA 9	9		
3052	T OA 8	8		
3053	T OA 6	6		
3054	T OA 13	13		
3055	T OA 6	6	6	
3056	T OA 8	8	8	
3057	T OA 7	7	7	
3058	T OA 8	8	8	

Noah's Ark - Bulverde, TX
Tree Preservation Analysis

No.	Type of Tree	Diameter (in)	Keep	Bldgs +10'
3059	T OA 8	8	8	
3060	T OA 8	8	8	
3061	T OA 11	11	11	
3062	T OA 7	7	7	
3063	T OA 10	10		
3064	T OA 14 MT	14	14	
3065	T OA 8	8	8	
3066	T OA 8	8	8	
3067	T OA 8	8	8	
3068	T OA 6	6	6	
3069	T OA 6	6	6	
3070	T OA 6	6	6	
3071	T OA 15 MT	15	15	
3072	T OA 7	7	7	
3073	T OA 7	7	7	
3074	T OA 7	7	7	
3075	T OA 6	6	6	
3076	T OA 6	6	6	
3077	T OA 6	6	6	
		3751 Total	346	1113.5

Total Inches on Property	3751 in
Within Building Pad or 10' outside	1113.5 in
Outside buildings	2637.5 in
60% required	0.60
Required Inches Saved	1582.5 in
Proposed Saved	346 in
Proposed Saved Percent	13.12 %

DOC. NO. 200106026277
O.P.R.C.C.TX.

ISSUE	DATE
OWNER REVIEW	1/11/2021
	1/20/2021
	8/19/2021
	9/13/2021

NOAH'S ARK
SELF STORAGE/
CORP OFFICE

US HWY 281 NORTH
BULVERDE, TX 78163

**Kaufman
Design
Group**

ARCHITECTURE

12371 E. LINCOLN CT.
WICHITA, KS 67207
(316) 618-0448
(316) 618-0048 fax
skaufman@cox.net

SHEET TITLE
SITE ARCHITECTURAL

SHEET NUMBER

SA1

OF SHEETS



SITE AREA	
261,395 SF	6.00 ACRES
BUILDING DATA	
PHASE 1	
98,625 TOTAL GSF	
RETAIL 1,800 SQ FT	
RENTAL OFFICE 1000 SQ FT	
SUPPORT 270 SQ FT	
	3070 SQ FT
CORP OFFICE 6075 SQ FT	
STORAGE 89,480 GSF	
APPROX 68,000 NET RENTABLE	
PHASE 2	
OFFICE 6,000 GSF	
STORAGE 26,900 GSF	
PHASE 3	
17,500 TOTAL GSF	

Building GSF = 149,450
Total SF = 261,367.77
FAR = 0.57:1

Impervious Cover = 127,183.37
Total SF = 261,367.77
Impervious Cover = 48.66%

SADDLE RIDGE
SUBDIVISION
UNIT 1
VOL 13, PG 42-48
LOT 105

LOT 70

N 21°05'23" W
49.48'

N 00°56'03" W 539.39'

3 STORY
32,875 SF/FLOOR
98,625 GSF

PHASE 2
1 STORY
UPPER
13,500 SF

PHASE 2
1 STORY
UPPER
13,400 SF

PHASE 3
1 STORY
ELEV 1055
17,500 SF

OFFICE/WAREHOUSE
PHASE 2
1 STORY
6,000 SF

S 10°02'32" W
101.29'

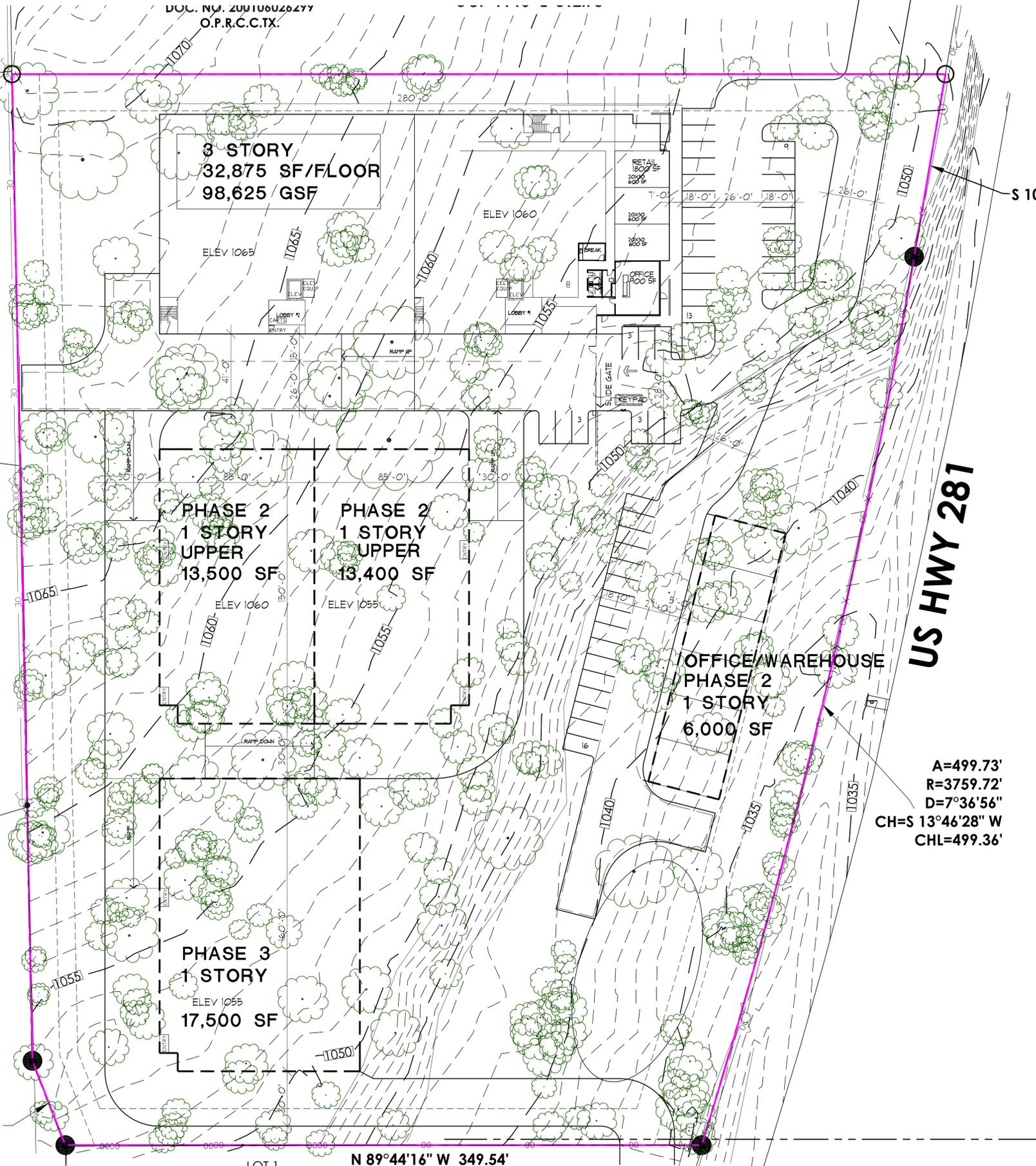
A=499.73'
R=3759.72'
D=7°36'56"
CH=S 13°46'28" W
CHL=499.36'

LOT 1
3.50 ACRES
NOAH'S ARK
VOL 12 PG 141

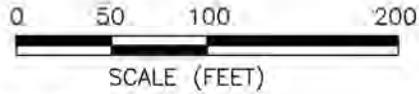


SITE DEVELOPMENT PLAN

scale 1" = 30.0'



ROBERT KEITH STODDARD
 REMAINDER OF
 A TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.



LOT 68

LOT 69

SADDLE RIDGE
 SUBDIVISION
 UNIT 1
 VOL 13 PG
 42-48

LOT 105

N 00°56'03" W 539.39'

S 89°44'16" E 512.70'

S 10°02'32" W
 101.29'

FOUND 1/2" IRON
 CAPPED "ACS
 INC. SA"

C.M.

6.00 ACRES
 OUT OF A
 TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.

(UNIMPROVED)

US HWY 281

A=499.73'
 R=3759.72'
 D=7°36'56"
 CH=S 13°46'28" W
 CHL=499.36'

GRID COORDINATES
 N:13819660.64
 E:2148425.92
 Z:1033.54

N 21°05'23" W
 49.48'

LOT 70

FOUND 1/2" IRON

FOUND 1/2" IRON
 ROD "4233"

P.O.B

N 89°44'16" W 349.54'

C.M.

C.M.

LOT 71

LOT 1
 3.50 ACRES
 NOAH'S ARK
 VOL 12 PG 14)

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- C.M. CONTROLLING MONUMENT
- P.O.B. POINT OF BEGINNING

SURVEYOR NOTES:

THIS BOUNDARY SURVEY WAS COMPLETED WITHOUT ADDITIONAL RESEARCH TO DETERMINE IF OTHER MATTERS OF RECORD, IF ANY, MIGHT AFFECT THIS PROPERTY, SUCH AS EASEMENTS, SETBACKS, OR OTHER ENCUMBRANCES.

BASIS OF BEARING IS NAD83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE

DATE OF FIELDWORK: 06/18/2021

LEGAL DESCRIPTION

SURVEY OF A 6.000 ACRE TRACT OF LAND SITUATED IN THE AGAPITO GAYTON SURVEY, ABSTRACT NO. 174, COMAL COUNTY, TEXAS, OUT OF THAT CERTAIN 10.02 ACRE TRACT CONVEYED TO ROBERT KEITH STODDARD, DESCRIBED IN DOCUMENT NO. 200106026299, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.



**SHERWOOD
 SURVEYING & S.U.E.**
 UTILITIES | RESIDENTIAL | COMMERCIAL | INDUSTRIAL
 6477 FM 311, P.O. BOX 992 TBPELS FIRM#10044200
 SPRING BRANCH, TEXAS 78070
 PHONE (830) 228-5788 FAX (830) 885-2170



SURVEYORS CERTIFICATE

I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, REGISTRATION NUMBER 4069, HEREBY STATE THAT DURING THE MONTH OF JUNE, 2021, A SURVEY OF THE REAL PROPERTY SHOWN HEREON WAS MADE UPON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

Richard A. Goodwin JUNE 29, 2021
 RICHARD A. GOODWIN DATE
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4069



P.O. BOX 992 | 6477 FM 311, SPRING BRANCH, TX 78070
WWW.SHERWOODSURVEYING.COM
TBPELS FIRM #10044200

6.000 ACRES

FN NO. 21NAD001

JUNE 29, 2021

FIELDNOTE DESCRIPTION

BEING A 6.000 ACRE TRACT, SITUATED IN THE AGAPITO GAYTON SURVEY NO. 194, ABSTRACT NUMBER 174, OUT OF THAT CERTAIN 10.02 ACRE TRACT RECORDED IN DOCUMENT NUMBER 200106026299 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, SAID 6.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A ½" IRON ROD FOUND SITUATED ON THE WESTERLY LINE OF U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF LOT 1, NOAH'S ARK, A SUBDIVISION RECORDED IN VOLUME 12, PAGE 141, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, SAME BEING THE SOUTHEASTERLY CORNER OF SAID 10.02 ACRE TRACT, FOR THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 89°44'16" W, ALONG THE NORTHERLY LINE OF SAID LOT 1, NOAH'S ARK SUBDIVISION, COMMON WITH THE SOUTHERLY LINE OF SAID 10.02 ACRE TRACT, A DISTANCE OF 349.54 FEET TO A ½" IRON ROD FOUND FOR THE NORTHWESTERLY CORNER OF SAID LOT 1 SITUATED IN THE EASTERLY LINE OF SADDLE RIDGE SUBDIVISION, UNIT 1, RECORDED IN VOLUME 13, PAGE 42-48, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, FOR THE SOUTHWESTERLY CORNER OF SAID 10.02 ACRE TRACT AND THE SOUTHWESTERLY CORNER OF THE HEREIN TRACT;

THENCE, ALONG THE WESTERLY LINE OF SAID 10.02 ACRE TRACT, COMMON WITH THE EASTERLY LINE OF SAID SADDLE RIDGE SUBDIVISION, UNIT 1, THE FOLLOWING COURSES:

N 21°05'23" W, A DISTANCE OF 49.48 FEET TO A ½" IRON ROD FOUND;

N 00°56'03" W, A DISTANCE OF 539.39 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" FOR THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 89°44'16" E, SEVERING SAID 10.02 ACRE TRACT, A DISTANCE OF 512.70 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" ON THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;



THENCE, ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281,
THE FOLLOWING COURSES:

S 10°02'32" W, A DISTANCE OF 101.29 FEET TO A FOUND ½" IRON ROD
CAPPED "ACS INC. SA" AT THE BEGINNING OF A CURVE TO THE RIGHT;

IN A CURVE TO THE RIGHT, HAVING A RADIUS OF 3759.72 FEET, AN ARC
LENGTH OF 499.73 FEET, A CENTRAL ANGLE OF 07° 36' 56", AND
HAVING A CHORD BEARING OF S 13°46'28" TO THE **POINT OF BEGINNING**,
CONTAINING AN AREA OF 6.00 ACRES OF LAND MORE OR LESS.

A SURVEY EXHIBIT WAS PREPARED ON THIS SAME DATE. BASIS OF BEARING
IS NAD 83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE.

