



NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
6:00 P.M. – July 16, 2020

30360 Cougar Bend, Bulverde, TX 78163

MEETING AGENDA

1) CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL

2) APPROVAL OF MINUTES

- a. May 14, 2020, Planning and Zoning Commission meeting.

3) REGULAR AGENDA ITEMS

- A. SUP-20-01 (Special Use Permit): Hold a public hearing and consider a request by Bullet Flooring for approval of a Special Use Permit for a Design & Install Center/Warehouse on a 1.357-acre tract of land located at 30347 Cougar Bend.
- B. PC-20-08 (Final Plat): Consideration of a Final Plat (Revision) for 4S Ranch, Unit 7C, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.
- C. PC-20-09 (Preliminary Plat): Consideration of a Preliminary Plat for 4S Ranch, Unit 8A, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.
- D. PC-20-10 (Preliminary Plat): Consideration of a Preliminary Plat for 4S Ranch, Unit 9A, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.
- E. VR-20-03 (Variance): Consider a request by Pape-Dawson Engineers, on behalf of H.E.B., LP, for approval of a variance to Sections 17.04.003 of the City of Bulverde Code of Ordinances, related to Cuts, at 103 Bulverde Crossing.

4) PUBLIC COMMENTS NOT RELATED TO POSTED AGENDA ITEMS

Persons desiring to address the Commission regarding issues not on the agenda will be received at this time. Those wishing to speak should present a completed comment form to the Chair prior to the meeting. Speakers are limited to 3 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the Commission cannot take action on items not listed on the meeting agenda.

5) REPORT BY CITY OFFICIALS AND STAFF ON ITEMS OF COMMUNITY INTEREST

In accordance with Section 551.0415 of the Government Code, topics discussed under this item are limited to expressions of thanks, congratulations or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial or community event; and Announcements involving an imminent threat to the public health and safety of people in the political subdivision that has arisen after the posting of the agenda.

6) ADJOURNMENT

City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations must be made 48 hours prior to the meeting. Please contact the City Secretary at 830.980.8832 or FAX 830.438.4339 for information or assistance. I, the undersigned authority, do hereby certify that the above Notice of Meeting was posted on the bulletin board in front of Bulverde City Hall, which is readily accessible to the public at all times, by 5:00 pm on July 13, 2020.

Susana Ramos, Planning Director

These minutes have been prepared to satisfy the requirements of Section 551.021 of the Texas Government Code. Recordings of most City meetings are available at www.bulverdetx.gov

City of Bulverde Planning & Zoning Commission Minutes
Regular Commission Meeting: May 14, 2020

Meeting Duration: 6:00 p.m. to 8:58 p.m.

CALL TO ORDER

Commission Members Present: Mike Romans (Chairman), Tom Hackleman (Vice-Chairman), Jim Binkley, Larry Sunn, Lindy Sisk, Dickie Lubel, Rhianna Stewart

Commission Members Absent: None

City Staff Present: Susana Ramos (Director), Adrian Garcia (City Engineer), Jason Rammel (City Attorney), Miguel Inclan (Planner I), Eron Spencer (Planner I)

Approval of Minutes

- a. **Commissioner Sunn made a motion, seconded by Commissioner Binkley to approve the minutes of the March 12, 2020 meeting as amended. Motion passed 6-0.**

EXECUTIVE SESSION

None

REGULAR AGENDA ITEMS

- A. ZC-20-01 (Zone Change): Hold a public hearing and consider an application by MADRE Holdings, on behalf of St. Paul Lutheran Church, for a Zone Change from a combination of R-2 (Residential) and C-2 (Commercial) Zoning Districts to a combination of R-2 (Residential), R-5 (Residential) and C-2 (Commercial) Zoning Districts on approximately 63 acres of land located at 32005 US HWY 281 N. ***Director Ramos presented the staff report to the Commission. The commission received considerable public comment from residents in opposition to the zone change. After discussion, Commissioner Sunn made a motion, seconded by Commissioner Hackleman, to recommend DENIAL of the Zone Change. Motion passed unanimously 7-0.***

RECESS

1. The Commission entered into a recess at 7:26 p.m. The meeting resumed at 7:32 p.m.
 - B. PC-19-14 (Final Plat): Consider the approval of a Final Plat for Johnson Ranch Open Space, generally located north of Mustang Vista and Porcini Drive. ***Director Ramos presented the staff report to the Commission. After discussion, Commissioner Binkley made a motion, seconded by Commissioner Lubel to approve the Final Plat. Motion passed unanimously 7-0.***
 - C. PC-19-16 (Final Plat): Consider the approval of a Final Plat for Belle Oaks Ranch Phase 3, generally located on the east side of Blanco Road approximately 1.2 miles south of State Highway 46. ***Director Ramos presented the staff report. After questions and discussion, Commissioner Lubel made a motion, seconded by Commissioner Hackleman, to approve the Final Plat subject to making a correction on Block 10 Lot 132. Motion passed unanimously 7-0.***
 - D. PC-19-20 (Preliminary Plat): Reconsideration of a Preliminary Plat for the Cibolo Cliff Ranches subdivision, generally located at 7055 FM 1863. ***Director Ramos presented the staff report. After questions and discussion, Commissioner Sunn made a motion,***

seconded by Commissioner Lubel to approve the Preliminary Plat. Motion passed 6-1 (Commissioner Romans voted against the item).

- E. VR-19-17 (Variance): Consider a request by Moeller & Associates, on behalf of A Z Family, L.P., for approval of a variance to Sections 2.03(b)(i)(1) and 2.03(b)(iii) of the City of Bulverde Code of Ordinances, related to subdivision blocks, at 7055 FM 1863. *Director Ramos presented the staff report. Motion by Commissioner Sunn, seconded by Commissioner Hackleman to recommend approval of the Variance. Motion passed unanimously.*

PUBLIC COMMENTS

- A. Barbara Mainz requested an ordinance amendment to ensure that future gas stations are built further than 500 feet from any residential or institutional use.
- B. Commissioner Binkley spoke about the ordinance approved by the City Council to permit banner signs for 60 days.

REPORT BY CITY OFFICIALS AND STAFF ON ITEMS OF COMMUNITY INTEREST

None.

ADJOURNMENT

There being no further business to come before the Commission, the meeting adjourned at 8:58 p.m. I certify that the above minutes were approved by the Commission on July 16, 2020.

Maria Franco, City Secretary



PLANNING AND ZONING COMMISSION ITEM:
PC-20-08
FINAL PLAT
4S RANCH, UNIT 7C

MEETING DATE: July, 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:

Consideration of a Final Plat (Revision) for 4S Ranch, Unit 7C, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.

APPLICANT:

Lennar Homes of Texas Land and Construction, LTD
1922 Dry Creek Way, Ste. 101
San Antonio, TX 78259

PROPERTY INFORMATION:

Owner: Lennar Homes of Texas Land and Construction, LTD
Legal Description: 94.212 ACRE TRACT OF LAND INCLUSIVE OF A 1.236 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD IN DEED RECORDED IN DOCUMENT 201506007928 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE J. BYLAND SURVEY NUMBER 438, ABSTRACT 50, IN COMAL COUNTY, TEXAS.
Size: 94.212 acres; 149 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed final plat for Unit 7C of the 4S Ranch development, for which a Development Agreement was approved in 2014 and Master Development Plan (MDP) subsequently approved in 2015.

ANALYSIS:

This proposed Final Plat is for approximately 94.212 acres of vacant property and establishes 149 single family residential lots. The density class for this plat is High Density.

The proposed subdivision lies completely outside the City Limits. Water service will be provided by the Canyon Lake Water Service Company. Sewer Service will be provided by the Guadalupe Blanco River Authority. Electric Service provided by CPS Energy.

The proposed subdivision lies completely outside of the City Limits. The 1% annual chance (100-year) FLOODPLAIN limits in this subdivision (Lot 901 OPEN SPACE – Block 32) were delineated based on a conditional letter of map revision (CLOMR) study prepared by Pape-Dawson Engineering, Inc. and approved by FEMA on February 26, 2019 (Case No. 19-06-0091R).

The City of Bulverde Future Land Use plan identifies the subject area as Cluster Residential. Cluster Residential neighborhoods are intended to provide a clustering of smaller residential lots. But within large areas of green/open space in order to maintain lower residential densities.

As with any final plat, approval would authorize the subsequent review and approval of associated subdivision improvements.

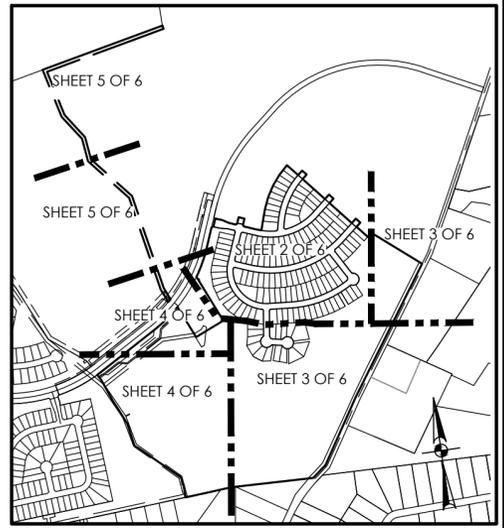
STAFF RECOMMENDATION:

The proposed final plat revision has been reviewed by Halff Associates and City Staff. All comments made by Halff have been addressed and reviewed.

Therefore, Staff recommends **APPROVAL** of this Final Plat.

ATTACHMENTS:

1. Final Plat
2. Master Development Plat
3. Halff Associates Comments Memo
4. Pape – Dawson Engineers, Inc Comments Response



INDEX MAP
SCALE: 1"=1000'

**SUBDIVISION PLAT
OF
4S RANCH, UNIT 7C**

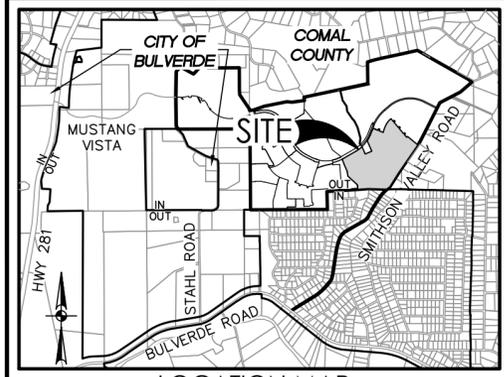
CLOMR NOTE:
THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (CLOMR) STUDY PREPARED BY PAPE-DAWSON ENGINEERS, INC. AND APPROVED BY FEMA ON FEBRUARY 26, 2019 (CASE NO. 19-06-0091R). WATER SURFACE ELEVATIONS SHOWN ARE BASED ON THE 100-YEAR CORRECTED EFFECTIVE MODEL FOR LEWIS CREEK FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

DETENTION AND RETENTION FACILITIES NOTE:
THE 100-YEAR WATER SURFACE ELEVATION IN THE STORAGE AREAS SHALL BE AT LEAST TWO FEET BELOW THE LOWEST FINISHED FLOOR ELEVATION IN THE AREAS TRIBUTARY TO THE STORMWATER DETENTION AND RETENTION FACILITIES.

OPEN SPACE NOTE:
LOT 901, BLOCK 32, AND LOT 901, BLOCK 34 ARE DESIGNATED AS OPEN SPACE AND AS A LANDSCAPE, DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT.

MINIMUM FINISHED FLOOR ELEVATION NOTE:
THE MAXIMUM WATER SURFACE ELEVATION DURING THE 100-YEAR STORM EVENT SHALL BE NO LESS THAN TWO FEET BELOW THE FINISHED FLOOR ELEVATION OF ADJACENT RESIDENTIAL DWELLING AND PUBLIC, COMMERCIAL, AND INDUSTRIAL BUILDINGS.

A 94.212 ACRE TRACT OF LAND INCLUSIVE OF A 1.236 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE DANIEL LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE MARIA JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE JOHN BYLAND SURVEY NUMBER 438, ABSTRACT 50, IN COMAL COUNTY, TEXAS.



LOCATION MAP
NOT-TO-SCALE

C.P.S. NOTES:

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE ENERGY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES; TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERE TO, IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
- ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERHANDS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

GBRA NOTES:

- GBRA (GUADALUPE-BLANCO RIVER AUTHORITY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
- TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
- OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN 10 FEET OF GBRA UTILITIES.
- DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
- MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
- CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED, MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON".
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NA 2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORRS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE (SCALE FACTOR = 0.99983002889).
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

MISCELLANEOUS NOTE:

- FUTURE DEVELOPMENT IS SUBJECT TO THE CITY OF BULVERDE CODE OF ORDINANCES.
- CONTOURS SHOWN ARE BASED OFF OF AN ON THE GROUND SURVEY. THE DATUM USED TO GENERATE THE CONTOURS IS THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
- TOTAL LENGTH OF ROADWAY DEDICATION IN 4S RANCH UNIT-7C IS 4,994 LINEAR FEET.
- 4S RANCH UNIT-7C LIES WITHIN THE CITY OF BULVERDE'S ETJ AND WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF BULVERDE PLANNING COMMISSION.