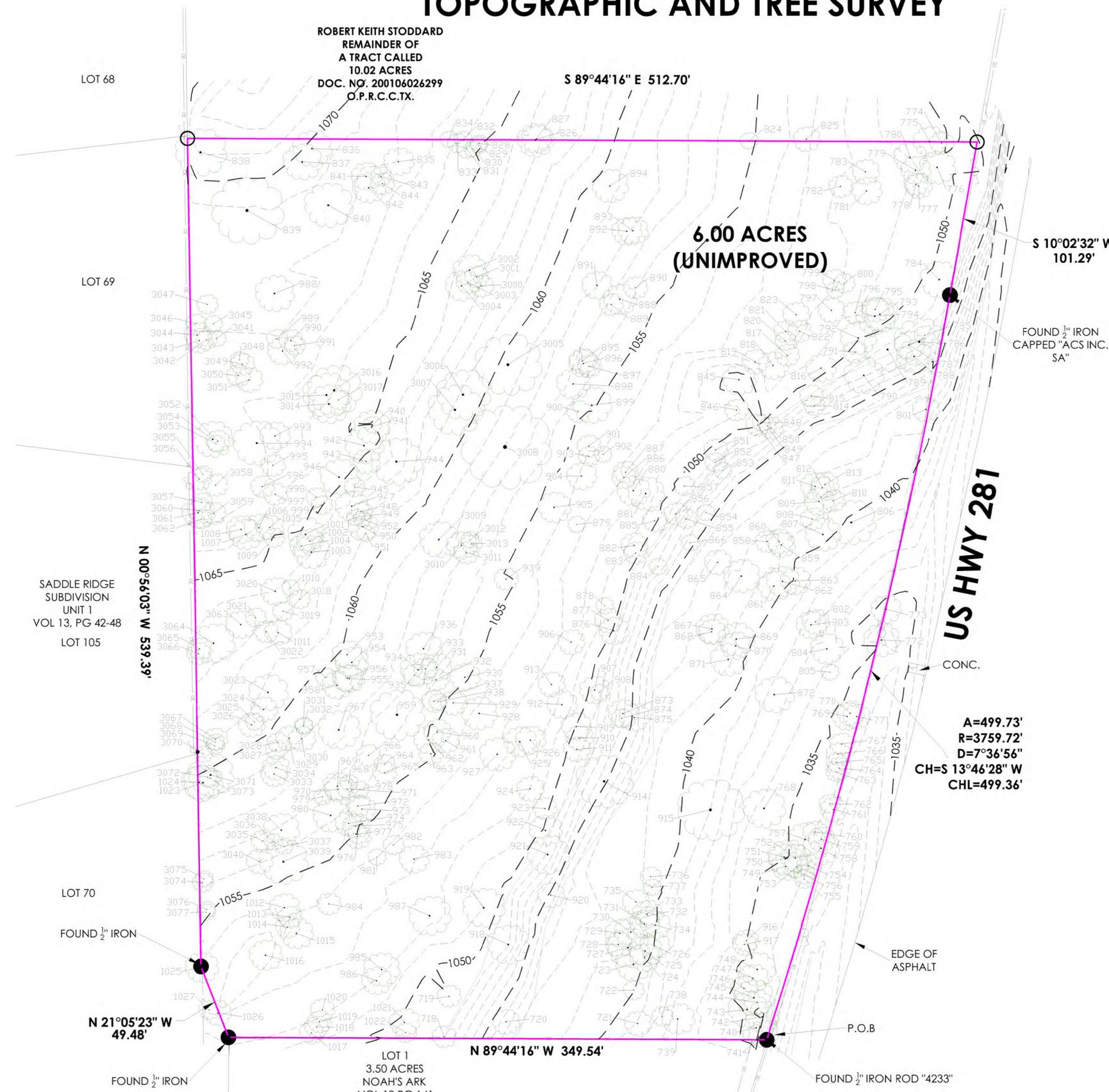
I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND
SURVEYOR, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREIN WAS
DETERMINED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND
SUPERVISION.

 6/29/21

RICHARD A. GOODWIN DATE
R.P.L.S. #4069 STATE OF TEXAS



TOPOGRAPHIC AND TREE SURVEY



LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- C.M. CONTROLLING MONUMENT
- BENCHMARK
- CONTROL POINT
- ELECTRIC BOX
- TELEPHONE PEDESTAL
- WATER METER
- ELECTRIC METER
- MANHOLE
- GUY WIRE
- POWER POLE
- SIGN
- LIGHT POLE
- WATER VALVE
- IRRIGATION CONTROL VALVE
- WIRE FENCE
- CLEAN OUT
- FIRE HYDRANT
- GAS METER
- MARKER-UNDERGROUND TELEPHONE
- MANHOLE-WASTE WATER
- CONCRETE MONUMENT
- TREE

SURVEYOR NOTES:
 THIS BOUNDARY SURVEY WAS COMPLETED WITHOUT ADDITIONAL RESEARCH TO DETERMINE IF OTHER MATTERS OF RECORD, IF ANY, MIGHT AFFECT THIS PROPERTY, SUCH AS EASEMENTS, SETBACKS, OR OTHER ENCUMBRANCES.
 BASIS OF BEARING IS NAD83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE
 DATE OF FIELDWORK: 7-7-21

DESIGNED BY:	-
CHECKED BY:	R. GOODWIN
DRAWN BY:	J. FITZGIBBONS
JOB:	21NAD001
DATE:	7-13-21
SCALE:	1" = 50'
SHEET:	1 OF 2

LEGAL DESCRIPTION
 BEING A 6.000 ACRE TRACT OF LAND SITUATED IN THE AGAPITO GAYTON SURVEY, ABSTRACT NO. 174, COMAL COUNTY, TEXAS, OUT OF THAT CERTAIN 10.02 ACRE TRACT CONVEYED TO ROBERT KEITH STODDARD, DESCRIBED IN DOCUMENT NO. 200106026299, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

NOAH'S ARK
 SELF STORAGE I,
 L.P.

REVISIONS	DATE



SURVEYORS CERTIFICATE
 I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, REGISTRATION NUMBER 4069, HEREBY STATE THAT DURING THE MONTH OF JULY, 2021, A SURVEY OF THE REAL PROPERTY SHOWN HEREON WAS MADE UPON THE GROUND UNDER MY DIRECTION AND SUPERVISION.
 RICHARD A. GOODWIN
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4069
 7-14-21

MATERIAL LEGEND

TAG	TAG	DESCRIPTION	MANUF/COLOR
(A)		24 GA. ARCHITECTURAL STEEL PANEL 1 1/8" DEEP HORIZONTAL FLUTE	MBCI A PANEL COPPER METALLIC
(B)		NATIVE DIMENSIONAL CUT LIMESTONE	TO BE SELECTED
(C)		24 GA. ARCHITECTURAL STEEL PANEL HORIZONTAL INSTALLATION	MBCI D PANEL DOVE METALLIC
(D)		STEEL FRAMING & CANOPY OR SHADE STRUCTURE	PAINT TO BE SELECTED
(E)		STOREFRONT ALUM. GLAZING SYSTEM	ANODIZED ALUMINUM FRAME
(F)			
(G)			

MASONRY 28% OF EAST FACADE
LESS DOORS AND WINDOWS

LOW EAVE
ELEV 132'-0"

3rd FINISH FLOOR
ELEV 122'-0"

2nd FINISH FLOOR
ELEV 111'-0"

1st FINISH FLOOR
ELEV 95'-0"



EAST FRONTAGE ELEVATION

SCALE 3/32" = 1'-0"



SOUTH ELEVATION

SCALE 3/32" = 1'-0"



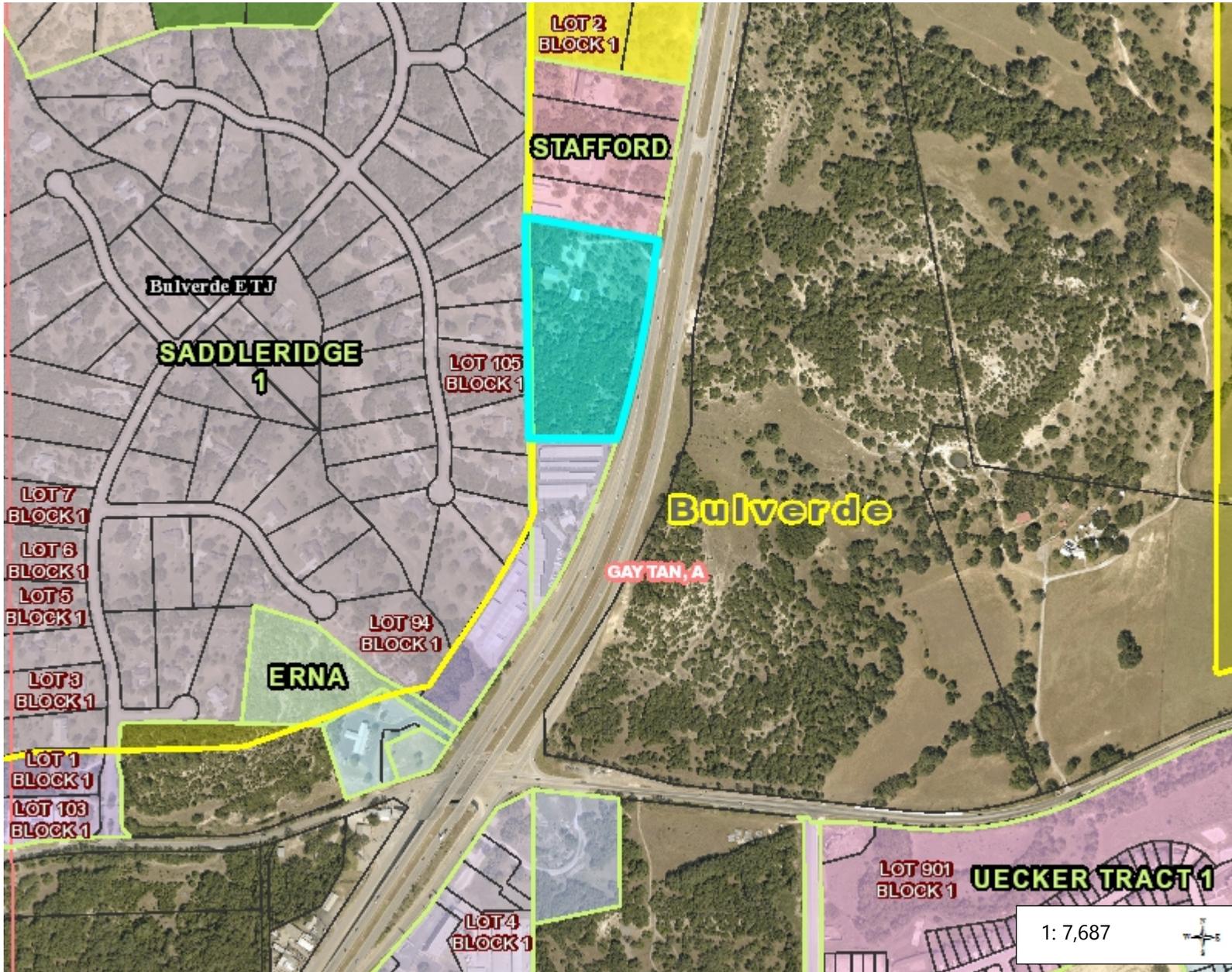
NORTH ELEVATION

SCALE 3/32" = 1'-0"



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
- Vacate & Replat
- Amendment to Plat
- Amending Plat
- Vacating Plat
- Red: Band_1
- Green: Band_2
- Blue: Band_3



Notes

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



FLOODPLAIN



Legend

- Addresses
- Culverts
- Guardrails
- Major Roads
 - Farm roads
 - Highways
- Streets
- Major Thoroughfares
 - Collector Road
 - Freeway
 - Local Road
 - Primary Arterial
 - Secondary Arterial
- LOMAs
- LOMRs
- FEMA Floodplain 100 Yr
- Firm Panel
- Floodway
- 500 Yr Floodplain
- Parcels
- Future Parcels
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

1: 5,597



0.2 0 0.09 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Edwards Aquifer Contributing Zone



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



PLANNING AND ZONING COMMISSION ITEM:
VR-21-06
VARIANCE
Noah's Ark

MEETING DATE: October 14, 2021
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Consider a request by Noah's Ark Development for a variance to Section 17.03.005, related to Disturbance of Slope Areas, of the City of Bulverde Code of Ordinances, on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.

OWNER:

Robert Keith Stoddard, Jr,

APPLICANT:

Noah's Ark Development
30435 US Highway 281 N
Bulverde, TX 78163

PROPERTY INFORMATION:

Address: 30665 US Highway 281 N
Legal Description: Agapito Gayton Survey, Abstract 174, acres 6.00
Owner: Robert Keith Stoddard, Jr,
Existing Land Use: Undeveloped
Existing Zoning: C-2, Commercial District

SUMMARY:

The applicant, Noah's Ark Development, intends to develop a 6.00-acre tract of land into a 149,025-square-foot expansion (in three (3) phases of development) of an existing self-storage facility located on the adjacent property to the south. The property is located on the west side of US Hwy 281 north of Bulverde Road, within the City Limits of the City of Bulverde.

The City of Bulverde has advised the applicant of the requirements that must be adhered to during the development and construction process, including Chapter 10 (Subdivision Ordinance) and Chapter 17 (Environmental Protection Ordinance).

The applicant has the following variance requests:

Disturbance within slope areas. The applicant is requesting a variance to the disturbance within slope area requirements in Chapter 17, Section 17.04.005 of the Bulverde Code of Ordinances. **The proposed maximum disturbance shows greater than 15% slopes.**

The applicant has submitted an explanation for each variance request in their application, which is attached to this staff report. The applicant shall present their case to the Planning & Zoning Commission for consideration during the meeting.

THE GRANTING OF THIS REQUESTED VARIANCE DOES NOT CONSTITUTE APPROVAL OF ANY OTHER VARIANCES WHICH MAY BE DEPICTED IN THE EXHIBITS ATTACHED TO THIS APPLICATION AND REPORT. ANY AND ALL OTHER VARIANCES FROM THE BULVERDE CODE OF ORDINANCES THAT DO NOT INCLUDE THIS REQUESTED VARIANCE WILL BE REQUESTED IN A SEPARATE APPLICATION AND APPROVAL PROCESS.

ANALYSIS:

Disturbance within slope areas. To develop the subject property, as shown in the attached exhibits, the applicant is proposing to disturb the slope area greater than 15% slope. The applicant states that the existing site has a greater than 35' of fall across the site with a seven (7) foot ridge through the middle. The proposed disturbances are primarily located within >15% slopes are within this ridge.

Section 17.03.005 of the City of Bulverde Code of Ordinances states: *Notwithstanding any applicable zoning requirements, disturbance associated with the preparation of land for development of lots or improvements shall not disturb more than that percentage of the surface area indicated below within the following slope areas:*

- (1) 15% to 20%: 30% of the surface area.
- (2) 20% to 25%: 15% of the surface area.
- (3) Greater than 25%: No disturbance permitted, with exception for the following construction activities:
 - (A) Roadways or utility construction when the roadway or utility improvements are necessary in the slope area for a lawfully constructed improvement outside of such slope area to exist and there is no practical alternative to construction within such slope area.
 - (B) Cantilevering of structures over a steep slope provided that such cantilevering will not alter natural stormwater drainage or jeopardize slope stability.
 - (C) Retaining walls and other structures that are necessary for slope stabilization provided the following conditions are met:

- (i) *Retaining walls shall not be used to increase table land.*
- (ii) *Backfilling of a retaining wall is performed only as necessary for slope stabilization.*
- (4) *Reconstruction on the exact foundation of a previously existing structure.*
- (5) *Bridges, walkways, stairs, and fences provided that such bridges, walkways, stairs, and fences will not alter natural stormwater drainage or jeopardize slope stability.*
- (6) *Removal of trees not defined within [article 17.06](#) as protected, specimen, majestic, or historic trees.*

Halff Associates and City staff reviewed all documents submitted with this variance request. Review comments associated with the requested variance can be found in the attached review memo. However, the applicant did not provide a slope map identifying sections of slope. The reviewer needs a proposed grading plan with locations of cut/fill in excess of four (4) feet in order to provide proper analysis of the request.

AUTHORITY OF THE PLANNING & ZONING COMMISSION:

Section 1.07 of the City of Bulverde Code of Ordinances states:

a) General.

- (i) *Variances to the requirements of this ordinance may be granted by the City Council for nonprocedural items provided the City Council determines that undue hardship will result from strict compliance with the ordinance. A variance may be granted only when in harmony with the general purpose and intent of this ordinance so that the public health, safety and welfare may be secured and substantial justice done. In granting a variance, the City Council shall prescribe only conditions that it deems necessary to or desirable in the public interest.*
- (ii) *In making the findings required herein, the City Council shall take into account the nature of the proposed land use, existing uses of land in the vicinity, the number of persons who will reside or work in the proposed subdivision, and the probable effect of such variance upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity. No variance shall be granted unless the City Council makes affirmative findings as to all of the following:*
 - 1) *That there are special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of the land;*
 - 2) *That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant;*
 - 3) *That granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area; and*
 - 4) *That granting of the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this ordinance.*

ATTACHMENTS:

- A. Halff Review Memo
- B. Application
- C. Letter of Authorization
- D. Survey
- E. Site Plan Exhibit
- F. Topographic & Tree Survey
- G. Elevations
- H. Additional Exhibits

REVIEW MEMORANDUM

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: Variance requests
Noah's Ark PDD-21-04

DATE: September 27, 2021

Halff Associates, on behalf of the City of Bulverde, has reviewed the variance requests for the proposed Noah's Ark storage facility expansion off Hwy 281. Following review of the submitted documents, Halff is providing the following responses:

1. The TIA Worksheet was not completed in accordance with CoB Code of Ordinances Ch. 10, Section 2.04 (b) (iii) 2). Insufficient information was provided to evaluate the TIA Worksheet.
2. The fire marshal should be consulted regarding the site plan, which appears to show part of this site's access via the parcel to the north. There is nothing nearby existing to connect to. While it appears the northern property is owned by the same person, there is nothing I see which indicates how/whether/when that access will be extended through the adjacent property. Access via the current Noah's Ark area to the south is also shown. This access may not be adequate for emergency response. The geometry seems too tight for fire trucks to navigate, and it's uncertain this layout meets typical fire department requirements for maximum dead-end length without a cul-de-sac.
3. Cut and Fill variance – No proposed grading was provided to visualize how cut/fill will be limited to comply with City code. Where are the isolated cases of 15'+ grading? Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.
4. Tree removal variance – Applicant is proposing to only save 13% of the caliper width of protected trees vs. the required 60%. This seems excessive.
5. Steep Slope variance – Applicant did not provide a slope map identifying sections of slope per Section 4.04 of the subdivision code. Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.

Please keep these responses in mind as the City considers the variance requests.



Sam Edwards, PE, CFM
Halff Associates, Inc.



Half Associates, Inc.
100 NE Loop 410, Suite 200
San Antonio, Texas 78216
(210) 798-1895

CC. Adrian Garcia, PE, CFM – City Engineer, Bulverde
Susanna Ramos, AICP – City Planner, Bulverde
Josh Logan, PE, CFM – Half Associates Senior Project Manager



Application for Variance

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

Date: 14 September 2021

Case No. _____

Applicant Information:

Noah's Ark Development 210-307-5599
Name Phone Fax
30435 US HWY 281 N BULVERDE, TX 78163 cecelia@noahsarkdevelopment.com
Address Email

Property Owner Information:

ROBERT KEITH STODDARD JR 210-723-8118
Name Phone Fax
Address ks@stoddardgc.com
Email

** If property owner is not the applicant, a letter of authorization from the owner is required with application submittal.*

Property Identification:

Street Address: 30665 U.S. Highway 281 N, Bulverde, TX 78163
Legal Description: A 6.000-acre tract of land situated in the Agapito Gayton Survey, Abstract No. 174, Comal County, Texas, out of that certain 10.02 Acre tract conveyed to Robert Keith Stoddard, described in document No. 200106026299, official public records, Comal County
Zoning District Classification: C-2

Description of Request:

1. Variance to Section 17.04.006 of the City of Bulverde Code of Ordinances, which requires:
The city manager may approve a cut or fill of not more than eight feet.

2. Variance to Section 17.03.005 of the City of Bulverde Code of Ordinances, which requires:
Disturbance associated with the preparation of land for development of lots or improvements shall not disturb more than that percentage of the surface area indicated.

3. Variance to Section 17.06.009 of the City of Bulverde Code of Ordinances, which requires:
The total tree removal from the site cannot exceed 60% of the total caliper width of protected, specimen, majestic, or historic trees.

4. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

5. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

The undersigned agrees to pay the **non refundable** application fee and any other applicable fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required. The undersigned also acknowledges the City Staff may require additional appropriate information be submitted to aid in the review.

Cecelia Parra

14 September 2021

Signature of Owner/Applicant

Date

Fees: \$1,500

Zoning and Plat Variance Review Fee - \$750.00 (per Section/Provision of the Code)

Variance Review Fee (all other Variances)- \$500.00 (per Section/Provision of the Code)

VARIANCE CRITERIA EXPLANATION FORM

17.03.005 – Slope disturbance requirements.

(This Form is required with submittal of a Variance Application. If more than one variance is requested in an application, a separate Variance Criteria Explanation Form shall be required for each Variance. Please include additional pages as necessary.)

9) Describe the special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the reasonable use of the land.

The existing site has >35' of fall across the site with a 7'+/- ridge through the middle. The vast majority of proposed disturbance within >15% slopes are within this ridge.

10) Describe how the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.

If the ridge is not allowed to be disturbed to a greater degree than allowed by code, the ridge will act as a barrier to development in crossing from one side of the site to the other.

11) Describe how granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area.

Proposed development "will not alter natural stormwater drainage or jeopardize slope stability", per requirements of Sec. 17.03.005 (5).

12) What effect, if any, would the variance have on the orderly subdivision of other land in the area in accordance with the City of Bulverde Code of Ordinances?

None.

***Note for the Board / Commission:**

The following responses were provided by the applicant and may not be consistent with the Department staff report.

AUTHORIZATION LETTER FOR THE CITY OF BULVERDE

DATE: 14 Sept. 2021

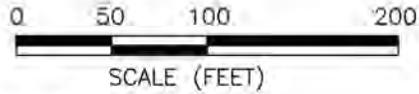
City of Bulverde
Planning and Zoning Commission
30360 Cougar Bend
Bulverde, TX 78163

RE: Owner Authorization for Noah's Ark Development (the "Applicant")

This is to certify that I, ROBERT KEITH STODDARD JR (property owner) am the owner of the property located at 30665 US Hwy 281 N Bulverde, TX 78163. Please accept this letter as my authorization to allow NOAH'S GP, INC., DBA NOAH'S ARK DEVELOPMENT (applicant) to submit applications for the referenced property to the Planning and Zoning Commission of the City of Bulverde.

Owners Signature: Keith Stoddard
Owners Phone Number: 210-723-8118
Owners Email Address: ks@stoddardgc.com

ROBERT KEITH STODDARD
 REMAINDER OF
 A TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.



LOT 68

LOT 69

SADDLE RIDGE
 SUBDIVISION
 UNIT 1
 VOL 13 PG
 42-48

LOT 105

N 00°56'03" W 539.39'

6.00 ACRES
 OUT OF A
 TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.

(UNIMPROVED)

S 10°02'32" W
 101.29'

FOUND 1/2" IRON
 CAPPED "ACS
 INC. SA"

US HWY 281

A=499.73'
 R=3759.72'
 D=7°36'56"
 CH=S 13°46'28" W
 CHL=499.36'

GRID COORDINATES
 N:13819660.64
 E:2148425.92
 Z:1033.54

N 21°05'23" W
 49.48'

LOT 70

FOUND 1/2" IRON

FOUND 1/2" IRON
 ROD "4233"

P.O.B

N 89°44'16" W 349.54'

C.M.

C.M.

LOT 71

LOT 1
 3.50 ACRES
 NOAH'S ARK
 VOL 12 PG 14)

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- C.M. CONTROLLING MONUMENT
- P.O.B. POINT OF BEGINNING

SURVEYOR NOTES:

THIS BOUNDARY SURVEY WAS COMPLETED WITHOUT ADDITIONAL RESEARCH TO DETERMINE IF OTHER MATTERS OF RECORD, IF ANY, MIGHT AFFECT THIS PROPERTY, SUCH AS EASEMENTS, SETBACKS, OR OTHER ENCUMBRANCES.

BASIS OF BEARING IS NAD83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE

DATE OF FIELDWORK: 06/18/2021

LEGAL DESCRIPTION

SURVEY OF A 6.000 ACRE TRACT OF LAND SITUATED IN THE AGAPITO GAYTON SURVEY, ABSTRACT NO. 174, COMAL COUNTY, TEXAS, OUT OF THAT CERTAIN 10.02 ACRE TRACT CONVEYED TO ROBERT KEITH STODDARD, DESCRIBED IN DOCUMENT NO. 200106026299, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.



**SHERWOOD
 SURVEYING & S.U.E.**

UTILITIES | RESIDENTIAL | COMMERCIAL | INDUSTRIAL
 6477 FM 311, P.O. BOX 992 TBPELS FIRM#10044200
 SPRING BRANCH, TEXAS 78070
 PHONE (830) 228-5788 FAX (830) 885-2170



SURVEYORS CERTIFICATE

I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, REGISTRATION NUMBER 4069, HEREBY STATE THAT DURING THE MONTH OF JUNE, 2021, A SURVEY OF THE REAL PROPERTY SHOWN HEREON WAS MADE UPON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

Richard A. Goodwin JUNE 29, 2021
 RICHARD A. GOODWIN DATE
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4069



P.O. BOX 992 | 6477 FM 311, SPRING BRANCH, TX 78070
WWW.SHERWOODSURVEYING.COM
TBPELS FIRM #10044200

6.000 ACRES

FN NO. 21NAD001

JUNE 29, 2021

FIELDNOTE DESCRIPTION

BEING A 6.000 ACRE TRACT, SITUATED IN THE AGAPITO GAYTON SURVEY NO. 194, ABSTRACT NUMBER 174, OUT OF THAT CERTAIN 10.02 ACRE TRACT RECORDED IN DOCUMENT NUMBER 200106026299 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, SAID 6.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A ½" IRON ROD FOUND SITUATED ON THE WESTERLY LINE OF U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF LOT 1, NOAH'S ARK, A SUBDIVISION RECORDED IN VOLUME 12, PAGE 141, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, SAME BEING THE SOUTHEASTERLY CORNER OF SAID 10.02 ACRE TRACT, FOR THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 89°44'16" W, ALONG THE NORTHERLY LINE OF SAID LOT 1, NOAH'S ARK SUBDIVISION, COMMON WITH THE SOUTHERLY LINE OF SAID 10.02 ACRE TRACT, A DISTANCE OF 349.54 FEET TO A ½" IRON ROD FOUND FOR THE NORTHWESTERLY CORNER OF SAID LOT 1 SITUATED IN THE EASTERLY LINE OF SADDLE RIDGE SUBDIVISION, UNIT 1, RECORDED IN VOLUME 13, PAGE 42-48, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, FOR THE SOUTHWESTERLY CORNER OF SAID 10.02 ACRE TRACT AND THE SOUTHWESTERLY CORNER OF THE HEREIN TRACT;

THENCE, ALONG THE WESTERLY LINE OF SAID 10.02 ACRE TRACT, COMMON WITH THE EASTERLY LINE OF SAID SADDLE RIDGE SUBDIVISION, UNIT 1, THE FOLLOWING COURSES:

N 21°05'23" W, A DISTANCE OF 49.48 FEET TO A ½" IRON ROD FOUND;

N 00°56'03" W, A DISTANCE OF 539.39 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" FOR THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 89°44'16" E, SEVERING SAID 10.02 ACRE TRACT, A DISTANCE OF 512.70 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" ON THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;



THENCE, ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281,
THE FOLLOWING COURSES:

S 10°02'32" W, A DISTANCE OF 101.29 FEET TO A FOUND ½" IRON ROD
CAPPED "ACS INC. SA" AT THE BEGINNING OF A CURVE TO THE RIGHT;

IN A CURVE TO THE RIGHT, HAVING A RADIUS OF 3759.72 FEET, AN ARC
LENGTH OF 499.73 FEET, A CENTRAL ANGLE OF 07° 36' 56", AND
HAVING A CHORD BEARING OF S 13°46'28" TO THE **POINT OF BEGINNING**,
CONTAINING AN AREA OF 6.00 ACRES OF LAND MORE OR LESS.