EUGENE H. DAWSON III
LICENSED PROFESSIONAL ENGINEER
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

STATE OF TEXAS
COUNTY OF BEXAR

I, THE UNDERSIGNED ERIC J. SNELL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

ERIC J. SNELL
REGISTERED PROFESSIONAL LAND SURVEYOR, #6527
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

LINE TABLE											
LINE #	BEARING	LENGTH									
L1	N21°29'52"E	70.00'	L29	N28°49'16"W	57.43'	L57	S36°08'02"W	233.24'	L85	S72°16'17"E	53.85'
L2	S68°30'08"E	43.77'	L30	S23°04'57"E	106.88'	L58	S2°36'10"W	37.98'	L86	S77°00'17"E	53.65'
L3	S58°30'08"E	38.78'	L31	N23°04'57"W	119.91'	L59	S50°21'21"E	35.08'	L87	S81°44'44"E	53.65'
L4	S68°30'08"E	51.71'	L32	S12°04'56"E	28.00'	L60	N2°36'10"E	56.79'	L88	S86°34'49"E	53.64'
L5	N21°29'52"E	50.00'	L33	S68°30'08"E	1.00'	L61	N36°08'02"E	224.40'	L89	N88°55'37"E	53.65'
L6	S68°30'08"E	50.00'	L34	N68°30'08"W	43.77'	L62	N47°53'05"E	29.63'	L90	N84°04'19"E	53.65'
L7	S21°29'52"W	50.00'	L35	N78°30'08"W	38.78'	L63	S53°37'51"W	50.59'	L91	N79°20'28"E	53.65'
L8	S68°30'08"E	111.76'	L36	N68°30'08"W	51.71'	L64	N50°06'56"E	60.66'	L92	N74°36'39"E	53.65'
L9	N17°33'24"E	128.36'	L37	N7°50'56"E	203.14'	L65	N50°06'56"E	15.66'	L93	N69°54'02"E	53.65'
L10	N18°15'04"E	51.80'	L38	N78°19'44"W	71.52'	L66	N50°06'56"E	15.66'	L94	N65°07'36"E	53.65'
L11	N23°32'11"E	103.52'	L39	S78°19'44"E	75.98'	L67	S63°32'21"W	59.32'	L95	N60°25'04"E	53.65'
L12	S40°29'42"E	124.45'	L40	S7°50'56"W	206.99'	L68	S66°51'13"W	50.59'	L96	N55°41'45"E	53.65'
L13	N50°06'56"E	42.81'	L41	S29°45'28"E	221.88'	L69	S69°54'18"W	50.59'	L97	N51°22'37"E	49.27'
L14	S40°29'42"E	50.00'	L42	S68°30'08"E	111.76'	L70	S72°57'22"W	50.59'	L98	N50°06'56"E	45.00'
L15	S50°06'56"W	43.34'	L43	S13°26'50"W	46.54'	L71	S76°00'27"W	50.59'	L99	N50°06'56"E	45.00'
L16	N50°06'56"E	50.00'	L44	S39°38'24"E	50.01'	L72	S79°03'31"W	50.59'	L100	S22°17'47"W	43.79'
L17	S39°53'04"E	50.00'	L45	N13°26'50"E	69.14'	L73	S82°06'36"W	50.59'	L101	S26°05'19"W	43.75'
L18	S50°06'56"W	50.00'	L46	N68°30'08"W	107.14'	L74	S85°09'40"W	50.59'	L102	S35°22'30"W	43.73'
L19	N50°06'56"E	50.00'	L47	N29°45'28"W	224.97'	L75	S88°12'45"W	50.59'	L103	N50°09'02"E	43.77'
L20	S39°53'04"E	50.00'	L48	S66°44'40"E	60.18'	L76	N88°44'11"W	50.59'	L104	N88°17'24"W	6.66'
L21	S50°06'56"W	47.25'	L49	N69°47'13"W	49.51'	L77	N85°41'06"W	50.59'	L105	N67°05'46"E	270.91'
L22	S39°53'04"E	125.00'	L50	N69°47'13"W	85.49'	L78	N82°38'02"W	50.59'	L106	N67°01'01"E	352.26'
L23	N50°06'56"E	45.00'	L51	S14°03'44"W	2.31'	L79	N79°34'57"W	50.59'	L107	N47°04'06"E	12.39'
L24	N87°55'17"W	37.56'	L52	N85°28'57"W	67.28'	L80	N76°31'53"W	50.59'	L108	S42°52'08"E	18.50'
L25	N0°00'00"E	109.37'	L53	S47°04'16"W	15.42'	L81	S73°28'48"E	50.59'	L109	N47°04'06"E	3.28'
L26	N90°00'00"W	9.00'	L54	S86°35'42"W	50.02'	L82	S70°25'44"E	50.59'	L110	N82°16'26"E	100.01'
L27	N0°00'00"E	30.36'	L55	N25°05'14"W	29.28'	L83	S68°31'06"E	82.92'	L111	S51°06'37"W	32.99'
L28	N51°58'36"W	40.35'	L56	S47°53'05"W	41.09'	L84	S68°36'25"E	50.13'			

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	1243.00'	2°02'07"	N60°51'52"E	44.15'	44.15'
C2	1243.00'	12°40'11"	N53°30'43"E	274.30'	274.86'
C3	1243.00'	12°00'11"	N27°29'57"E	259.92'	260.40'
C4	13.00'	90°00'00"	N66°29'52"E	18.38'	20.42'
C5	200.00'	10°00'00"	N63°30'08"W	34.86'	34.91'
C6	15.00'	10°00'00"	S63°30'08"E	2.61'	2.62'
C7	15.00'	89°59'59"	N66°29'52"E	21.21'	23.56'
C8	15.00'	90°00'01"	S23°30'08"E	21.21'	23.56'
C9	475.00'	3°56'28"	S70°28'22"E	32.67'	32.67'
C10	675.00'	0°36'38"	N49°48'37"E	7.19'	7.19'
C11	625.00'	0°40'45"	S49°46'34"W	7.41'	7.41'
C12	60.08'	48°21'01"	N22°57'11"W	49.21'	50.70'
C13	61.00'	13°54'49"	N16°22'26"W	14.78'	14.81'
C14	200.00'	10°00'00"	N73°30'08"W	34.86'	34.91'
C15	15.00'	10°00'00"	N73°30'08"W	2.61'	2.62'
C16	15.00'	90°00'00"	N23°30'08"W	21.21'	23.56'
C17	325.00'	96°53'33"	N26°56'55"W	486.42'	549.61'
C18	15.00'	83°14'37"	N33°46'23"W	19.93'	21.79'
C19	15.00'	52°01'12"	N33°51'32"E	13.16'	13.62'
C20	50.00'	190°13'05"	N35°14'24"W	99.60'	166.00'
C21	15.00'	52°01'12"	S75°39'39"W	13.16'	13.62'
C22	15.00'	52°01'12"	N52°19'08"W	13.16'	13.62'
C23	50.00'	284°02'25"	S11°40'16"W	61.54'	247.87'
C24	15.00'	52°01'12"	N75°39'39"E	13.16'	13.62'
C25	25.00'	86°10'41"	S35°14'24"E	34.16'	37.60'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C26	15.00'	86°40'07"	S51°10'59"W	20.59'	22.69'
C27	875.00'	34°42'36"	S77°09'45"W	522.01'	530.08'
C28	15.00'	50°21'06"	S84°59'00"W	12.76'	13.18'
C29	50.00'	191°56'14"	N14°11'26"E	99.46'	167.50'
C30	15.00'	52°01'12"	S55°46'05"E	13.16'	13.62'
C31	15.00'	87°16'14"	S13°52'39"W	20.70'	22.85'
C32	825.00'	7°23'50"	S53°48'51"W	106.44'	106.51'
C33	775.00'	61°22'56"	N80°48'24"E	791.13'	830.27'
C34	15.00'	90°00'00"	S23°30'08"E	21.21'	23.56'
C35	15.00'	100°49'06"	S61°05'19"W	23.12'	26.39'
C36	275.00'	96°09'43"	S37°24'06"E	409.25'	461.54'
C37	825.00'	34°44'23"	N77°08'51"E	492.59'	500.21'
C38	25.00'	89°32'09"	N15°00'36"E	35.21'	39.07'
C39	15.00'	87°16'14"	N73°23'36"W	20.70'	22.85'
C40	825.00'	48°31'34"	S87°14'05"W	678.03'	698.73'
C41	15.00'	90°00'00"	S66°29'52"W	21.21'	23.56'
C42	525.00'	61°22'56"	S80°48'24"W	535.93'	562.44'
C43	475.00'	32°22'21"	N66°18'07"E	264.82'	268.38'
C44	15.00'	110°57'33"	S42°01'57"E	24.72'	29.05'
C45	625.00'	35°59'22"	S31°26'31"W	386.16'	392.58'
C46	675.00'	36°03'28"	N31°28'34"E	417.82'	424.80'
C47	15.00'	79°24'34"	N53°09'07"E	19.16'	20.79'
C48	475.00'	18°38'28"	S77°49'22"E	153.86'	154.54'
C49	1157.00'	1°28'21"	N47°15'17"E	29.73'	29.73'

THIS PLAT OF 4S RANCH, UNIT-7C HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF BULVERDE, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, YEAR _____

BY: _____
CHAIRPERSON

STATE OF TEXAS
COUNTY OF BEXAR

KNOWN ALL MEN BY THESE PRESENTS:

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER, COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER: LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
BY: U.S. HOME CORPORATION,
A DELAWARE CORPORATION
ITS GENERAL PARTNER
BRIAN BARRON, VICE PRESIDENT
1922 DRY CREEK WAY, SUITE 101
SAN ANTONIO, TEXAS 78259

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRIAN BARRON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

STATE OF TEXAS
COUNTY OF COMAL

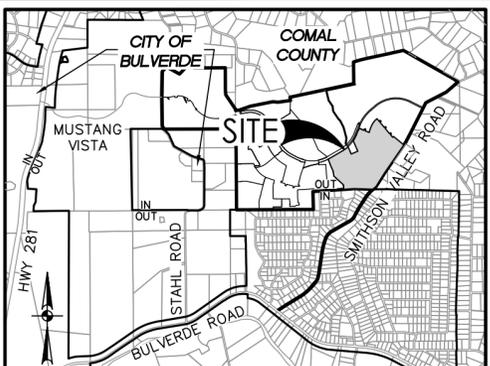
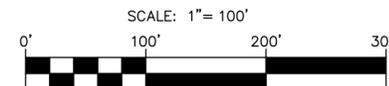
I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOC # _____ OF COMAL COUNTY ON THE _____ DAY OF _____, A.D. 20____, AT _____ M.

COUNTY CLERK, COMAL COUNTY, TEXAS

BY: _____, DEPUTY

**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 7C**

A 94.212 ACRE TRACT OF LAND INCLUSIVE OF A 1.236 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE DANIEL LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE MARIA JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE JOHN BYLAND SURVEY NUMBER 438, ABSTRACT 50, IN COMAL COUNTY, TEXAS.

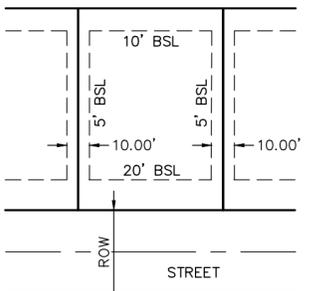


LOCATION MAP
 NOT-TO-SCALE

LEGEND

- | | | | |
|--------|---|---------|---|
| DOC | DOCUMENT NUMBER | VOL | VOLUME |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | PG | PAGE(S) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | VAR WID | VARIABLE WIDTH |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | | REPETITIVE BEARING AND/OR DISTANCE |
| | | | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| | | | SET 1/2" IRON ROD (PD) |
| | | | SET 1/2" IRON ROD (PD)-ROW |
| | | | EASEMENT P.I. POINT |
| 1140 | EXISTING CONTOURS | 1234.56 | MINIMUM FINISHED FLOOR ELEVATION |
| 1140 | PROPOSED CONTOURS | | |
| --- | ORIGINAL SURVEY/COUNTY LINE | | |
| --- | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN | | |
| --- | 100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R) | | |
| SS | SANITARY SEWER LINE | | |
| CL | CENTERLINE | | |
| 3 | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | 14 | 14' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 4 | 5' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | 15 | 14' X 18' WATER EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 11 | 21' SANITARY SEWER EASEMENT | 16 | 29' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 12 | 28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (2,419 TOTAL ACRES OFF-LOT) | 17 | 16' X 14' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 13 | 50' X 50' SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.171 TOTAL ACRES OFF-LOT) | 18 | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 14 | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.058 TOTAL ACRES OFF-LOT) | 19 | VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| 15 | VARIABLE WIDTH SANITARY SEWER EASEMENT | 20 | 10' WATER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| 16 | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | | |
| 17 | 20' BUILDING SETBACK | | |
| 1 | 4S RANCH UNIT-7A (DOC# 201906008720 MPR) | | |
| 2 | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) | | |
| 3 | DANIEL LEWIS SURVEY NUMBER 347 ABSTRACT 367 | | |
| 4 | MUSTANG VISTA PHASE 3 (PLATTED CONCURRENTLY) | | |