A SURVEY EXHIBIT WAS PREPARED ON THIS SAME DATE. BASIS OF BEARING
IS NAD 83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE.

I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND
SURVEYOR, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREIN WAS
DETERMINED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND
SUPERVISION.

 6/29/21

RICHARD A. GOODWIN DATE
R.P.L.S. #4069 STATE OF TEXAS



DOC. NO. 200106026277
O.P.R.C.C.TX.

ISSUE	DATE
OWNER REVIEW	1/11/2021
	1/20/2021
	8/19/2021
	9/13/2021

NOAH'S ARK
SELF STORAGE/
CORP OFFICE

US HWY 281 NORTH
BULVERDE, TX 78163

**Kaufman
Design
Group**

ARCHITECTURE

12371 E. LINCOLN CT.
WICHITA, KS 67207
(316) 618-0448
(316) 618-0048 fax
skaufman@cox.net

SHEET TITLE
SITE ARCHITECTURAL

SHEET NUMBER

SA1

OF SHEETS



SITE AREA	
261,395 SF	6.00 ACRES
BUILDING DATA	
PHASE 1	
98,625 TOTAL GSF	
RETAIL 1,800 SQ FT	
RENTAL OFFICE 1000 SQ FT	
SUPPORT 270 SQ FT	
	3070 SQ FT
CORP OFFICE 6075 SQ FT	
STORAGE 89,480 GSF	
APPROX 68,000 NET RENTABLE	
PHASE 2	
OFFICE 6,000 GSF	
STORAGE 26,900 GSF	
PHASE 3	
17,500 TOTAL GSF	

Building GSF = 149,450
Total SF = 261,367.77
FAR = 0.57:1

Impervious Cover = 127,183.37
Total SF = 261,367.77
Impervious Cover = 48.66%

SADDLE RIDGE
SUBDIVISION
UNIT 1
VOL 13, PG 42-48
LOT 105

LOT 70

N 21°05'23" W
49.48'

N 00°56'03" W 539.39'

3 STORY
32,875 SF/FLOOR
98,625 GSF

PHASE 2
1 STORY
UPPER
13,500 SF

PHASE 2
1 STORY
UPPER
13,400 SF

PHASE 3
1 STORY
ELEV 1055
17,500 SF

OFFICE/WAREHOUSE
PHASE 2
1 STORY
6,000 SF

A=499.73'
R=3759.72'
D=7°36'56"
CH=S 13°46'28" W
CHL=499.36'

S 10°02'32" W
101.29'

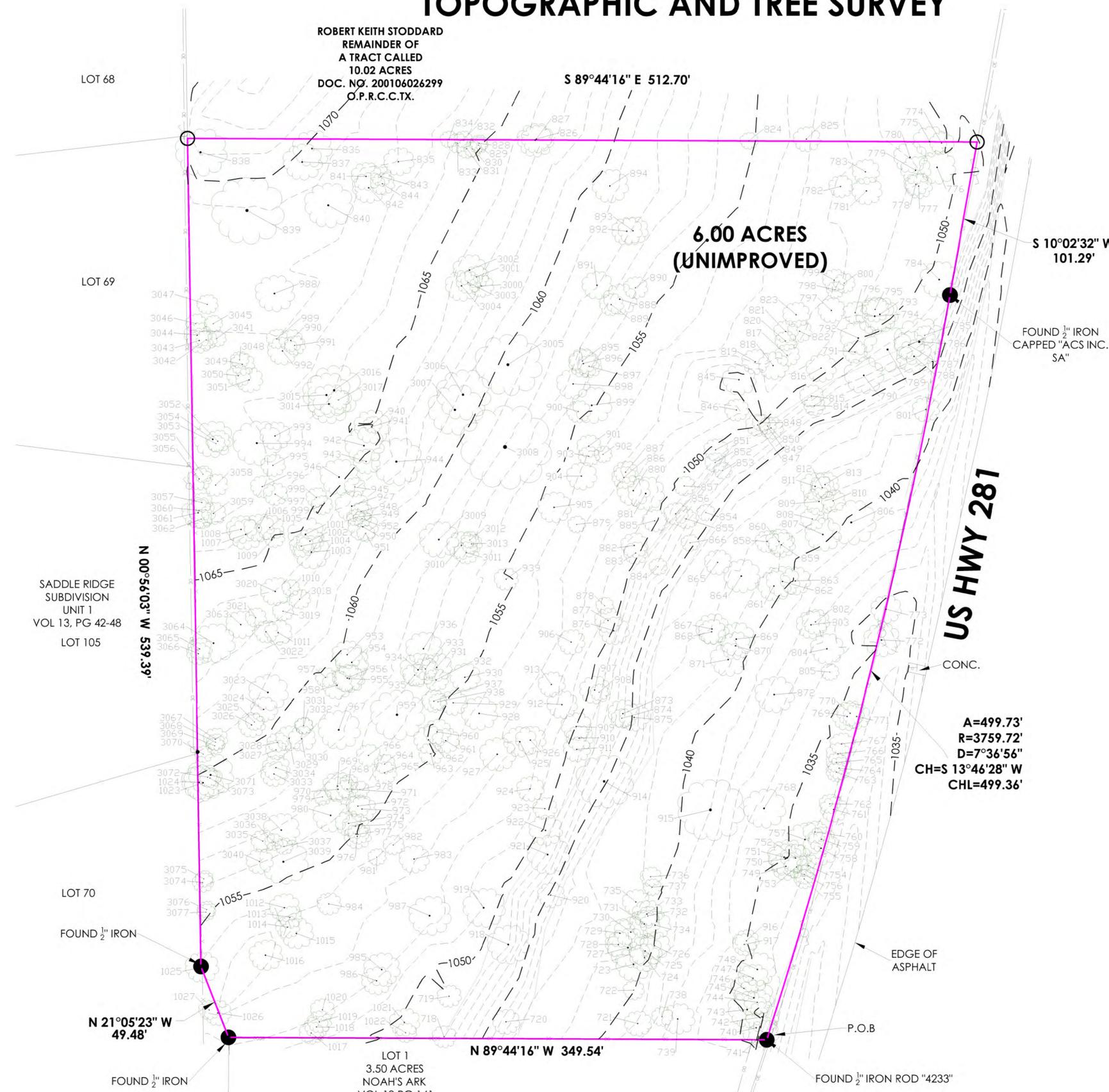
US HWY 281

LOT 1
3.50 ACRES
NOAH'S ARK
VOL 12 PG 141

N 89°44'16" W 349.54'

SITE DEVELOPMENT PLAN
scale 1" = 30.0'

TOPOGRAPHIC AND TREE SURVEY



SURVEYOR NOTES:
 THIS BOUNDARY SURVEY WAS COMPLETED WITHOUT ADDITIONAL RESEARCH TO DETERMINE IF OTHER MATTERS OF RECORD, IF ANY, MIGHT AFFECT THIS PROPERTY, SUCH AS EASEMENTS, SETBACKS, OR OTHER ENCUMBRANCES.
 BASIS OF BEARING IS NAD83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE
 DATE OF FIELDWORK: 7-7-21

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- C.M. CONTROLLING MONUMENT
- BENCHMARK
- △ CONTROL POINT
- E ELECTRIC BOX
- T TELEPHONE PEDESTAL
- W WATER METER
- E ELECTRIC METER
- MH MANHOLE
- ↑ GUY WIRE
- POWER POLE
- SIGN
- ☀ LIGHT POLE
- W WATER VALVE
- ⊗ IRRIGATION CONTROL VALVE
- ⊗ WIRE FENCE
- CO CLEAN OUT
- ⊗ FIRE HYDRANT
- G GAS METER
- T MARKER-UNDERGROUND TELEPHONE
- WW MANHOLE-WASTE WATER
- CONCRETE MONUMENT
- ☁ TREE

DESIGNED BY:	-
CHECKED BY:	R. GOODWIN
DRAWN BY:	J. FITZGIBBONS
JOB:	21NAD001
DATE:	7-13-21
SCALE:	1" = 50'
SHEET:	1 OF 2

LEGAL DESCRIPTION
 BEING A 6.000 ACRE TRACT OF LAND SITUATED IN THE AGAPITO GAYTON SURVEY, ABSTRACT NO. 174, COMAL COUNTY, TEXAS, OUT OF THAT CERTAIN 10.02 ACRE TRACT CONVEYED TO ROBERT KEITH STODDARD, DESCRIBED IN DOCUMENT NO. 200106026299, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.

NOAH'S ARK
 SELF STORAGE I,
 L.P.

REVISIONS	DATE



SURVEYORS CERTIFICATE
 I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, REGISTRATION NUMBER 4069, HEREBY STATE THAT DURING THE MONTH OF JULY, 2021, A SURVEY OF THE REAL PROPERTY SHOWN HEREON WAS MADE UPON THE GROUND UNDER MY DIRECTION AND SUPERVISION.
 RICHARD A. GOODWIN
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4069
 7-14-21

MATERIAL LEGEND

TAG	TAG	DESCRIPTION	MANUF/COLOR
(A)		24 GA. ARCHITECTURAL STEEL PANEL 1 1/8" DEEP HORIZONTAL FLUTE	MBCI A PANEL COPPER METALLIC
(B)		NATIVE DIMENSIONAL CUT LIMESTONE	TO BE SELECTED
(C)		24 GA. ARCHITECTURAL STEEL PANEL HORIZONTAL INSTALLATION	MBCI D PANEL DOVE METALLIC
(D)		STEEL FRAMING & CANOPY OR SHADE STRUCTURE	PAINT TO BE SELECTED
(E)		STOREFRONT ALUM. GLAZING SYSTEM	ANODIZED ALUMINUM FRAME
(F)			
(G)			

MASONRY 28% OF EAST FACADE
LESS DOORS AND WINDOWS

LOW EAVE
ELEV 132'-0"

3rd FINISH FLOOR
ELEV 122'-0"

2nd FINISH FLOOR
ELEV 111'-0"

1st FINISH FLOOR
ELEV 95'-0"



EAST FRONTAGE ELEVATION

SCALE 3/32" = 1'-0"



SOUTH ELEVATION

SCALE 3/32" = 1'-0"



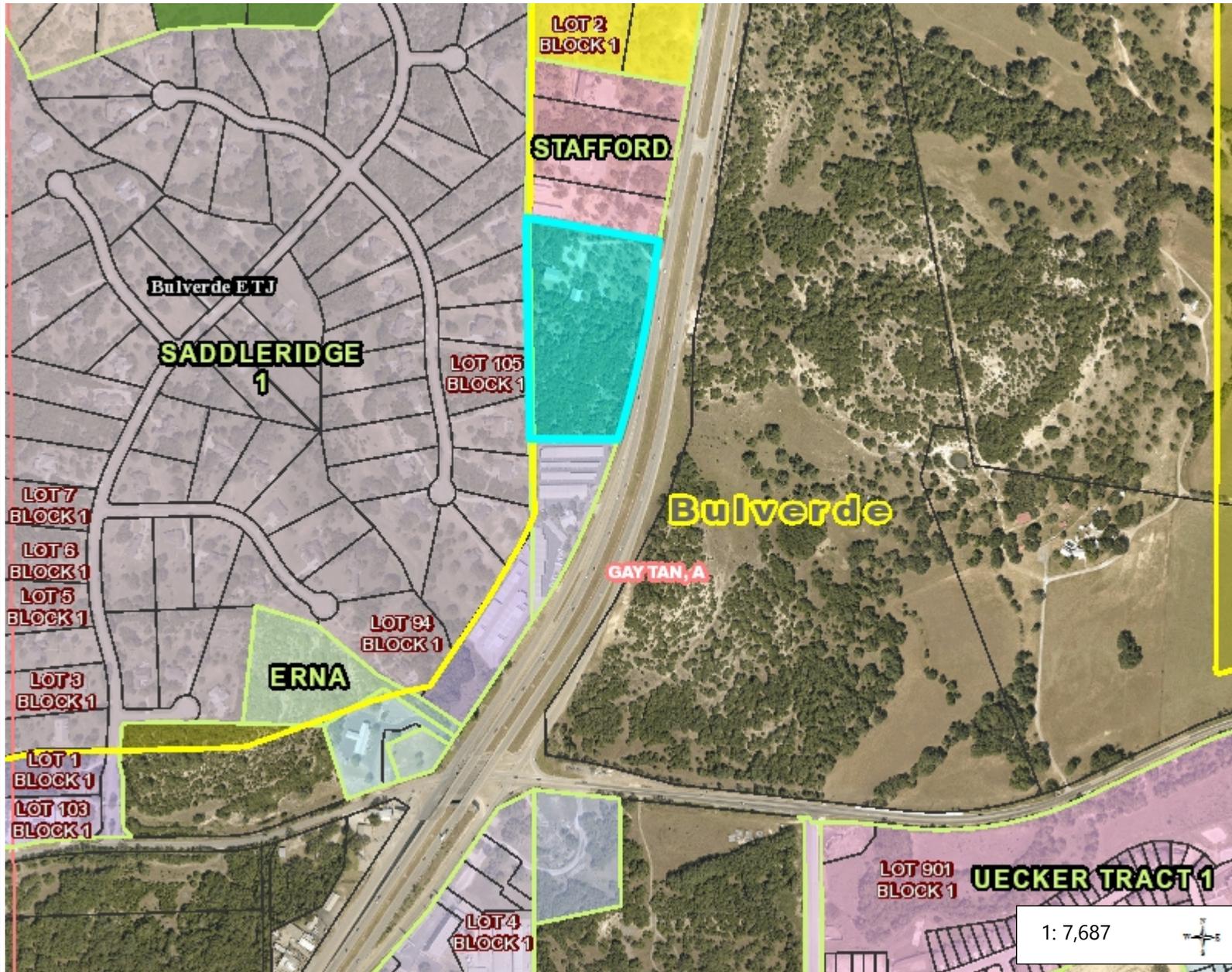
NORTH ELEVATION

SCALE 3/32" = 1'-0"



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
- Vacate & Replat
- Amendment to Plat
- Amending Plat
- Vacating Plat
- Red: Band_1
- Green: Band_2
- Blue: Band_3



Notes

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



FLOODPLAIN



Legend

- Addresses
- Culverts
- Guardrails
- Major Roads
 - Farm roads
 - Highways
- Streets
- Major Thoroughfares
 - Collector Road
 - Freeway
 - Local Road
 - Primary Arterial
 - Secondary Arterial
- LOMAs
- LOMRs
- FEMA Floodplain 100 Yr
- Floodway
- 500 Yr Floodplain
- Parcels
- Future Parcels
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

1: 5,597



0.2 0 0.09 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



Edwards Aquifer Contributing Zone



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



PLANNING AND ZONING COMMISSION ITEM:
PDD-21-04

Zone Change
30665 US Hwy 281 N

MEETING DATE: October 14, 2021

DEPARTMENT: Planning & Development

PRESENTED BY: Susana Huerta, AICP, Planning Director

REQUEST:

Hold a public hearing and consider a PDD Zone Change request to amend the existing C-2 Commercial District to a PDD Planned Development District on 6.00 acres located at 30665 US Highway 281 N, for the proposed expansion of an existing self-storage facility.

OWNER:

Robert Keith Stoddard, Jr,
461 Rodeo Drive
Spring Branch, Tx 78070

APPLICANT:

Noah's Ark Development
30435 US Highway 281 N
Bulverde, TX 78163

PROPERTY INFORMATION:

Address: 30665 US Highway 281 N
Legal Description: Agapito Gayton Survey, Abstract 174, acres 6.00
Owner: Robert Keith Stoddard, Jr,
Existing Land Use: Undeveloped
Existing Zoning: C-2, Commercial District

NOTICE:

Public Notice: September 26, 2021
Personal Notice: October 1, 2021

Staff sent two Personal Notices to properties within a 200-foot buffer of the subject property. As of present, Staff received no letter of support or opposition out of those two properties that were individually notified.

IN SUPPORT: 0

IN OPPOSITION: 0

BACKGROUND:

The property is currently zoned C-2 Commercial District. A Self-storage facility is not permitted in a C-2 Commercial District per the table of permitted uses in Section 14.04.002. According to the Comal County Appraisal District, the existing Noah's Ark Self-storage facility to the south of the property was built in 1997, therefore it was built prior to the City of Bulverde's incorporation and benefits from a legal non-conforming status.

SUMMARY:

The applicant, Noah's Ark Development, intends to develop a 6.00-acre tract of land into a 149,025-square-foot expansion (in three (3) phases of development) of an existing self-storage facility located on the adjacent property to the south. The property is located on the west side of US Hwy 281 north of Bulverde Road, within the City Limits of the City of Bulverde.

The City of Bulverde has advised the applicant of the requirements that must be adhered to during the development and construction process, including Chapter 10 (Subdivision Ordinance) and Chapter 17 (Environmental Protection Ordinance). The applicant has submitted variances requests which will require consideration prior to approval of the PDD and proposed site plan.

ANALYSIS:

A Planned Development District (PDD) is established by ordinance and approved in the same manner as a zone change. A PDD provides site specific regulations based on a conceptual site plan and traffic impact analysis per Section 14.03.013 of the Bulverde Code of Ordinances.

City staff reviewed the conceptual site plan and Halff Associates reviewed the TIA worksheet for the proposed development. It was determined that both the site plan and TIA have not satisfied such requirements for a PDD application because the TIA was not prepared in accordance with the City of Bulverde's Code of Ordinances Ch. 10, Section 2.04 (b)(iii)(2). The site plan can not be reviewed adequately without the requested additional information. The applicant was provided with review comments with sufficient time but did not provide the requested information.

The key elements of a PDD application and ordinance are:

1. Establishment of a base zoning district plus any additional uses requested; and
2. Any modifications or enhancements to the development standards of the base zoning district that may be necessary.

Attached herein is the conceptual site plan and proposed renderings for Noah's Ark. As shown in the attached zoning exhibits, the subject property is surrounded by properties along US Hwy 281 N that are zoned C-2 Commercial.

The Future Land Use Plan of the City of Bulverde identifies the subject property as RAC – Regional Activity Center which includes *“a variety of higher-density housing types, employment opportunities, and commercial uses that serve on a regional scale.”* Primary land uses in a Regional Activity Center consist of *“retail, commercial, townhomes, workforce housing, offices, business park, hotels, entertainment centers, retail and personal service uses.”*

ATTACHMENTS:

- A. Application
- B. Letter of Authorization
- C. Written Statement
- D. Site Plan
- E. Elevations
- F. Survey
- G. Zoning Exhibits
- H. Half Review Memo



Application for Zoning Change

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.ci.bulverde.tx.us

Date: 14 September 2021

Case No. _____

Applicant Information:

NOAH'S ARK DEVELOPMENT	210.307.5599	
Name	Phone	Fax
30435 US HWY 281 N BULVERDE, TX 78163		CECELIA@NOAHSARKDEVELOPMENT.COM
Address		Email

Property Owner Information:

ROBERT KEITH STODDARD JR	830.438.5904	
Name	Phone	Fax
461 RODEO DRIVE SPRING BRANCH, TX 78070		KS@STODDARDCMI.COM
Address		Email

** If property owner is not the applicant, a letter of authorization from the owner is required with application submittal.*

Property Identification:

Street Address: 30665 US HIGHWAY 281 N BULVERDE, TX 78163-3222

Legal Description: A-174 SUR-194 A GAYTAN, ACRES 10.02

Zoning District Classification: C-2

Requested Zoning District Classification: PDD C-2 BASE

Purposes and Reasons: *(may attach additional sheets if needed)*

See attached.

The undersigned agrees to pay the **non refundable** application fee and any other applicable fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required. The undersigned also acknowledges the City Staff may require additional appropriate information be submitted to aid in the review.

Cecelia A. Parra
Signature of Owner/Applicant

14 September 2021
Date

Fees:

Planned Development District Zone Change Review Fee - \$2,000.00 + \$100.00 per acre.

Zone Change Review Fee (all other zoning categories) - \$750.00 + \$100.00 per acre.

AUTHORIZATION LETTER FOR THE CITY OF BULVERDE

DATE: 14 Sept. 2021

City of Bulverde
Planning and Zoning Commission
30360 Cougar Bend
Bulverde, TX 78163

RE: Owner Authorization for Noah's Ark Development (the "Applicant")

This is to certify that I, ROBERT KEITH STODDARD JR (property owner) am the owner of the property located at 30665 US Hwy 281 N Bulverde, TX 78163. Please accept this letter as my authorization to allow NOAH'S GP, INC., DBA NOAH'S ARK DEVELOPMENT (applicant) to submit applications for the referenced property to the Planning and Zoning Commission of the City of Bulverde.

Owners Signature: Keith Stoddard
Owners Phone Number: 210-723-8118
Owners Email Address: ks@stoddardgc.com



PARHAM GROUP

30435 US HWY 281 N.
BULVERDE, TX 78163

WWW.LEARNSELFSTORAGE.COM

(210) 405-5518

City of Bulverde
Planning & Zoning Commission
30360 Cougar Bend
Bulverde, TX 78163

RE: Application for Zoning Change- Applicant Narrative

14 September 2021

Request:

Hold a public hearing and consider a request by Noah’s Ark Development for the approval of a Zone Change from C-2 Commercial District to a PDD Planned Development District, on an approximate 6.00-acre tract of land, generally located at 30665 U.S. Highway 281 N Bulverde, TX 78163.

Owner: See Owner’s Authorization Letter

Stoddard Robert Keith JR
461 Rodeo Drive
Spring Branch, TX 78070

Applicant:

Noah’s Ark Development
30435 U.S. Highway 281 N
Bulverde, TX 78163



NOAH'S ARK
DEVELOPMENT



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MANAGEMENT

Notice:

Saddleridge HOA: September 14, 2021
 Noah’s Ark Development sent notice to Juanita Seekins, Saddleridge management company to share with HOA Board of Directors and residents.

Property Information:

Address: 30665 U.S. Highway 281 N Bulverde, TX 78163
 Legal Description: A-174 SUR-194 A GAYTAN, 10.02 ACRES
 Owner: Stoddard Robert Keith JR
 Existing Land Use: Commercial Office and Storage Building
 Existing Zoning: C-2, Commercial District
 Proposed Zoning: PDD, Planned Development District

Summary:

The purpose of this submittal is to allow for the development of 6.00-acre tract of land for the purpose of expanding Noah’s Ark Self Storage. Noah’s Ark Development is proposing to develop a multi-story building for the principal use of self-storage with a Contractor’s Office for The Parham Group companies. Accessory office/warehouse buildings will provide a retail/storefront office aspect with storage/warehouse attached. Our development will provide storage for residents and commercial users in the growing area of Bulverde/Spring Branch.

Surrounding Properties: See Surrounding Properties Map

<u>DIRECTION FROM PROPERTY</u>	<u>CURRENT LAND USE</u>	<u>CURRENT ZONING CLASSIFICATION</u>	<u>FUTURE LAND USE CLASSIFICATION</u>
NORTH	Remaining 4.02- ACRES from 10.02 AC tract; COMMERCIAL OFFICE BUILDING & STORAGE	C-2	REGIONAL ACTIVITY CENTER
SOUTH	SELF-STORAGE FACILITY	C-2	REGIONAL ACTIVITY CENTER
EAST	UNDEVELOPED	C-2	REGIONAL ACTIVITY CENTER
WEST	(3) RESIDENTIAL LOTS, (1) VACANT	BULVERDE ETJ	LARGE LOT RESIDENTIAL

Comprehensive Plan/Future Land Use Plan: See City of Bulverde Future Land Use Plan

The Comprehensive Plan’s Future Land Use Plan shows this area designated as the Regional Activity Center. The Regional Activity Center includes “a variety of higher-density housing types, employment opportunities, and commercial uses that serve on a regional scale.” Primary land uses in a Regional Activity Center consist of “retail, commercial, townhomes, workforce housing, offices, business parks, hotels, entertainment centers, retail and personal service uses.” The proposed development is consistent with current and future surrounding land uses.



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Special Districts:

The proposed development lies within the [Section.14.05.003 Scenic Gateway Overlay](#). The following standards shall be in addition to other regulations set forth in any other ordinance of the City of Bulverde.

1. Landscape Buffer: A 25-foot landscape buffer measured from the front property line immediately adjacent to the right-of-way is required. Where land is reserved for future rights-of-way per city, county or state thoroughfare plans, the landscape buffer shall be measured from the line of reservation/dedication. (Ordinance 437, ex. A, adopted 9/13/16)
2. Landscape Requirements: The landscape buffer shall preserve the natural look of the land. All protected, specimen, and majestic trees as defined by [article 17.06](#) of the Bulverde Code of Ordinances shall be preserved, excluding the area required for driveways. If no protected trees exist, or fewer protected trees than one tree per ten (10) feet of roadway frontage exist, then new trees meeting the standards as defined in the aforementioned [article 17.06](#) shall be planted in the landscape buffer as described below. Additional landscaping in the buffer shall consist of native, drought-resistant plants and grasses.
 - a. Trees shall be planted a minimum of 10 feet from the property line or start of the landscape buffer as described in subsection (1) above.
 - b. A sufficient number of trees shall be planted to achieve a total number of trees (existing protected trees and/or new trees) of at least one tree for each 10 feet of roadway frontage.
 - c. Trees may be staggered or clustered but shall be planted at regular intervals to mimic the natural forests in the area. A tree planting plan shall be submitted to the city for review and approval as part of the building permit process. (Ordinance 586, sec. 2D, adopted 6/11/19)
3. Service areas. No service areas shall be permitted to front U.S. Highway 281, State Highway 46 or F.M. 1863. Service drives shall be permitted to cross the landscape buffer perpendicularly only, and no service drive shall be permitted to be constructed parallel to the landscape buffer.
4. Utilities.
 - a. Drainage facilities are not allowed within the landscape buffer except those that are necessary to convey drainage in the shortest possible route to or from the street right-of-way. Drainage facilities include all detention ponds, water-quality ponds, outlet structures, drainage berms, improved channels, or other improvements associated with the drainage improvements.