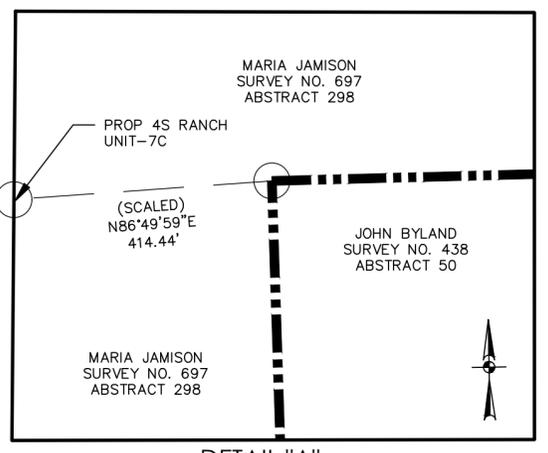
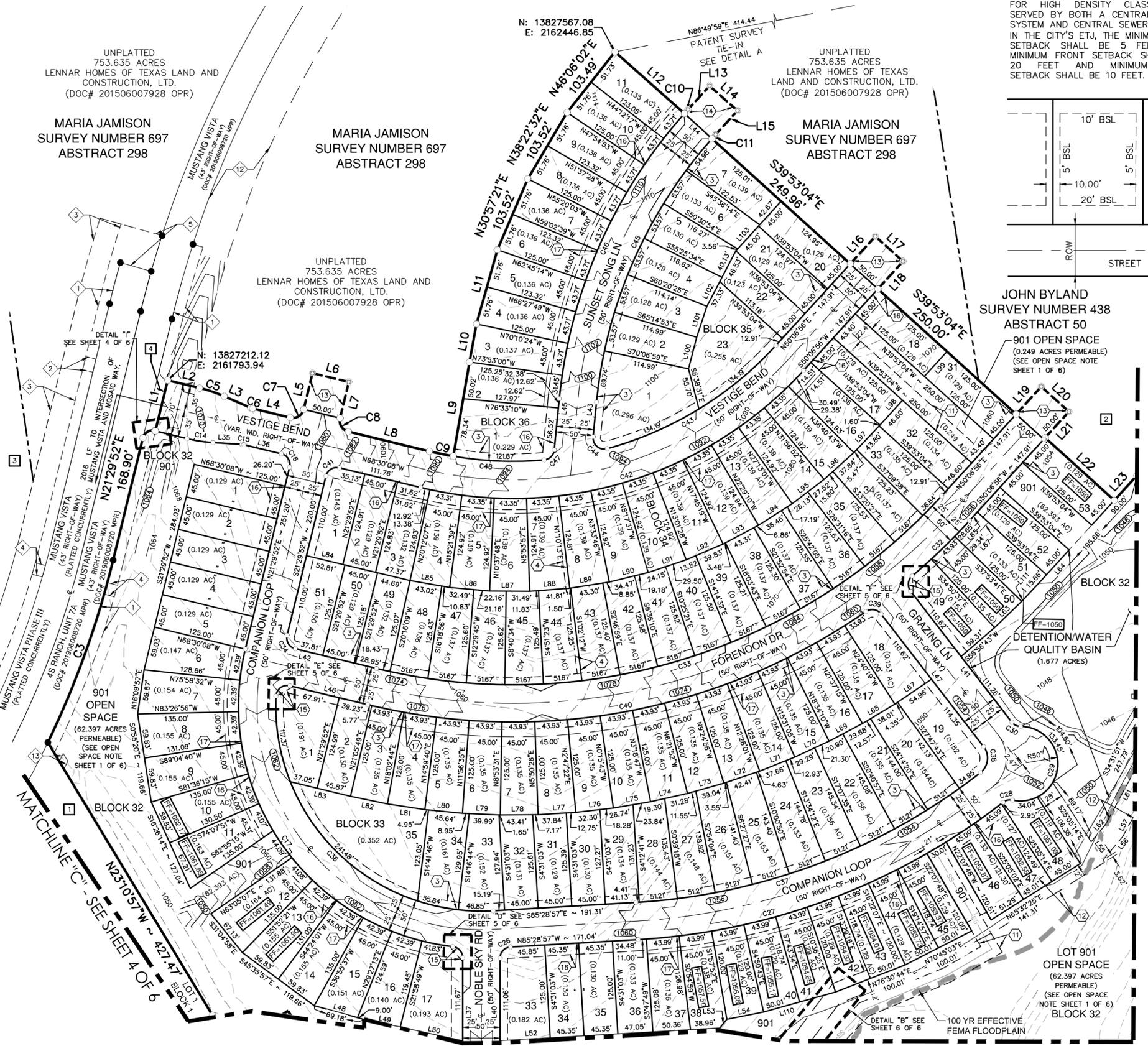
TYPICAL BUILDING SET-BACKS
 FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



JOHN BYLAND SURVEY NUMBER 438 ABSTRACT 50
 901 OPEN SPACE (0.249 ACRES PERMEABLE) (SEE OPEN SPACE NOTE SHEET 1 OF 6)

DETENTION/WATER QUALITY BASIN (1.677 ACRES)

LOT 901 OPEN SPACE (62.397 ACRES PERMEABLE) (SEE OPEN SPACE NOTE SHEET 1 OF 6) BLOCK 32



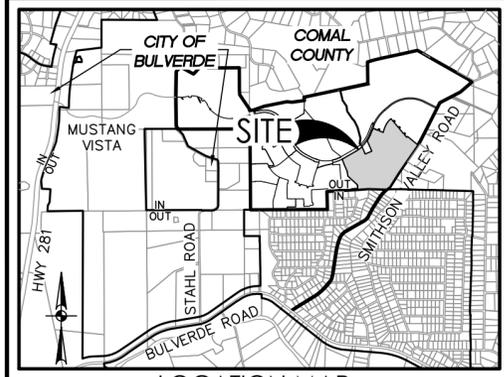
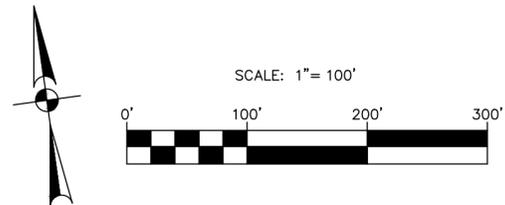
DETAIL "A"
 SCALE: 1" = 20'

MATCHLINE "B" - SEE SHEET 3 OF 6

MATCHLINE "A" - SEE SHEET 3 OF 6

**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 7C**

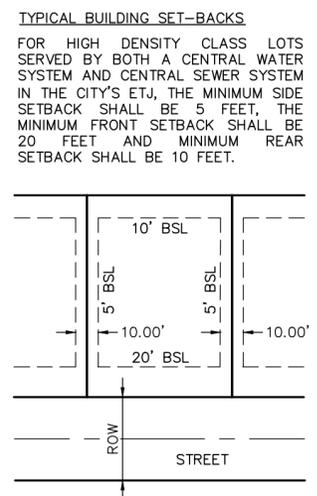
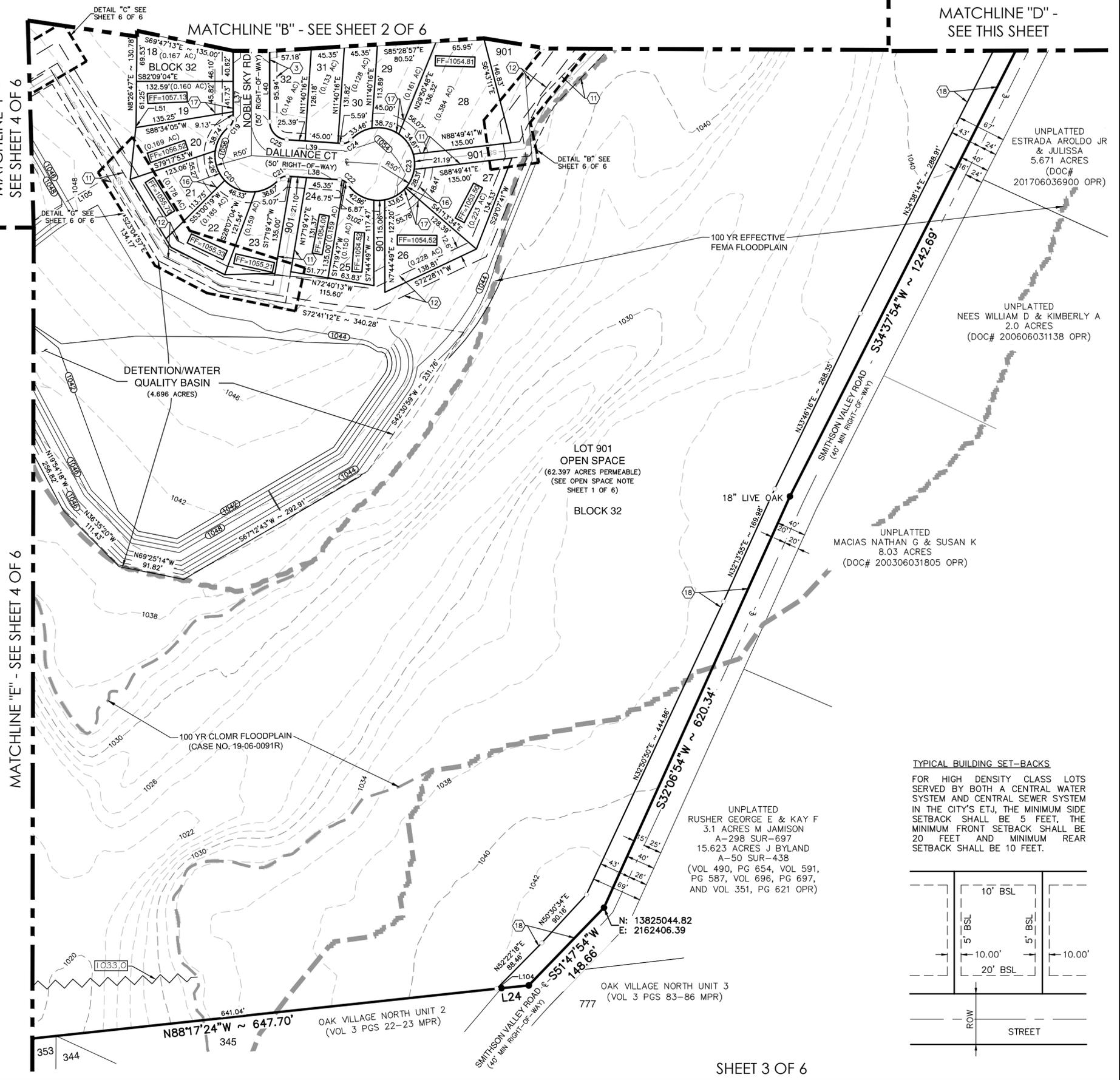
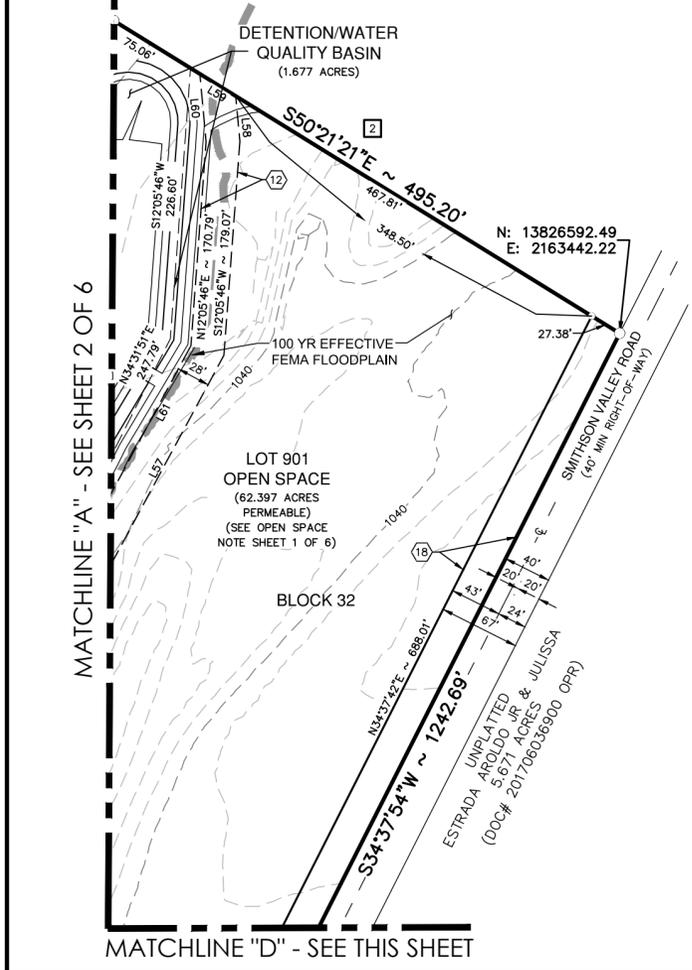
A 94.212 ACRE TRACT OF LAND INCLUSIVE OF A 1.236 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE DANIEL LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE MARIA JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE JOHN BYLAND SURVEY NUMBER 438, ABSTRACT 50, IN COMAL COUNTY, TEXAS.

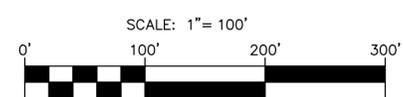


LOCATION MAP
 NOT-TO-SCALE

LEGEND

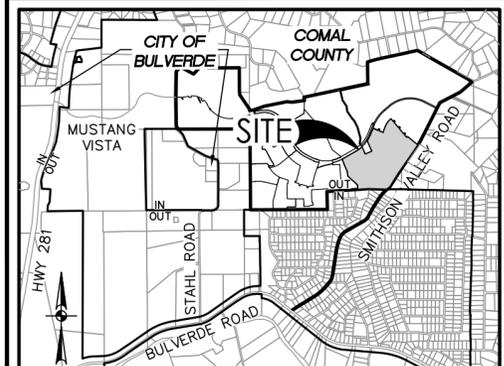
- | | | | |
|--------|---|---------|---|
| DOC | DOCUMENT NUMBER | - | REPETITIVE BEARING AND/OR DISTANCE |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | ○ | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | ● | SET 1/2" IRON ROD (PD) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD)-ROW |
| | | ○ | EASEMENT P.I. POINT |
| VOL | VOLUME | 1050 | WATER SURFACE ELEVATION |
| PG | PAGE(S) | 1234.56 | HYDRAULIC CROSS SECTION |
| VAR | VARIABLE WIDTH | | MINIMUM FINISHED FLOOR ELEVATION |
| | | --- | EXISTING CONTOURS |
| | | --- | PROPOSED CONTOURS |
| | | --- | ORIGINAL SURVEY/COUNTY LINE |
| | | --- | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANGE (100-YR) FLOODPLAIN |
| | | --- | 100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R) |
| | | --- | SANITARY SEWER LINE |
| | | --- | CENTERLINE |
| ① | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ② | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) |
| ② | 21' SANITARY SEWER EASEMENT | | |
| ③ | 28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (2,419 TOTAL ACRES OFF-LOT) | | |
| ④ | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | | |
| ⑤ | 20' BUILDING SETBACK | | |
| ⑥ | VARIABLE WIDTH RIGHT-OF-WAY DEDICATION (1.236 TOTAL ACRES) | | |



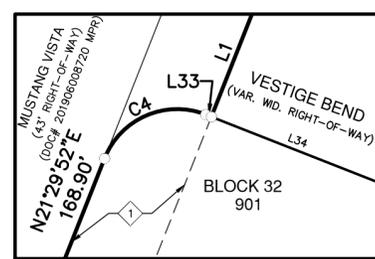


SUBDIVISION PLAT
 OF
4S RANCH, UNIT 7C

A 94.212 ACRE TRACT OF LAND INCLUSIVE OF A 1.236 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE DANIEL LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE MARIA JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE JOHN BYLAND SURVEY NUMBER 438, ABSTRACT 50, IN COMAL COUNTY, TEXAS.



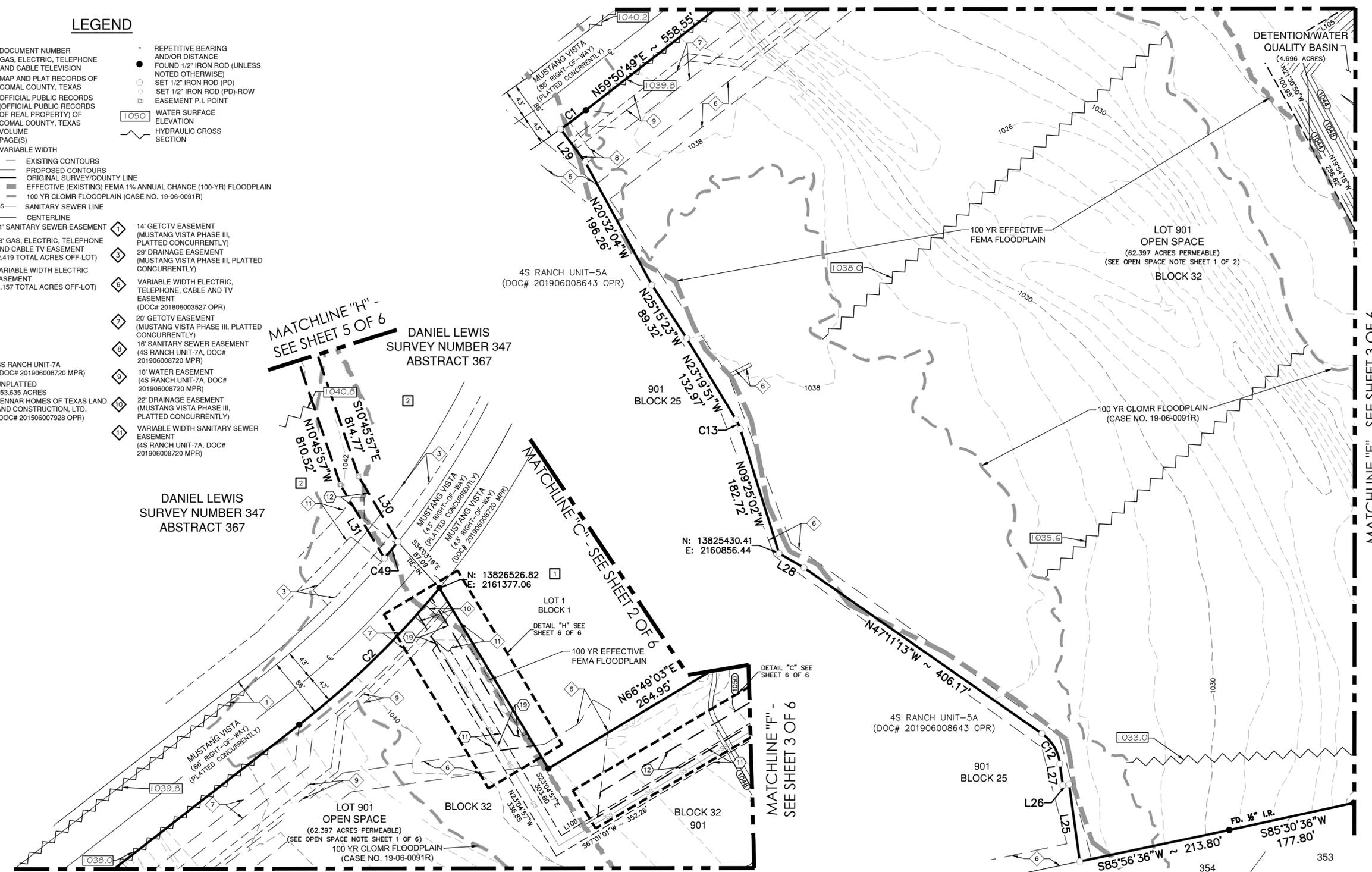
LOCATION MAP
 NOT-TO-SCALE



DETAIL "I"
 SCALE: 1" = 20'
 SEE SHEET 2 OF 6

LEGEND

- | | | | |
|---------|---|------|---|
| DOC | DOCUMENT NUMBER | • | REPETITIVE BEARING AND/OR DISTANCE |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | ● | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | ⊙ | SET 1/2" IRON ROD (PD)-ROW |
| VOL | VOLUME | ⊛ | EASEMENT P.I. POINT |
| PG | PAGE(S) | 1050 | WATER SURFACE ELEVATION |
| VAR WID | VARIABLE WIDTH | — | HYDRAULIC CROSS SECTION |
| --- | 1140 | --- | EXISTING CONTOURS |
| --- | 1140 | --- | PROPOSED CONTOURS |
| --- | --- | --- | ORIGINAL SURVEY/COUNTY LINE |
| --- | --- | --- | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN |
| --- | --- | --- | 100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R) |
| --- | --- | --- | SANITARY SEWER LINE |
| --- | --- | --- | CENTERLINE |
| 11 | 21' SANITARY SEWER EASEMENT | 11 | 14' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 12 | 28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (2.419 TOTAL ACRES OFF-LOT) | 12 | 29' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 19 | VARIABLE WIDTH ELECTRIC EASEMENT (0.157 TOTAL ACRES OFF-LOT) | 19 | VARIABLE WIDTH ELECTRIC, TELEPHONE, CABLE AND TV EASEMENT (DOC# 201806003527 OPR) |
| 1 | 4S RANCH UNIT-7A (DOC# 201906008720 MPR) | 1 | 20' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 2 | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) | 1 | 16' SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| | | 1 | 10' WATER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| | | 1 | 22' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| | | 1 | VARIABLE WIDTH SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |



MATCHLINE "H" - SEE SHEET 5 OF 6

MATCHLINE "C" - SEE SHEET 2 OF 6

MATCHLINE "I" - SEE SHEET 3 OF 6

MATCHLINE "G" - SEE THIS SHEET

MATCHLINE "E" - SEE SHEET 3 OF 6

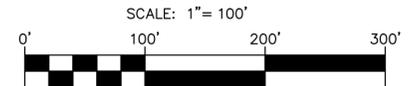
MATCHLINE "G" - SEE THIS SHEET

SUBDIVISION PLAT OF 4S RANCH, UNIT 7C

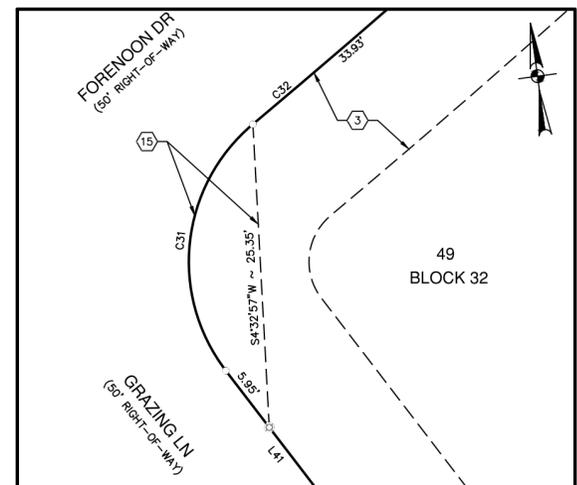
A 94.212 ACRE TRACT OF LAND INCLUSIVE OF A 1.236 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE DANIEL LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE MARIA JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE JOHN BYLAND SURVEY NUMBER 438, ABSTRACT 50, IN COMAL COUNTY, TEXAS.



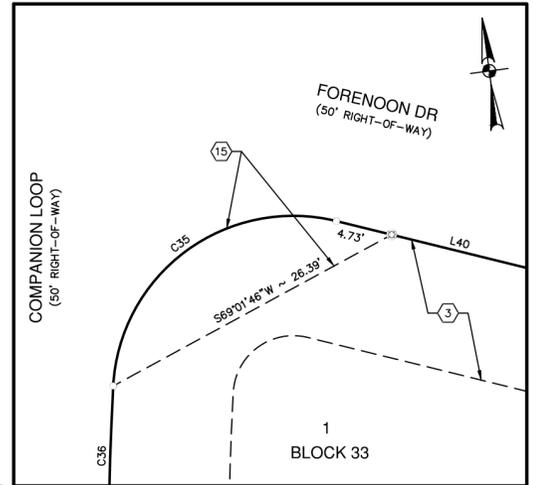
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPFS FIRM REGISTRATION #10028800
DATE OF PREPARATION: July 8, 2020



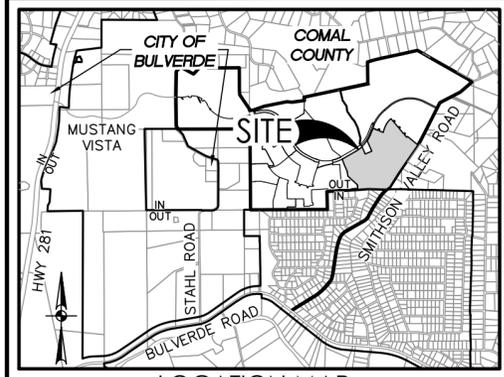
MARIA JAMISON
SURVEY NUMBER 697
ABSTRACT 298



DETAIL "F"
SCALE: 1" = 10'
SEE SHEET 2 OF 6



DETAIL "E"
SCALE: 1" = 10'
SEE SHEET 2 OF 6

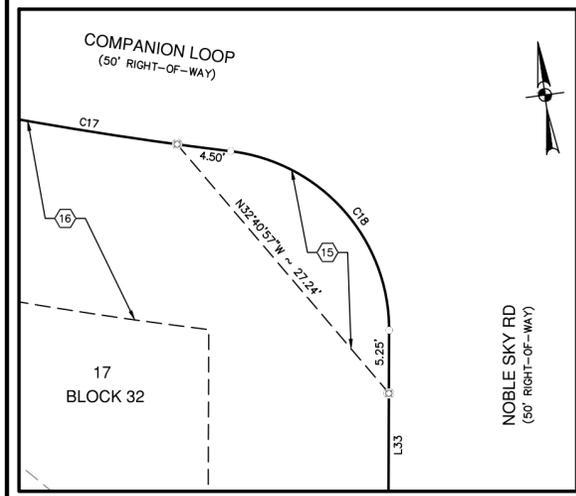
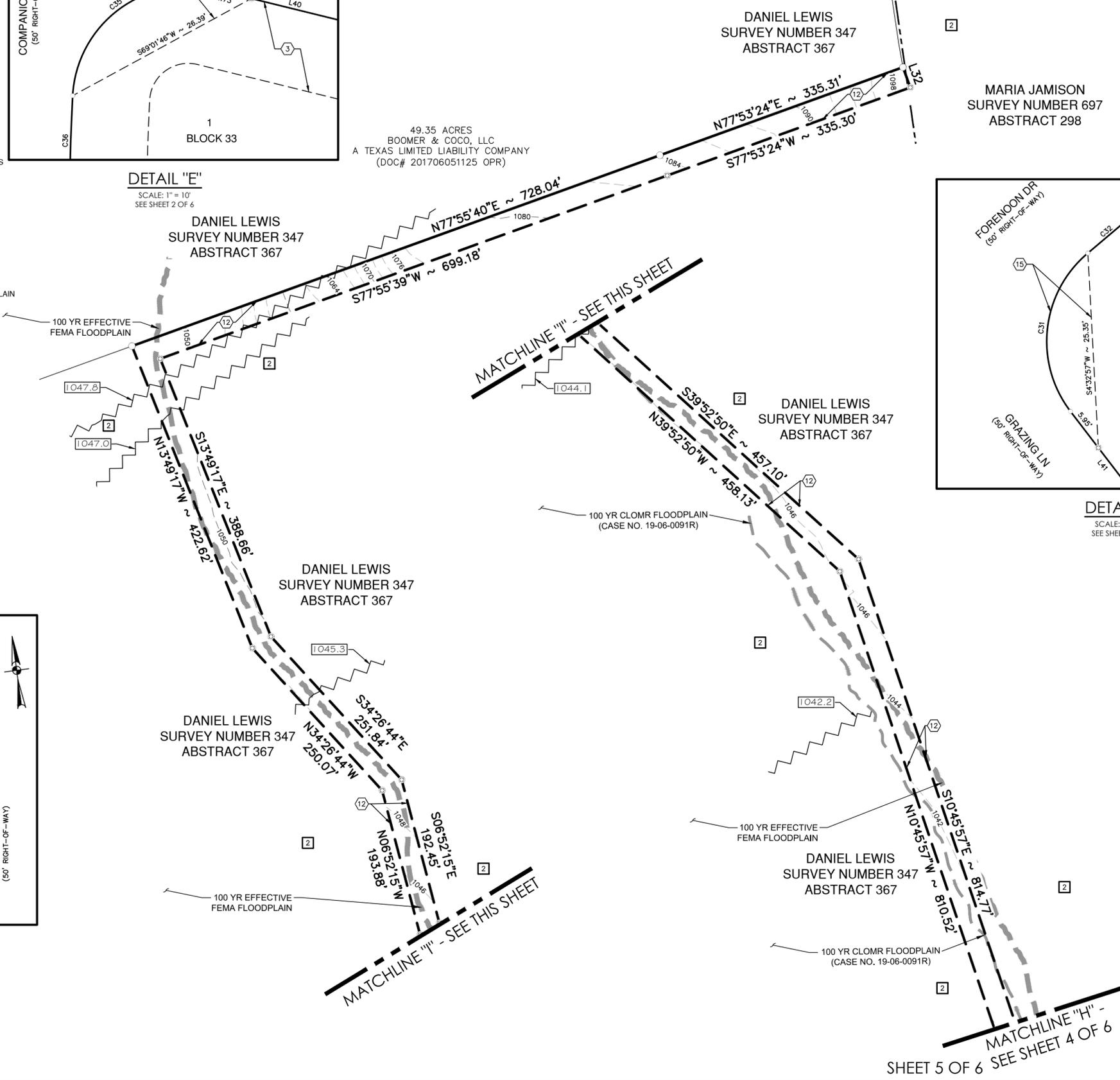