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- b. All detention ponds and water-quality ponds within the Scenic Gateway Overlay District buffer shall be designed to the greatest extent possible to conform to the natural terrain of the land and if possible, as curvilinear, nonrectangular shapes. Detention ponds and water-quality ponds within the landscape buffer shall be designed so that the facilities do not require chain-link fences or concrete walls (or similar material). Outlet structures may be concrete with architectural treatment. Native stone is required for detention ponds and water-quality ponds if the ponds are located behind or within the landscape buffer. Gabions are expressly prohibited.
- c. Fencing is allowed around detention ponds only if the fencing is constructed of wrought iron or tubular steel or other similar product. The fence and any detention or water-quality ponds shall be buffered from the street view by planting native, drought-resistant plants and grasses that will, at maturity, screen at least 40 percent of the view of the detention pond and fence.
- d. Separate ponds for each lot may be utilized if they are designed with a curvilinear contoured shape, are designed not to require fencing, are able to utilize vegetative slope stabilization with a slope not exceeding 3:1, and no structural retaining walls are used.
- e. Dumpsters shall be located on a concrete pad enclosed on three sides by a solid masonry wall with solid gates across the front. This wall shall be at least six (6) feet in height, and at least two feet higher than the top of the dumpster. The style and finish of the walls and gates shall be consistent with the appearance of the building(s) it serves and drawn under the seal of a professional engineer.
- f. All utilities must be located underground.



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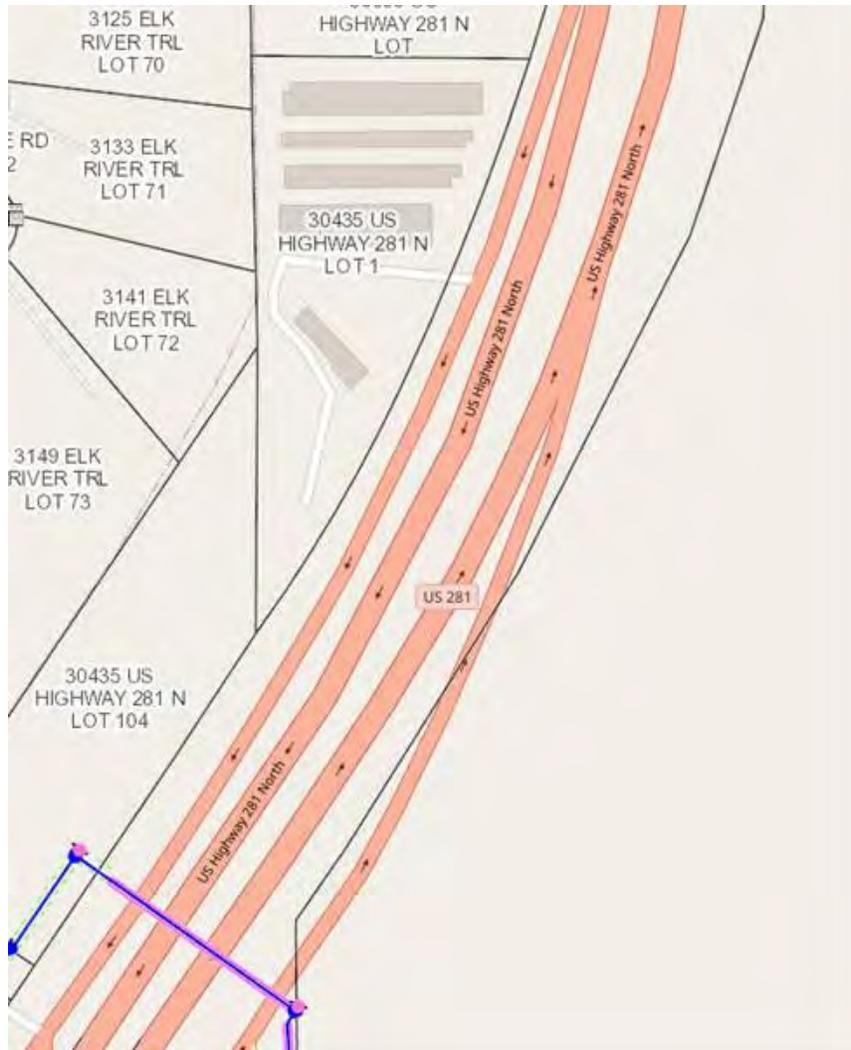
JOSHUA
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Architectural Design/Building Standards: See Exhibit Conceptual Site Plan and Exhibit Colored Elevations

REQUIREMENT	STANDARD (C-2)	PROPOSED (PD)
LOT SIZE	*Minimum 30,000 SF	*261,360 SF/6.00-acre
LOT WIDTH	*Minimum 100 feet	~585 feet
ASPECT RATIO	*Maximum four to one depth to width ratio	
FRONT YARD SETBACK	*Minimum 40 feet	40 feet
SIDE YARD SETBACK *INTERIOR LOT	*Minimum 20 feet	20 feet
REAR YARD SETBACK	*Minimum 25 feet *Minimum 60 feet adjacent to residential zoning see article 14.07	25 feet
FAR/DENSITY	-	
LOT COVERAGE	-	
LANDSCAPE AREA	*10-foot landscape buffer strip planted w/trees, shrubs, & ground cover adjacent to any street or R-Districts *1 landscape island for every 10 parking spaces within the parking area see article 14.08.010 for additional requirements *Exceptions, special district overlay requirements	*Per Sec.14.05.003 Scenic Gateway Overlay 25-foot landscape buffer measured from the front property line immediately adjacent to the ROW is required. Where land is reserved for future ROWs per city, county or state thoroughfare plans, the buffer shall be measured from the line of reservation/dedication *1 tree per 10 feet of ROW frontage *Trees shall be planted minimum 10 feet from the property line *1 landscape island for every 10 parking spaces within the parking area
LANDSCAPE MATERIAL	*Must be chosen from City of Bulverde list *All areas not covered w/buildings or paving must be landscaped	*Must be chosen from City of Bulverde list *All areas not covered w/buildings or paving must be landscaped
BUILDING HEIGHT	*Maximum 35 feet for any building	Main Structure: Building parapet is 44' at east end and 37' at west end due to grade drop at site *Exceptions for roof equipment and certain architectural features Accessory Structures: *Maximum 18 feet for any building *Exceptions for roof equipment and certain architectural features
WALLS	*Minimum 70% of total wall area excluding glass & doorways shall be constructed of masonry materials *Minimum 60% masonry construction required for each façade *Remainder of building walls may be non-masonry	East Façade- 28% Native Limestone & Architectural Steel Panels South Façade- 14% Native Limestone & Architectural Steel Panels North Façade – 9% Native Limestone & Architectural Steel Panels
ROOF	*Metal, concrete or clay tile, natural or manufactured stone or asphalt shingles of at least 300 pounds per square	Metal Standing Seam Roof
ARCHITECTURAL FEATURES	*See article 14.10 Architectural Standards for Commercial	Parapet features, projected shade structures and balconies at the 3 rd floor to provide articulation depth to the building façade
PARKING	*Varies by use; see article 14.06	See Parking Requirement Section

Water and Sanitary Sewer Services:

Below is a screenshot from our GIS that appears to show a 12" water main that could potentially be extended to serve and meet our requirements. The line extension previously mentioned is only a 2" water main along the back of the property, which would need to be enlarged and extended as well.



Phasing:

The initial development will consist of the primary multi-story building to serve its principal use as self-storage and accessory use as the Contractor's Office of The Parham Group. The office/warehouse storage building, and future single-story drive-up self-storage buildings are proposed in the second phase.



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Landscaping:

The proposed development will adhere to [Sec.14.05.003 Scenic Gateway Overlay](#) and [ARTICLE.14.08 LANDSCAPING](#) of the Zoning Ordinance.

Parking Requirements: [Sec.14.06.003](#)

PARKING	USE (TOTAL SF)	PROPOSED SPACES	REQUIRED
BLDG A PHASE 1	LEASING OFFICE: 900 SF	4 (1 per 250 sf)	3.6 spaces (1 per 250 sf)
	CONTRACTOR'S OFFICE: 6,075 SF	17	One space per employee, plus one space for each company vehicle
	STORAGE: 98,625 GSF	5 space plus <u>loading zones per sec.14.06.007</u>	One space per 20 units or minimum 5 designated customer spaces
	RETAIL: 1800 SF	5 spaces	5.4 spaces (1 space per 333 square feet of GBA)
TOTAL	BLDG A	31	30
PHASE 2	OFFICE/WAREHOUSE (6) 1,000 SF SPACES = 6,000 GSF	16	12 (1 space per 1,000 square feet of GBA plus parking for the office component of the building)
	STORAGE: 26,900 SF	<u>loading zones per sec.14.06.007</u>	One space per 20 units or minimum 5 designated customer spaces
PHASE 3	STORAGE: 17,500 SF	<u>loading zones per sec.14.06.007</u>	One space per 20 units or minimum 5 designated customer spaces

*Office- For buildings less than 75,000 square feet *1 space per 250 square feet of GBA*

*Warehouse- *1 space per 1,000 square feet of GBA plus parking for the office component of the building*

*Retail- Buildings <10,000 SF *1 space per 333 square feet of GBA >10,000 SF *30 spaces, plus 1 space per 200 SF of GBA in excess of 10,000 SF*

Lighting:

All lighting, whether installed on the building exterior or freestanding, shall comply with the City of Bulverde dark sky ordinance per [ARTICLE 3.09 DARK SKY ORDINANCE](#) .



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Commercial Building Code: [Article 3.06](#)

- 2015 International Mechanical Code of the International Code Council (ICC) (Ordinance 334-11-11-08, sec. 1.2, adopted 11/8/11; Ordinance 415, sec. 1(3), adopted 11/10/15) State law reference–Air Conditioning and Refrigeration Contractor License Law, V.T.C.A., Occupations Code, ch. 1302.
- 2014 National Electrical Code of the National Fire Protection Association (NFPA) (Ordinance 334-11-11-08, sec. 1.2, adopted 11/8/11; Ordinance 415, sec. 1(4), adopted 11/10/15) State law references–National Electrical Code adopted as municipal residential and commercial electrical code, V.T.C.A., Local Government Code, sec. 214.214; Texas Electrical Safety and Licensing Act, V.T.C.A., Occupations Code, ch. 1305.
- 2015 International Plumbing Code and the 2015 International Fuel Gas Code of the International Code Council (ICC) (Ordinance 334-11-11-08, sec. 1.2, adopted 11/8/11; Ordinance 415, sec. 1(5), adopted 11/10/15) State law reference–Adoption of plumbing codes and amendment of codes by municipality, V.T.C.A., Occupations Code, sec. 1301.255.
- 2015 International Fire Code of the International Code Council (Ordinance 334-11-11-08, sec. 1.2, adopted 11/8/11; Ordinance 415, sec. 1(6), adopted 11/10/15)

Environmental Considerations:

No portion of this property is located within the FEMA-designated 100-year floodplain. The proposed development is within the Edwards Aquifer Contributing Zone and will comply with TCEQ Edwards Aquifer Rules. Variance requests for Article 17.04 Cut & Fill Requirements, Article 17.06.009 Tree Preservation, and Article 17.03.005 Disturbance Within Steep Slope are being requested due to the extreme site constraints.

Drainage Criteria: [Sec.3.06.030](#)

All construction sites shall comply with the most current edition of the city's [Storm Drainage Design Criteria Manual](#).

Signage: [ARTICLE 3.08 SIGNS](#)

All signage will adhere to the [General Design Standards of Division 4](#), Article 3.08. Noah's Ark Self Storage features an existing ground pole sign. Proposed signage for the PDD would include development, construction, directional, attached, and monument signage.



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DOC. NO. 200106026277
O.P.R.C.C.TX.