LOCATION MAP
NOT-TO-SCALE

LEGEND

- | | | | |
|----------|---|---|---|
| DOC | DOCUMENT NUMBER | • | REPETITIVE BEARING AND/OR DISTANCE FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | ● | SET 1/2" IRON ROD (PD) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD)-ROW |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | ⊠ | EASEMENT P.I. POINT |
| VOL | VOLUME | — | WATER SURFACE ELEVATION |
| PG | PAGE(S) | — | HYDRAULIC CROSS SECTION |
| VAR WID | VARIABLE WIDTH | | |
| — 1140 — | EXISTING CONTOURS | | |
| — 1140 — | PROPOSED CONTOURS | | |
| — — — | ORIGINAL SURVEY/COUNTY LINE | | |
| — — — | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN | | |
| — — — | 100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R) | | |
| — — — | CENTERLINE | | |
| ③ | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ② | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) |
| ⑫ | 28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (2.419 TOTAL ACRES OFF-LOT) | | |
| ⑮ | VARIABLE WIDTH SANITARY SEWER EASEMENT | | |
| ⑯ | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | | |

49.35 ACRES
BOOMER & COCO, LLC
A TEXAS LIMITED LIABILITY COMPANY
(DOC# 201706051125 OPR)

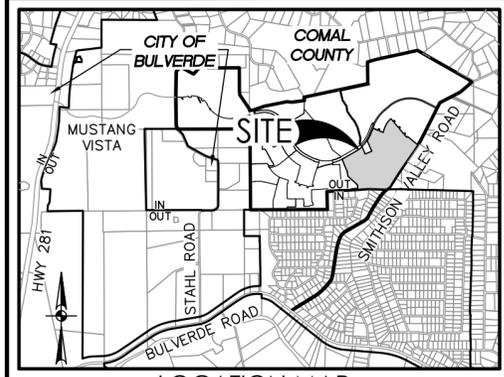


DETAIL "D"
SCALE: 1" = 10'
SEE SHEET 2 OF 6

MATCHLINE "H" -
SEE SHEET 4 OF 6
SHEET 5 OF 6

**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 7C**

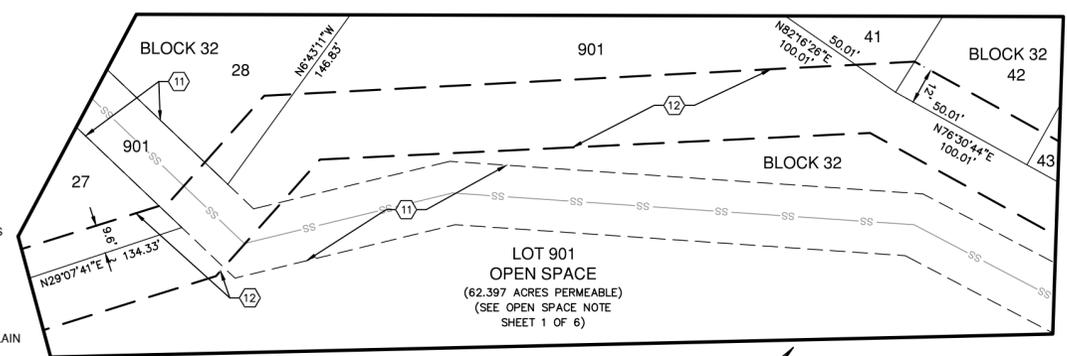
A 94.212 ACRE TRACT OF LAND INCLUSIVE OF A 1.236 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE DANIEL LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE MARIA JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE JOHN BYLAND SURVEY NUMBER 438, ABSTRACT 50, IN COMAL COUNTY, TEXAS.



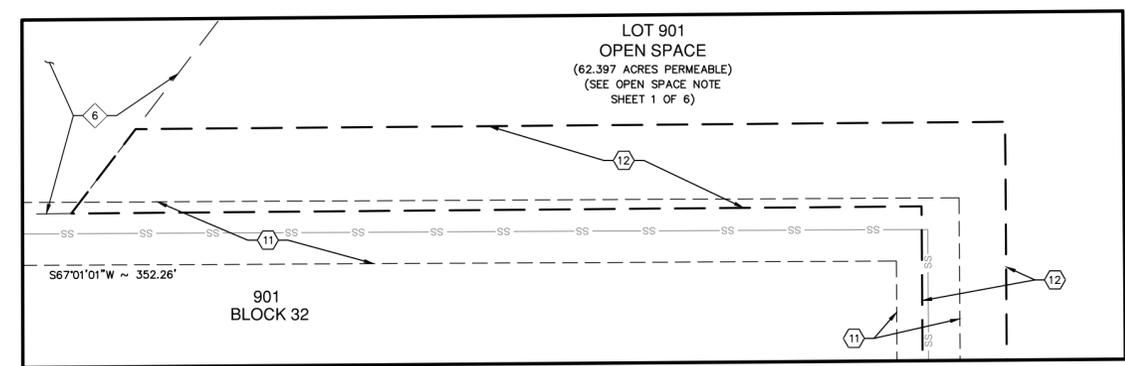
LOCATION MAP
 NOT-TO-SCALE

LEGEND

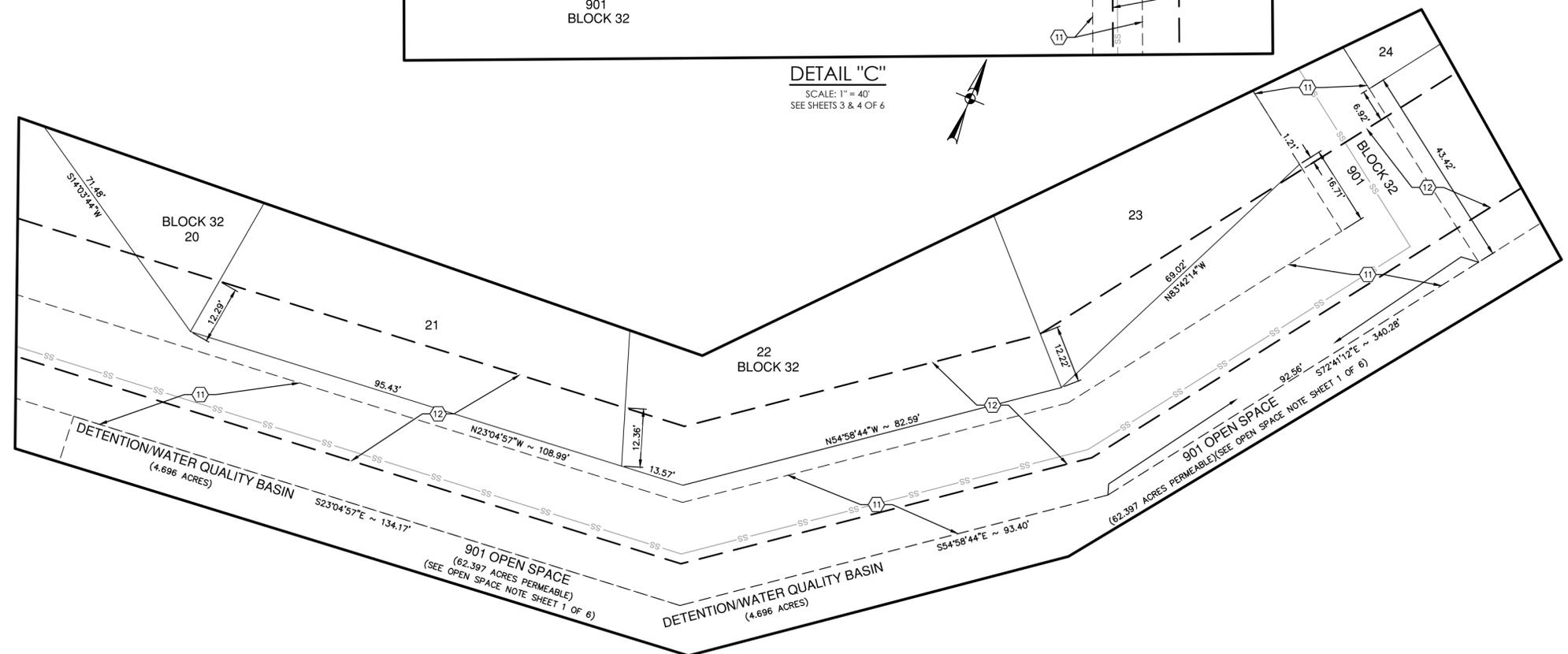
DOC	DOCUMENT NUMBER	VOL	VOLUME
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION	PG	PAGE(S)
MPR	MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS	VAR WID	VARIABLE WIDTH
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS	-	REPETITIVE BEARING AND/OR DISTANCE
---	1140 EXISTING CONTOURS	●	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
---	1140 PROPOSED CONTOURS	○	SET 1/2" IRON ROD (PD)
---	ORIGINAL SURVEY/COUNTY LINE	○	SET 1/2" IRON ROD (PD)-ROW
---	EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN	⊠	EASEMENT P.I. POINT
---	100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R)		
SS	SANITARY SEWER LINE		
CL	CENTERLINE		
11	21' SANITARY SEWER EASEMENT	◇	VARIABLE WIDTH ELECTRIC, TELEPHONE, CABLE AND TV EASEMENT (DOC# 201806003527 OPR)
12	28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (2.419 TOTAL ACRES OFF-LOT)	◇	20' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)
19	VARIABLE WIDTH ELECTRIC EASEMENT (0.157 TOTAL ACRES OFF-LOT)	◇	10' WATER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR)
		◇	22' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)
		◇	VARIABLE WIDTH SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR)



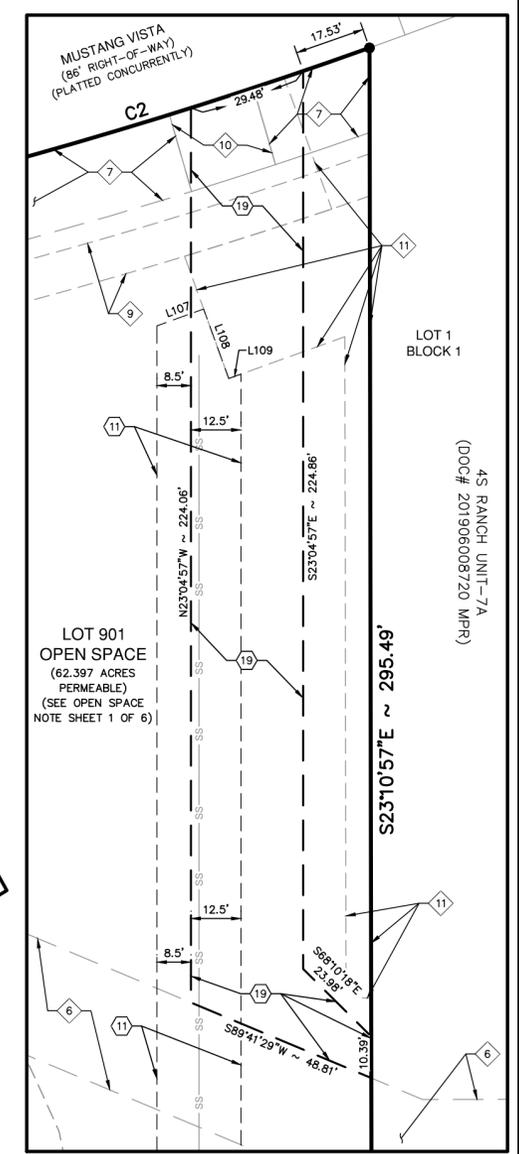
DETAIL "B"
 SCALE: 1" = 40'
 SEE SHEETS 2 & 3 OF 6



DETAIL "C"
 SCALE: 1" = 40'
 SEE SHEETS 3 & 4 OF 6



DETAIL "G"
 SCALE: 1" = 20'
 SEE SHEET 3 OF 6



DETAIL "H"
 SCALE: 1" = 30'
 SEE SHEET 4 OF 6

REVIEW MEMORANDUM

TO: Bruna Spengler, P.E., CFM
BSpengler@pape-dawson.com
 Pape-Dawson Engineering, Inc.
 2000 NW Loop 410
 San Antonio, TX 78213

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

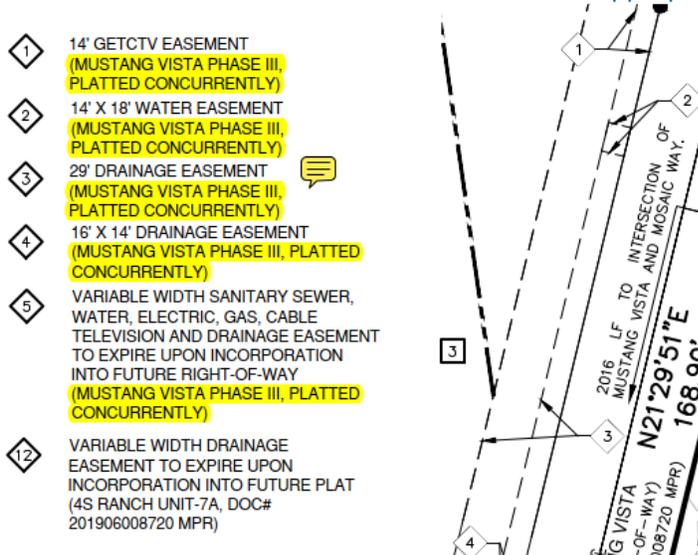
SUBJECT: 4S Ranch, Unit 7C Final Plat Acceptance
 PC-20-08

DATE: July 9, 2020

Halff Associates, on behalf of the City of Bulverde, has performed a review on the Final Plat application and supporting documents for the **4S Ranch, Unit 7C** development, dated 7/8/2020. The review was conducted relative to the requirements established in the Subdivision Ordinance of the City of Bulverde AND the Development Agreement dated December 31, 2014 (between the City of Bulverde and STAHL LANE, LTD.). The following items were reviewed, with resolved items noted in blue. Based on our review of the referenced documents, Halff Associates has no further comments and recommends approval of the 4S Ranch Unit 7C Final Plat at the next available Planning & Zoning meeting.

Plat specifications, Ordinance Section 1.05(b)

- Legend on several sheets refers to Mustang Vista Phase 3 being platted concurrently. This plat was recommended for approval on June 28, 2019. Please include the Doc # similar to other easements in the legend. – *Comment withdrawn...although already accepted by P&Z, the Mustang Vista Phase III plat has not yet been recorded. No document number is available and the 'PLATTED CONCURRENTLY' text is still appropriate.*





July 8, 2020

Mr. Sam Edwards, P.E., CFM
Halff Associates, Inc.
100 NE Loop 410, Suite 200
San Antonio, Texas 78216

Re: 4S Ranch, Unit 7C
Final Plat Review

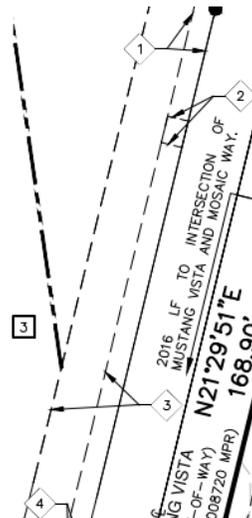
Dear Mr. Edwards:

This letter serves as a response to the Halff Associates Final Plat Review comments dated 07/06/2020 regarding the 4S Ranch, Unit 7C plat. The original comment letter is attached for your reference as well as a copy of the plat.

Plat Specifications, Ordinance Section 1.05(b)

- 1. Legend on several sheets refers to Mustang Vista Phase 3 being platted concurrently. This plat was recommended for approval on June 28, 2019. Please include the Doc # similar to other easements in the legend.

- 1 14' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)
- 2 14' X 18' WATER EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)
- 3 29' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)
- 4 16' X 14' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)
- 5 VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE RIGHT-OF-WAY (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)
- 12 VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (4S RANCH UNIT-7A, DOC# 201906008720 MPR)



Response: Please note that although accepted by P&Z, the Mustang Vista Phase III plat has not yet been recorded. Therefore, no document number is available for the plat. The 'PLATTED CONCURRENTLY' text is to be replaced upon recordation of the plat.

TBPE Firm Registration #470 | TBPLS Firm Registration #10028800

San Antonio | Austin | Houston | Fort Worth | Dallas

Transportation | Water Resources | Land Development | Surveying | Environmental

2000 NW Loop 410, San Antonio, TX 78213 T: 210.375.9000 www.Pape-Dawson.com

Mr. Sam Edwards, P.E., CFM
4S Ranch, Unit 7C
July 8, 2020
Page 2 of 2

Your prompt attention to this submittal is greatly appreciated. Please do not hesitate to contact our office if you have further questions or require additional information.

Sincerely,
Pape-Dawson Engineers, Inc.



Bruna Spengler, P.E., CFM
Senior Project Manager

Attachments

P:\85\47\47\Word\Letter\Comment Response\200706 Final Plat Review Comment Response.docx



PLANNING AND ZONING COMMISSION ITEM:
PC-20-09
PRELIMINARY PLAT
4S RANCH, UNIT 8A

MEETING DATE: July 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:

Consideration of a Preliminary Plat for 4S Ranch, Unit 8A, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.

APPLICANT:

Lennar Homes of Texas Land and Construction, LTD
1922 Dry Creek Way, Ste. 101
San Antonio, TX 78259

PROPERTY INFORMATION:

Owner: Lennar Homes of Texas Land and Construction, LTD
Legal Description: 67.770 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE F.W. FOERSTR SURVEY NUMBER 850 ABSTRACT 879 IN COMAL COUNTY.

Size: 67.770 acres; 67 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed preliminary plat for Unit 8A of the 4S Ranch development, for which a Development Agreement was approved in 2014 and Master Development Plan (MDP) subsequently approved in 2015.

This proposed Preliminary Plat is for approximately 67.770 acres of vacant property and establishes 67 single family residential lots. The density class for this plat is High Density.

ANALYSIS:

The proposed subdivision lies completely outside the City Limits. Water service will be provided by the Canyon Lake Water Service Company. Sewer Service will be provided by the Guadalupe Blanco River Authority. Electric Service will be provided by CPS Energy

With approval of the Preliminary Plat, the developer will continue with the design of the subdivision phase. During design, some minor changes to the plat may occur to avoid conflicts, reduce slopes, etc. by slightly altering the roadway alignment. Such minor changes, provided they do not substantially deviate from the Preliminary Plat, will be incorporated into the Final Plat. The Planning and Zoning Commission will also review and approve the Final Plat. If there is a substantial deviation from the Preliminary Plat, then the developer will be required to submit a new Preliminary Plat for review and approval.

Halff Associates and the City of Bulverde Planning Department have reviewed the proposed preliminary plat and related required documents.

Therefore, Staff recommends **APPROVAL** of this Preliminary Plat.

ATTACHMENTS:

Application
Preliminary Plat
Comment Letter



APPLICATION FOR PRELIMINARY PLAT

Planning & Development Department
 30360 Cougar Bend, Bulverde, TX 78163
 Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

1. Name of Subdivision: 4S Ranch Unit No 8A
 Location Description/Nearest Intersection: Approximately 1.7 miles Southeast of Mustang Vista/Stalh Lane intersection

2. Owner/Applicant: Lennar Homes of Texas Land and Construction, LTD
 Address: 1992 Dry Creek Way, Suite 101, San Antonio, TX 78259 Email: richard.mott@lennar.com
 Telephone: (210) 889-5516 Fax: _____ Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): Pape-Dawson Engineers, Inc.
 Address: 2000 NW Loop 410, San Antonio, TX 78213 Email: bspengler@pape-dawson.com
 Telephone: (210) 375-9000 Fax: (210) 375-9010 Mobile: _____

4. Property Details:

City Limits:	<input type="checkbox"/> In <input checked="" type="checkbox"/> Out (ETJ)	Water Source:	<u>CLWSC</u>
Commercial:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Sewage Treatment:	<u>GBRA</u>
Residential:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TxDOT Frontage:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
No. of Lots:	<u>67</u>	100-Year Floodplain:	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Total Acreage without floodplain:	<u>67.773</u>	Edwards Aquifer Zone:	<input type="checkbox"/> Recharge
Density Class:	<u>High</u>		<input checked="" type="checkbox"/> Contributing
Zoning Class:	<u>Single Family</u>		

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.

DocuSigned by:


 Signature of Owner/Applicant

6/15/2020

 Date

Fees on Page 2

Fees:**Preliminary Plats**

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
 \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 – (0-5 acres)
 \$2500 + \$10/lot – (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
 \$2500 + \$10/acre (5+ acres)

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



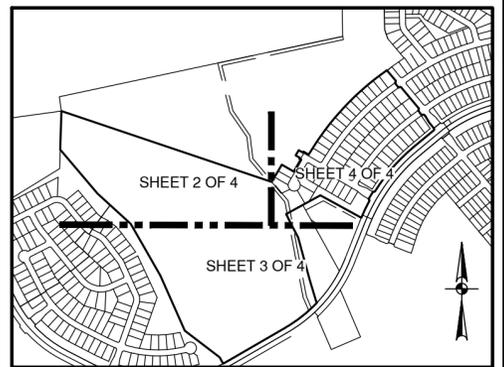
Planning and Development Preliminary Plat Application Checklist

ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW

- 2 Copies of the Preliminary Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
- 2 copies of the Utility Layout showing all proposed utilities and easements
- 2 copies of the Traffic Impact Analysis
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Drainage Study
- 2 copies of the Water Study and Water Supply Certification as applicable
- 2 copies of the Sewer Study as applicable
- 2 copies of the Environmental Assessment
- Certification by all utilities and that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - Electric Utility
 - Gas Utility
 - Public Water System
 - Telephone Utility
 - Cable TV Utility
 - TxDOT
 - TCEQ
 - Other agencies or entities having jurisdiction
- Evidence that the applicant has submitted the information required above to the utilities and entities described above
- Variance Requests (if any)
- Original Tax Certificates
 - City
 - County
 - School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat
- Other applicable legal documents including deed restrictions, homeowner's association documents, etc.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: June 10, 2020

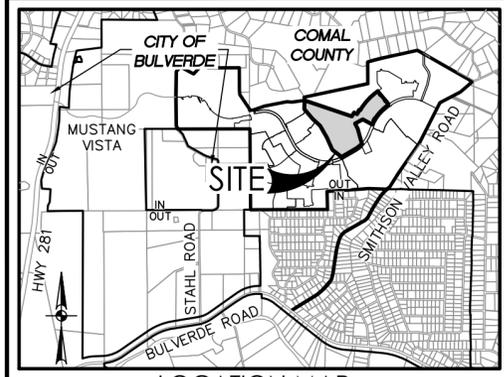


INDEX MAP
SCALE: 1"=1000'

SUBDIVISION PLAT OF 4S RANCH, UNIT 8A

A 67.770 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M. JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE F.W. FOERSTER SURVEY NUMBER 850, ABSTRACT 879 IN COMAL COUNTY, TEXAS.

DETENTION AND RETENTION FACILITIES NOTE:
THE 100-YEAR WATER SURFACE ELEVATION IN THE STORAGE AREAS SHALL BE AT LEAST TWO FEET BELOW THE LOWEST FINISHED FLOOR ELEVATION IN THE AREAS TRIBUTARY TO THE STORMWATER DETENTION AND RETENTION FACILITIES.
OPEN SPACE NOTE:
LOT 901, BLOCK 41, AND LOTS 902, BLOCK 40 ARE DESIGNATED AS OPEN SPACE AND AS A LANDSCAPE, DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT.
MINIMUM FINISHED FLOOR ELEVATION NOTE:
THE MAXIMUM WATER SURFACE ELEVATION DURING THE 100-YEAR STORM EVENT SHALL BE NO LESS THAN TWO FEET BELOW THE FINISHED FLOOR ELEVATION OF ADJACENT RESIDENTIAL DWELLING AND PUBLIC, COMMERCIAL, AND INDUSTRIAL BUILDINGS.



LOCATION MAP
NOT-TO-SCALE

C.P.S. NOTES:

- 1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE ENERGY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES; TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERETO, IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
- 2. ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
- 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
- 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY NEAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
- 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

GBRA NOTES:

- 1) GBRA (GUADALUPE-BLANCO RIVER AUTHORITY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
- 2) TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
- 3) OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN 10 FEET OF GBRA UTILITIES.
- 4) DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
- 5) MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 6) THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
- 7) CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

SURVEYOR'S NOTES:

- 1. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- 2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
- 3. DIMENSIONS SHOWN ARE SURFACE.
- 4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

MISCELLANEOUS NOTE:

- 1. FUTURE DEVELOPMENT IS SUBJECT TO THE CITY OF BULVERDE CODE OF ORDINANCES.
- 2. CONTOURS SHOWN ARE BASED OFF OF AN ON THE GROUND SURVEY. THE DATUM USED TO GENERATE THE CONTOURS IS THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
- 3. TOTAL LENGTH OF ROADWAY DEDICATION IN 4S RANCH UNIT-8A IS 2,743 LINEAR FEET.
- 4. 4S RANCH UNIT-8A LIES WITHIN THE CITY OF BULVERDE'S ETJ AND WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF BULVERDE PLANNING COMMISSION.

EUGENE H. DAWSON III
LICENSED PROFESSIONAL ENGINEER
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

STATE OF TEXAS
COUNTY OF BEXAR

I, THE UNDERSIGNED ERIC J SNELL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

ERIC J SNELL
REGISTERED PROFESSIONAL LAND SURVEYOR, #6527
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

THIS PLAT OF 4S RANCH, UNIT-8A HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF BULVERDE, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.
DATED THIS _____ DAY OF _____, YEAR _____

BY: _____
CHAIRPERSON

STATE OF TEXAS
COUNTY OF COMAL

NOTARY PUBLIC, BEXAR COUNTY, TEXAS
I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOC # _____ OF COMAL COUNTY ON THE _____ DAY OF _____, A.D. 20____, AT _____ M.