ISSUE	DATE
OWNER REVIEW	1/11/2021
	1/20/2021
	8/19/2021
	9/13/2021

NOAH'S ARK
SELF STORAGE/
CORP OFFICE

US HWY 281 NORTH
BULVERDE, TX 78163

**Kaufman
Design
Group**

ARCHITECTURE

12371 E. LINCOLN CT.
WICHITA, KS 67207
(316) 618-0448
(316) 618-0048 fax
skaufman@cox.net

SHEET TITLE
SITE ARCHITECTURAL

SHEET NUMBER

SA1

OF SHEETS



SITE AREA	
261,395 SF	6.00 ACRES
BUILDING DATA	
PHASE 1	
98,625 TOTAL GSF	
RETAIL 1,800 SQ FT	
RENTAL OFFICE 1000 SQ FT	
SUPPORT 270 SQ FT	
	3070 SQ FT
CORP OFFICE 6075 SQ FT	
STORAGE 89,480 GSF	
APPROX 68,000 NET RENTABLE	
PHASE 2	
OFFICE 6,000 GSF	
STORAGE 26,900 GSF	
PHASE 3	
17,500 TOTAL GSF	

Building GSF = 149,450
Total SF = 261,367.77
FAR = 0.57:1

Impervious Cover = 127,183.37
Total SF = 261,367.77
Impervious Cover = 48.66%

SADDLE RIDGE
SUBDIVISION
UNIT 1
VOL 13, PG 42-48
LOT 105

LOT 70

N 21°05'23" W
49.48'

N 00°56'03" W 539.39'

3 STORY
32,875 SF/FLOOR
98,625 GSF

PHASE 2
1 STORY
UPPER
13,500 SF

PHASE 2
1 STORY
UPPER
13,400 SF

PHASE 3
1 STORY
ELEV 1055
17,500 SF

OFFICE/WAREHOUSE
PHASE 2
1 STORY
6,000 SF

S 10°02'32" W
101.29'

US HWY 281

A=499.73'
R=3759.72'
D=7°36'56"
CH=S 13°46'28" W
CHL=499.36'

LOT 1
3.50 ACRES
NOAH'S ARK
VOL 12 PG 141

N 89°44'16" W 349.54'



SITE DEVELOPMENT PLAN

scale 1" = 30.0'

MATERIAL LEGEND

TAG	TAG	DESCRIPTION	MANUF/COLOR
(A)		24 GA. ARCHITECTURAL STEEL PANEL 1 1/8" DEEP HORIZONTAL FLUTE	MBCI A PANEL COPPER METALLIC
(B)		NATIVE DIMENSIONAL CUT LIMESTONE	TO BE SELECTED
(C)		24 GA. ARCHITECTURAL STEEL PANEL HORIZONTAL INSTALLATION	MBCI D PANEL DOVE METALLIC
(D)		STEEL FRAMING & CANOPY OR SHADE STRUCTURE	PAINT TO BE SELECTED
(E)		STOREFRONT ALUM. GLAZING SYSTEM	ANODIZED ALUMINUM FRAME
(F)			
(G)			

MASONRY 28% OF EAST FACADE
LESS DOORS AND WINDOWS

LOW EAVE
ELEV 132'-0"

3rd FINISH FLOOR
ELEV 122'-0"

2nd FINISH FLOOR
ELEV 111'-0"

1st FINISH FLOOR
ELEV 95'-0"



EAST FRONTAGE ELEVATION

SCALE 3/32" = 1'-0"



SOUTH ELEVATION

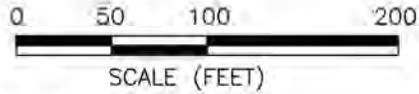
SCALE 3/32" = 1'-0"



NORTH ELEVATION

SCALE 3/32" = 1'-0"

ROBERT KEITH STODDARD
 REMAINDER OF
 A TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.



LOT 68

LOT 69

SADDLE RIDGE
 SUBDIVISION
 UNIT 1
 VOL 13 PG
 42-48

LOT 105

LOT 70

FOUND 1/2" IRON

LOT 71

6.00 ACRES
 OUT OF A
 TRACT CALLED
 10.02 ACRES
 DOC. NO. 200106026299
 O.P.R.C.C.TX.

(UNIMPROVED)

S 10°02'32" W
 101.29'

FOUND 1/2" IRON
 CAPPED "ACS
 INC. SA"

US HWY 281

A=499.73'
 R=3759.72'
 D=7°36'56"
 CH=S 13°46'28" W
 CHL=499.36'

GRID COORDINATES
 N:13819660.64
 E:2148425.92
 Z:1033.54

N 21°05'23" W
 49.48'

FOUND 1/2" IRON
 ROD "4233"

P.O.B

N 89°44'16" W 349.54'

C.M.

C.M.

LOT 1
 3.50 ACRES
 NOAH'S ARK
 VOL 12 PG 14)

LEGEND

- 1/2" IRON ROD FOUND (UNLESS NOTED)
- 1/2" IRON ROD SET
- C.M. CONTROLLING MONUMENT
- P.O.B. POINT OF BEGINNING

SURVEYOR NOTES:

THIS BOUNDARY SURVEY WAS COMPLETED WITHOUT ADDITIONAL RESEARCH TO DETERMINE IF OTHER MATTERS OF RECORD, IF ANY, MIGHT AFFECT THIS PROPERTY, SUCH AS EASEMENTS, SETBACKS, OR OTHER ENCUMBRANCES.

BASIS OF BEARING IS NAD83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE

DATE OF FIELDWORK: 06/18/2021

LEGAL DESCRIPTION

SURVEY OF A 6.000 ACRE TRACT OF LAND SITUATED IN THE AGAPITO GAYTON SURVEY, ABSTRACT NO. 174, COMAL COUNTY, TEXAS, OUT OF THAT CERTAIN 10.02 ACRE TRACT CONVEYED TO ROBERT KEITH STODDARD, DESCRIBED IN DOCUMENT NO. 200106026299, OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS.



**SHERWOOD
 SURVEYING & S.U.E.**
 UTILITIES | RESIDENTIAL | COMMERCIAL | INDUSTRIAL
 6477 FM 311, P.O. BOX 992 TBPELS FIRM#10044200
 SPRING BRANCH, TEXAS 78070
 PHONE (830) 228-5788 FAX (830) 885-2170



SURVEYORS CERTIFICATE

I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, REGISTRATION NUMBER 4069, HEREBY STATE THAT DURING THE MONTH OF JUNE, 2021, A SURVEY OF THE REAL PROPERTY SHOWN HEREON WAS MADE UPON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

Richard A. Goodwin JUNE 29, 2021
 RICHARD A. GOODWIN DATE
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4069



P.O. BOX 992 | 6477 FM 311, SPRING BRANCH, TX 78070
WWW.SHERWOODSURVEYING.COM
TBPELS FIRM #10044200

6.000 ACRES

FN NO. 21NAD001

JUNE 29, 2021

FIELDNOTE DESCRIPTION

BEING A 6.000 ACRE TRACT, SITUATED IN THE AGAPITO GAYTON SURVEY NO. 194, ABSTRACT NUMBER 174, OUT OF THAT CERTAIN 10.02 ACRE TRACT RECORDED IN DOCUMENT NUMBER 200106026299 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, SAID 6.00 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A ½" IRON ROD FOUND SITUATED ON THE WESTERLY LINE OF U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF LOT 1, NOAH'S ARK, A SUBDIVISION RECORDED IN VOLUME 12, PAGE 141, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, SAME BEING THE SOUTHEASTERLY CORNER OF SAID 10.02 ACRE TRACT, FOR THE SOUTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 89°44'16" W, ALONG THE NORTHERLY LINE OF SAID LOT 1, NOAH'S ARK SUBDIVISION, COMMON WITH THE SOUTHERLY LINE OF SAID 10.02 ACRE TRACT, A DISTANCE OF 349.54 FEET TO A ½" IRON ROD FOUND FOR THE NORTHWESTERLY CORNER OF SAID LOT 1 SITUATED IN THE EASTERLY LINE OF SADDLE RIDGE SUBDIVISION, UNIT 1, RECORDED IN VOLUME 13, PAGE 42-48, MAP AND PLAT RECORDS, COMAL COUNTY, TEXAS, FOR THE SOUTHWESTERLY CORNER OF SAID 10.02 ACRE TRACT AND THE SOUTHWESTERLY CORNER OF THE HEREIN TRACT;

THENCE, ALONG THE WESTERLY LINE OF SAID 10.02 ACRE TRACT, COMMON WITH THE EASTERLY LINE OF SAID SADDLE RIDGE SUBDIVISION, UNIT 1, THE FOLLOWING COURSES:

N 21°05'23" W, A DISTANCE OF 49.48 FEET TO A ½" IRON ROD FOUND;

N 00°56'03" W, A DISTANCE OF 539.39 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" FOR THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 89°44'16" E, SEVERING SAID 10.02 ACRE TRACT, A DISTANCE OF 512.70 FEET TO A ½" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "SHERWOOD SURVEYING" ON THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281 FOR THE NORTHEASTERLY CORNER OF THE HEREIN DESCRIBED TRACT;



THENCE, ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY NO. 281,
THE FOLLOWING COURSES:

S 10°02'32" W, A DISTANCE OF 101.29 FEET TO A FOUND ½" IRON ROD
CAPPED "ACS INC. SA" AT THE BEGINNING OF A CURVE TO THE RIGHT;

IN A CURVE TO THE RIGHT, HAVING A RADIUS OF 3759.72 FEET, AN ARC
LENGTH OF 499.73 FEET, A CENTRAL ANGLE OF 07° 36' 56", AND
HAVING A CHORD BEARING OF S 13°46'28" TO THE **POINT OF BEGINNING**,
CONTAINING AN AREA OF 6.00 ACRES OF LAND MORE OR LESS.

A SURVEY EXHIBIT WAS PREPARED ON THIS SAME DATE. BASIS OF BEARING
IS NAD 83 TEXAS STATE PLANE COORDINATES, SOUTH CENTRAL ZONE.

I, RICHARD A. GOODWIN, A REGISTERED PROFESSIONAL LAND
SURVEYOR, DO HEREBY CERTIFY THAT THE PROPERTY DESCRIBED HEREIN WAS
DETERMINED FROM A SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND
SUPERVISION.

 6/29/21

RICHARD A. GOODWIN DATE
R.P.L.S. #4069 STATE OF TEXAS





PDD-21-04 Zoning Map Exhibit



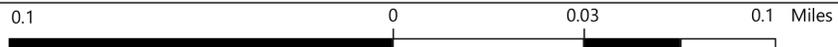
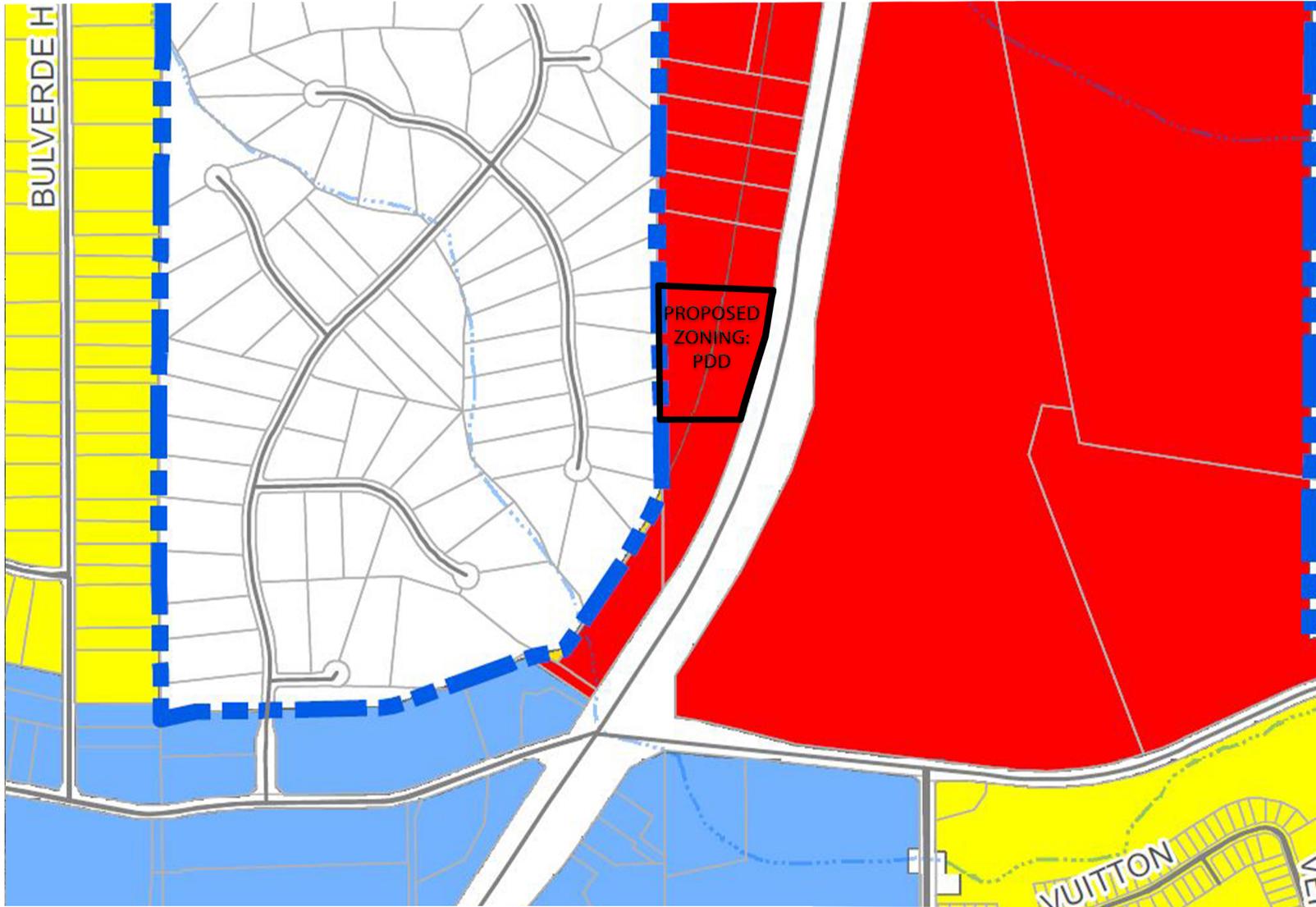
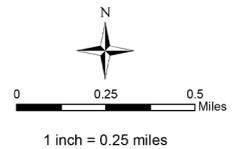
City of Bulverde
Zoning Map