COUNTY CLERK, COMAL COUNTY, TEXAS

BY: _____, DEPUTY

LINE TABLE														
LINE #	BEARING	LENGTH												
L1	S59°49'11"E	115.00'	L16	N40°53'58"E	62.94'	L31	S29°53'04"E	38.78'	L46	S69°49'11"E	38.78'	L61	N35°39'38"E	63.41'
L2	N30°10'49"E	111.00'	L17	N42°30'07"E	62.92'	L32	S39°53'04"E	44.77'	L47	S59°49'11"E	44.77'	L62	N33°47'50"E	63.41'
L3	N59°49'11"W	10.00'	L18	N44°06'16"E	62.94'	L33	S30°10'49"W	70.00'	L48	N59°49'11"W	44.77'	L63	N33°07'20"E	58.71'
L4	N30°10'49"E	10.00'	L19	N45°42'26"E	62.94'	L34	S27°29'34"E	99.01'	L49	N49°49'11"W	38.78'	L64	N35°15'37"E	58.68'
L5	N59°49'11"W	40.00'	L20	N47°18'35"E	62.92'	L35	N28°49'43"W	60.40'	L50	S30°10'49"W	144.63'	L65	N37°23'49"E	58.64'
L6	N30°10'49"E	50.00'	L21	N48°54'45"E	62.94'	L36	N29°43'22"W	236.89'	L51	N30°10'49"E	207.08'	L66	N39°31'56"E	58.59'
L7	S59°49'11"E	40.00'	L22	N50°30'55"E	62.94'	L37	N31°52'19"E	50.23'	L52	N52°25'47"E	63.41'	L67	N41°39'57"E	58.54'
L8	N30°10'49"E	10.00'	L23	N52°07'05"E	62.94'	L38	N54°38'30"E	8.66'	L53	N50°34'00"E	63.41'	L68	N43°47'51"E	58.50'
L9	S59°49'11"E	50.03'	L24	N53°55'39"E	81.55'	L39	S54°38'30"W	8.66'	L54	N48°42'37"E	63.31'	L69	N45°55'38"E	58.44'
L10	N31°53'07"E	65.87'	L25	S39°53'04"E	110.24'	L40	S31°52'19"E	47.93'	L55	N46°50'09"E	63.51'	L70	N48°03'18"E	58.38'
L11	N32°53'10"E	62.93'	L26	S35°21'30"E	50.00'	L41	N31°52'19"E	41.37'	L56	N44°58'37"E	63.41'	L71	N49°52'53"E	58.32'
L12	N34°29'35"E	63.11'	L27	N54°38'30"E	6.17'	L42	N54°38'30"E	32.40'	L57	N43°06'49"E	63.41'	L72	S34°31'10"E	131.19'
L13	N36°05'29"E	62.75'	L28	S35°21'30"E	50.00'	L43	S54°38'30"W	32.40'	L58	N41°15'01"E	63.41'	L73	N59°49'11"W	21.00'
L14	N37°41'37"E	62.93'	L29	N54°38'30"E	6.17'	L44	S31°52'19"W	39.07'	L59	N39°23'13"E	63.41'	L74	N58°59'55"W	125.64'
L15	N39°17'47"E	62.95'	L30	S39°53'04"E	12.50'	L45	S59°49'11"E	8.65'	L60	N37°31'25"E	63.41'			

CURVE TABLE						CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH	CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	4.00'	90°00'00"	N14°49'11"W	5.66'	6.28'	C16	2125.00'	22°46'11"	N43°15'25"E	838.95'	844.49'
C2	14.00'	94°31'34"	S72°24'3"W	20.57'	23.10'	C17	2075.00'	22°46'11"	S43°15'25"W	819.21'	824.62'
C3	14.00'	85°28'26"	S82°37'17"E	19.00'	20.89'	C18	14.00'	91°41'30"	S13°58'26"E	20.09'	22.40'
C4	14.00'	94°31'34"	S72°24'3"W	20.57'	23.10'	C19	14.00'	88°18'30"	N76°01'34"E	19.50'	21.58'
C5	14.00'	85°28'26"	S82°37'17"E	19.00'	20.89'	C20	1825.00'	22°46'11"	N43°15'25"E	720.51'	725.27'
C6	15.00'	10°00'00"	S34°53'04"E	2.61'	2.62'	C21	1775.00'	22°46'11"	S43°15'25"W	700.77'	705.40'
C7	200.00'	10°00'00"	S34°53'04"E	34.86'	34.91'	C22	14.00'	91°41'30"	S13°58'26"E	20.09'	22.40'
C8	13.00'	90°00'00"	S5°06'56"W	18.38'	20.42'	C23	15.00'	10°00'00"	S64°49'11"E	2.61'	2.62'
C9	1543.00'	18°10'03"	S41°01'54"W	487.21'	489.26'	C24	200.00'	10°00'00"	S64°49'11"E	34.86'	34.91'
C10	13.00'	88°13'52"	S76°03'48"W	18.10'	20.02'	C25	200.00'	10°00'00"	N54°49'11"W	34.86'	34.91'
C11	13.00'	88°13'52"	N15°42'11"W	18.10'	20.02'	C26	15.00'	10°00'00"	N54°49'11"W	2.61'	2.62'
C12	1543.00'	5°42'51"	S25°33'20"W	153.82'	153.88'	C27	14.00'	90°00'00"	S75°10'49"W	19.80'	21.99'
C13	1157.00'	16°22'07"	S51°39'45"W	329.42'	330.54'	C28	14.00'	77°21'52"	S8°30'07"E	17.50'	18.90'
C14	1157.00'	2°05'14"	S60°53'26"W	42.14'	42.15'	C29	50.00'	257°21'52"	S81°29'53"W	78.06'	224.59'
C15	14.00'	88°18'30"	N76°01'34"E	19.50'	21.58'	C30	14.00'	90°00'00"	N14°49'11"W	19.80'	21.99'



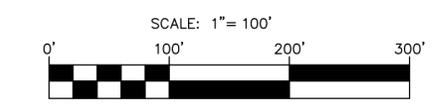
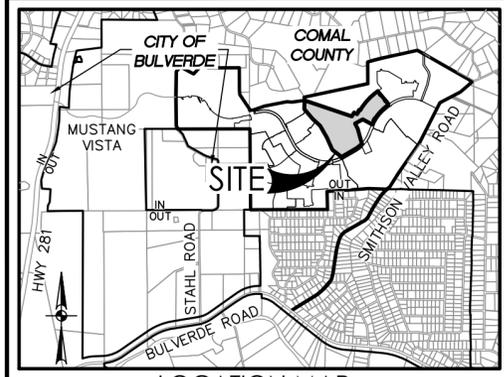
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
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TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: June 10, 2020

SUBDIVISION PLAT OF 4S RANCH, UNIT 8A

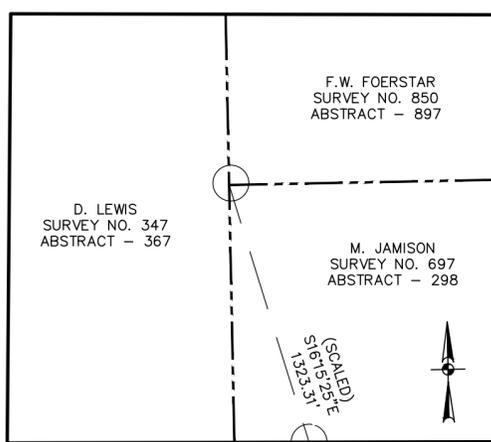
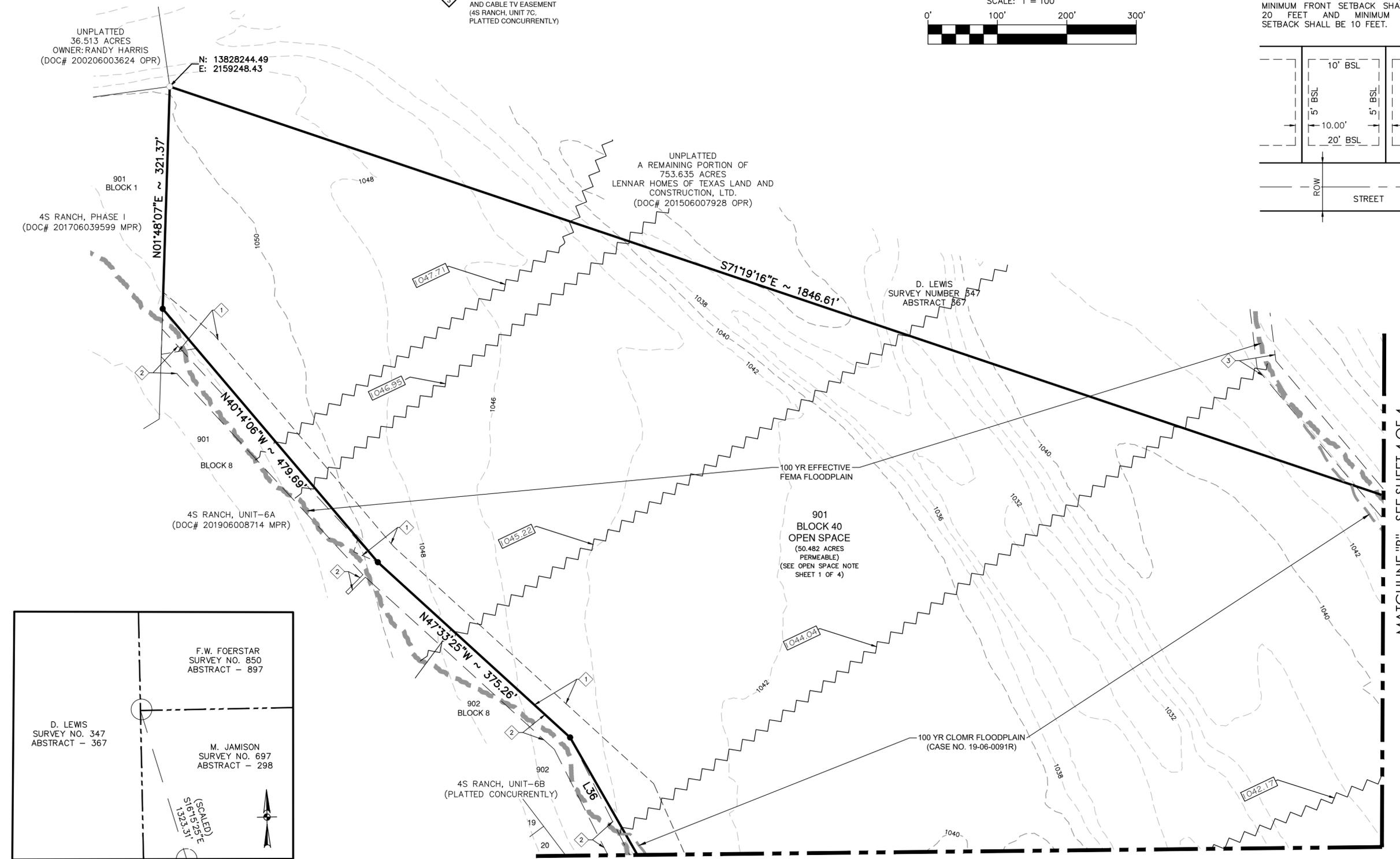
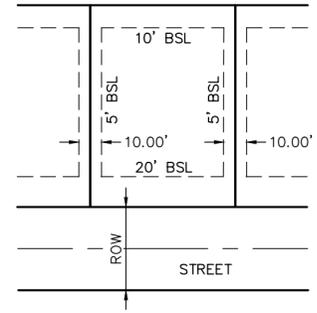
A 67.770 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M. JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE F.W. FOERSTER SURVEY NUMBER 850, ABSTRACT 879 IN COMAL COUNTY, TEXAS.

LEGEND

- AC ACRE(S)
- DOC DOCUMENT NUMBER
- ESMT EASEMENT
- OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS
- MPR MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS
- VAR WID VARIABLE WIDTH
- VOL VOLUME
- PG PAGE(S)
- 1140 EXISTING CONTOURS
- 1140 PROPOSED CONTOURS
- ℄ CENTERLINE
- ORIGINAL SURVEY/COUNTY LINE
- REPETITIVE BEARING AND/OR DISTANCE
- FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
- SET 1/2" IRON ROD (PD)
- SET 1/2" IRON ROD (PD)-ROW
- EASEMENT POINT OF INTERSECTION
- WATER SURFACE ELEVATION
- HYDRAULIC CROSS SECTION
- MINIMUM FINISHED FLOOR ELEVATION
- VARIABLE WIDTH SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR)
- VARIABLE WIDTH ELECTRIC, TELEPHONE, AND CABLE AND TV EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR)
- 28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH, UNIT 7C, PLATTED CONCURRENTLY)



TYPICAL BUILDING SET-BACKS
FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



DETAIL "A"
SCALE: 1" = 20'