Key to Features

- City Limits
- ETJ Boundary
- Streams
- Parcels

Zone

- AG
- AV
- R1
- R2
- R3
- R4
- R5
- C1
- C2
- C3
- PDD
- I1
- SUP



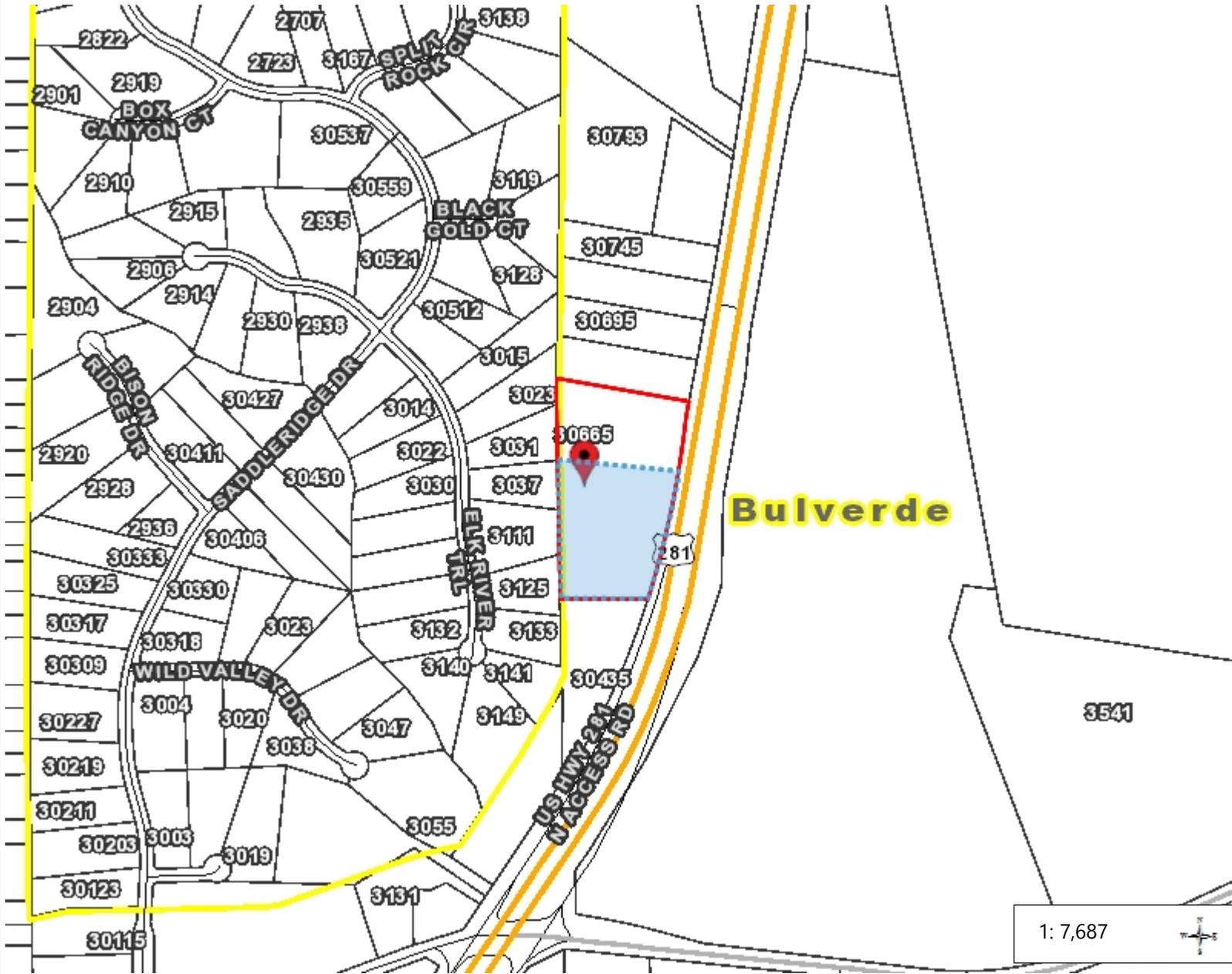
NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION



Legend

- Addresses
- Major Roads
 - Farm roads
 - Highways
- Streets
- Parcels
- Future Parcels



1: 7,687 

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

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Notes

REVIEW MEMORANDUM

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: Variance requests
Noah's Ark PDD-21-04

DATE: September 27, 2021

Halff Associates, on behalf of the City of Bulverde, has reviewed the variance requests for the proposed Noah's Ark storage facility expansion off Hwy 281. Following review of the submitted documents, Halff is providing the following responses:

1. The TIA Worksheet was not completed in accordance with CoB Code of Ordinances Ch. 10, Section 2.04 (b) (iii) 2). Insufficient information was provided to evaluate the TIA Worksheet.
2. The fire marshal should be consulted regarding the site plan, which appears to show part of this site's access via the parcel to the north. There is nothing nearby existing to connect to. While it appears the northern property is owned by the same person, there is nothing I see which indicates how/whether/when that access will be extended through the adjacent property. Access via the current Noah's Ark area to the south is also shown. This access may not be adequate for emergency response. The geometry seems too tight for fire trucks to navigate, and it's uncertain this layout meets typical fire department requirements for maximum dead-end length without a cul-de-sac.
3. Cut and Fill variance – No proposed grading was provided to visualize how cut/fill will be limited to comply with City code. Where are the isolated cases of 15'+ grading? Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.
4. Tree removal variance – Applicant is proposing to only save 13% of the caliper width of protected trees vs. the required 60%. This seems excessive.
5. Steep Slope variance – Applicant did not provide a slope map identifying sections of slope per Section 4.04 of the subdivision code. Would be helpful to show a proposed grading plan with locations of cut/fill in excess of 4'.

Please keep these responses in mind as the City considers the variance requests.



Sam Edwards, PE, CFM
Halff Associates, Inc.



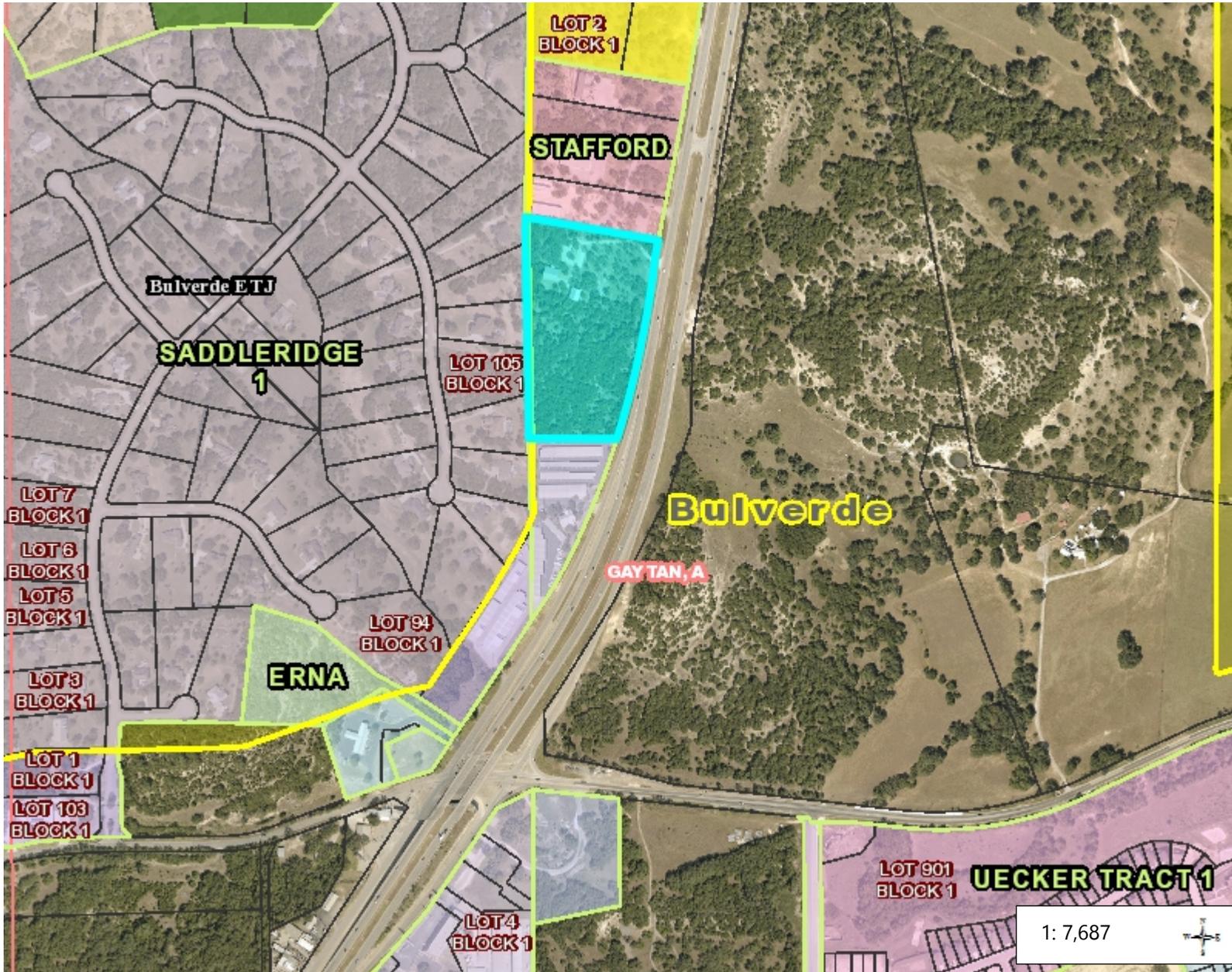
Half Associates, Inc.
100 NE Loop 410, Suite 200
San Antonio, Texas 78216
(210) 798-1895

CC. Adrian Garcia, PE, CFM – City Engineer, Bulverde
Susanna Ramos, AICP – City Planner, Bulverde
Josh Logan, PE, CFM – Half Associates Senior Project Manager



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
- Vacate & Replat
- Amendment to Plat
- Amending Plat
- Vacating Plat
- Red: Band_1
- Green: Band_2
- Blue: Band_3



Notes

1: 7,687

0.2 0 0.12 0.2 Miles

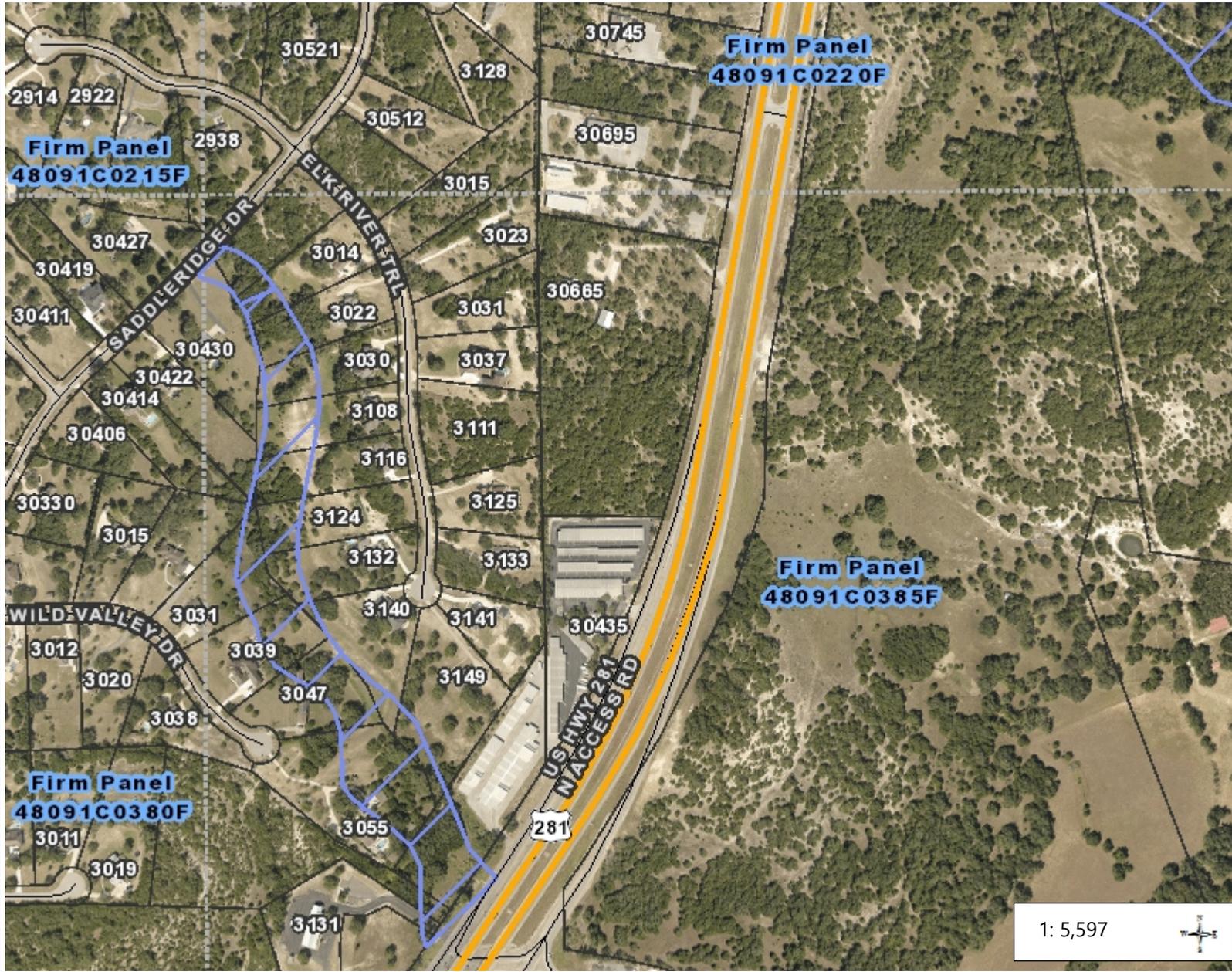
NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

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FLOODPLAIN



Legend

- Addresses
- Culverts
- Guardrails
- Major Roads
 - Farm roads
 - Highways
- Streets
- Major Thoroughfares
 - Collector Road
 - Freeway
 - Local Road
 - Primary Arterial
 - Secondary Arterial
- LOMAs
- LOMRs
- FEMA Floodplain 100 Yr
- Firm Panel
- Floodway
- 500 Yr Floodplain
- Parcels
- Future Parcels
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

1: 5,597




NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
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Edwards Aquifer Contributing Zone



Legend

- Texas Land Survey(Approx)
- Parcels
- Future Parcels
- Lots
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

Notes

0.2 0 0.12 0.2 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
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