PROP 4S RANCH UNIT-8A

MATCHLINE "A" - SEE SHEET 3 OF 4

SHEET 2 OF 4

MATCHLINE "B" - SEE SHEET 4 OF 4



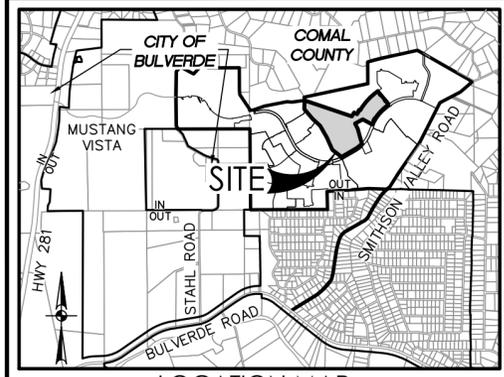
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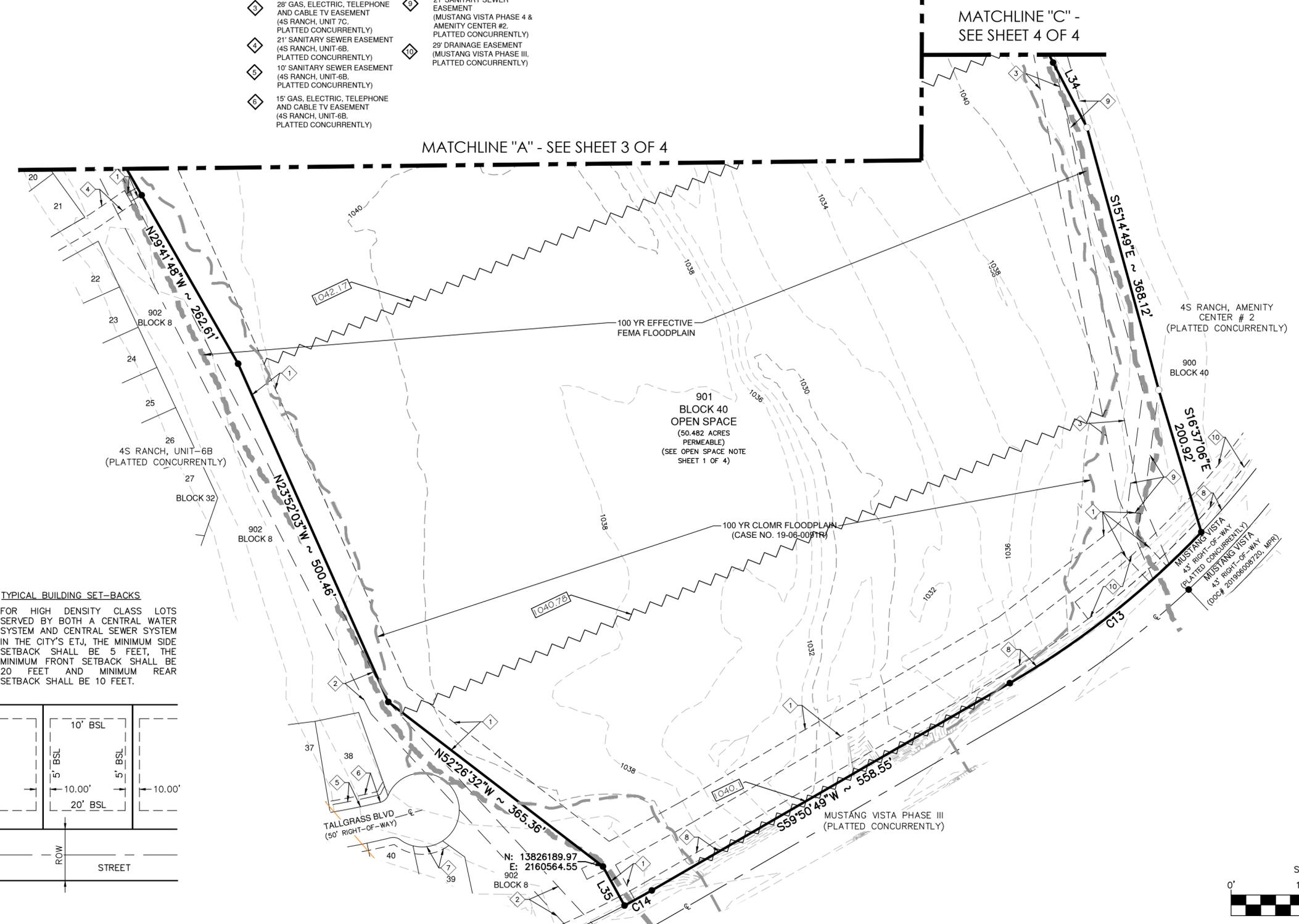
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LEGEND

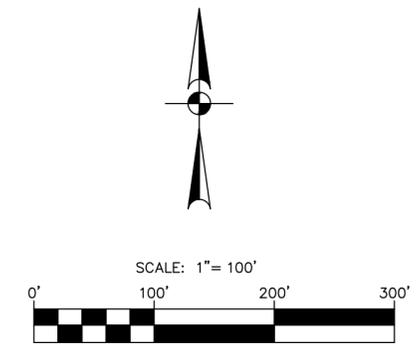
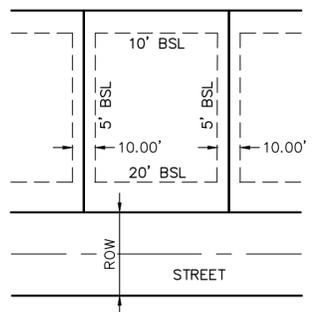
- | | | | |
|---------|---|---|--|
| AC | ACRE(S) | • | REPETITIVE BEARING AND/OR DISTANCE |
| DOC | DOCUMENT NUMBER | ● | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| ESMT | EASEMENT | ○ | SET 1/2" IRON ROD (PD) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD)-ROW |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | ⊕ | EASEMENT POINT OF INTERSECTION |
| VAR WID | VARIABLE WIDTH | — | WATER SURFACE ELEVATION |
| VOL | VOLUME | — | HYDRAULIC CROSS SECTION |
| PG | PAGE(S) | — | MINIMUM FINISHED FLOOR ELEVATION |
| — 1140 | EXISTING CONTOURS | — | |
| — 1140 | PROPOSED CONTOURS | — | |
| — | CENTERLINE | — | |
| — | ORIGINAL SURVEY/COUNTY LINE | — | |
-
- | | | | |
|---|---|----|--|
| 1 | VARIABLE WIDTH SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) | 7 | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH, UNIT-6B PLATTED CONCURRENTLY) |
| 2 | VARIABLE WIDTH ELECTRIC, TELEPHONE, AND CABLE AND TV EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) | 8 | 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 3 | 28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH, UNIT-7C, PLATTED CONCURRENTLY) | 9 | 21' SANITARY SEWER EASEMENT (MUSTANG VISTA PHASE 4 & AMENITY CENTER #2, PLATTED CONCURRENTLY) |
| 4 | 21' SANITARY SEWER EASEMENT (4S RANCH, UNIT-6B, PLATTED CONCURRENTLY) | 10 | 29' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 5 | 10' SANITARY SEWER EASEMENT (4S RANCH, UNIT-6B, PLATTED CONCURRENTLY) | | |
| 6 | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH, UNIT-6B, PLATTED CONCURRENTLY) | | |



LOCATION MAP
NOT-TO-SCALE



TYPICAL BUILDING SET-BACKS
FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



REVIEW MEMORANDUM

TO: Bruna Spengler, P.E., CFM
BSpengler@pape-dawson.com
Pape-Dawson Engineering, Inc.
2000 NW Loop 410
San Antonio, TX 78213

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: 4S Ranch, Unit 8A Prelim Plat Acceptance
PC-20-09

DATE: July 9, 2020

Half Associates, on behalf of the City of Bulverde, has performed a review on the preliminary plat application and supporting documents for the **4S Ranch, Unit 8A** development, dated 7/10/2020. The review was conducted relative to the requirements established in the Subdivision Ordinance of the City of Bulverde AND the Development Agreement dated December 31, 2014 (between the City of Bulverde and STAHL LANE, LTD.). The following items were reviewed, with resolved items noted in blue. Based on our review of the referenced documents, Half Associates has no further comments and recommends approval of the 4S Ranch Unit 8A Preliminary Plat at the next available Planning & Zoning meeting.

Plat specifications, Ordinance Section 1.05(b)

1. Legend on several sheets indicates “platted concurrently” for several easements in various units.
Unit 6B final plat was recommended for approval on November 22, 2019
Mustang Vista Phase 3 final plat was recommended for approval on June 28, 2019
Please provide Doc #'s for all recorded plats – [Comment withdrawn...although already accepted by P&Z, the Mustang Vista Phase III plat has not yet been recorded. No document number is available and the 'PLATTED CONCURRENTLY' text is still appropriate.](#)

Plat Supporting Documents, Ordinance Section 1.04(c) – no comments, sufficient documentation provided.

Drainage Analysis – approved...see memo dated 4/10/20



PLANNING AND ZONING COMMISSION ITEM:
PC-20-10
PRELIMINARY PLAT
4S RANCH, UNIT 9A

MEETING DATE: July 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:

Consideration of a Preliminary Plat for 4S Ranch, Unit 9A, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.

APPLICANT:

Lennar Homes of Texas Land and Construction, LTD
1922 Dry Creek Way, Ste. 101
San Antonio, TX 78259

PROPERTY INFORMATION:

Owner: Lennar Homes of Texas Land and Construction, LTD
Legal Description: 39.973 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE F.W. FOERSTR SURVEY NUMBER 850 ABSTRACT 879 IN COMAL COUNTY.

Size: 39.973 acres; 109 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed preliminary plat for Unit 9A of the 4S Ranch development, for which a Development Agreement was approved in 2014 and Master Development Plan (MDP) subsequently approved in 2015.

This proposed Preliminary Plat is for approximately 39.973 acres of vacant property and establishes 109 single family residential lots. The density class for this plat is High Density.

ANALYSIS:

The proposed subdivision lies completely outside the City Limits. Water service will be provided by the Canyon Lake Water Service Company. Sewer Service will be provided by the Guadalupe Blanco River Authority. Electric Service will be provided by CPS Energy

With approval of the Preliminary Plat, the developer will continue with the design of the subdivision phase. During design, some minor changes to the plat may occur to avoid conflicts, reduce slopes, etc. by slightly altering the roadway alignment. Such minor changes, provided they do not substantially deviate from the Preliminary Plat, will be incorporated into the Final Plat. The Planning and Zoning Commission will also review and approve the Final Plat. If there is a substantial deviation from the Preliminary Plat, then the developer will be required to submit a new Preliminary Plat for review and approval.

Halff Associates and the City of Bulverde Planning Department have reviewed the proposed preliminary plat and related required documents.

Therefore, Staff recommends **APPROVAL** of this Preliminary Plat.

ATTACHMENTS:

Application
Preliminary Plat
Comment Letter



APPLICATION FOR PRELIMINARY PLAT

Planning & Development Department
 30360 Cougar Bend, Bulverde, TX 78163
 Telephone: 830-438-3612 - Fax. 830-438-4339

www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

1. Name of Subdivision: 4S Ranch Unit No 9A
 Location Description/Nearest Intersection: Approximately 2.0 miles Southeast of Mustang Vista/Stalh Lane intersection

2. Owner/Applicant: Lennar Homes of Texas Land and Construction, LTD
 Address: 1992 Dry Creek Way, Suite 101, San Antonio, TX 78259 Email: richard.mott@lennar.com
 Telephone: (210) 889-5516 Fax: _____ Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): Pape-Dawson Engineers, Inc.
 Address: 2000 NW Loop 410, San Antonio, TX 78213 Email: bspengler@pape-dawson.com
 Telephone: (210) 375-9000 Fax: (210) 375-9010 Mobile: _____

4. Property Details:

City Limits:	<input type="checkbox"/> In <input checked="" type="checkbox"/> Out (ETJ)	Water Source:	<u>CLWSC</u>
Commercial:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Sewage Treatment:	<u>GBRA</u>
Residential:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TxDOT Frontage:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
No. of Lots:	<u>109</u>	100-Year Floodplain:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Total Acreage without floodplain:	<u>25.19</u>	Edwards Aquifer Zone:	<input type="checkbox"/> Recharge
Density Class:	<u>High</u>		<input checked="" type="checkbox"/> Contributing
Zoning Class:	<u>Single-Family</u>		

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.

[Signature]
 Signature of Owner/Applicant

2/20/2020
 Date

Fees on Page 2

Fees:

Preliminary Plats

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
- \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 – (0-5 acres)
- \$2500 + \$10/lot – (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
- \$2500 + \$10/acre (5+ acres)

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



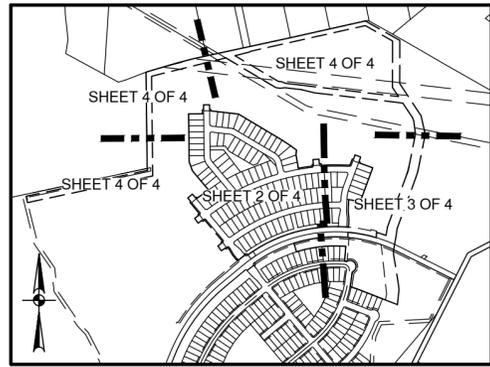
Planning and Development Preliminary Plat Application Checklist

**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Preliminary Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
- 2 copies of the Utility Layout showing all proposed utilities and easements
- 2 copies of the Traffic Impact Analysis
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Drainage Study
- 2 copies of the Water Study and Water Supply Certification as applicable
- 2 copies of the Sewer Study as applicable
- 2 copies of the Environmental Assessment
- Certification by all utilities and that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - Electric Utility
 - Gas Utility
 - Public Water System
 - Telephone Utility
 - Cable TV Utility
 - TxDOT
 - TCEQ
 - Other agencies or entities having jurisdiction
- Evidence that the applicant has submitted the information required above to the utilities and entities described above
- Variance Requests (if any)
- Original Tax Certificates
 - City
 - County
 - School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat
- Other applicable legal documents including deed restrictions, homeowner's association documents, etc.



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2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: July 8, 2020

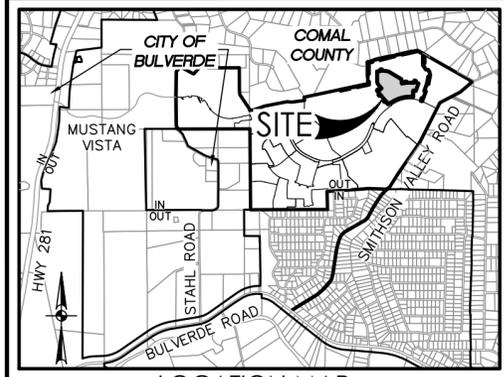


INDEX MAP
SCALE: 1"= 1000'

SUBDIVISION PLAT OF 4S RANCH, UNIT 9A

A 39.973 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M. JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE F.W. FOERSTER SURVEY NUMBER 850, ABSTRACT 879 IN COMAL COUNTY, TEXAS.

DETENTION AND RETENTION FACILITIES NOTE:
THE 100-YEAR WATER SURFACE ELEVATION IN THE STORAGE AREAS SHALL BE AT LEAST TWO FEET BELOW THE LOWEST FINISHED FLOOR ELEVATION IN THE AREAS TRIBUTARY TO THE STORMWATER DETENTION AND RETENTION FACILITIES.
OPEN SPACE NOTE:
LOT 901, BLOCK 42, LOTS 901, 902, BLOCK 47, AND LOT 901, BLOCK 51 ARE DESIGNATED AS OPEN SPACE AND AS A LANDSCAPE, DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT.
MINIMUM FINISHED FLOOR ELEVATION NOTE:
THE MAXIMUM WATER SURFACE ELEVATION DURING THE 100-YEAR STORM EVENT SHALL BE NO LESS THAN TWO FEET BELOW THE FINISHED FLOOR ELEVATION OF ADJACENT RESIDENTIAL DWELLING AND PUBLIC, COMMERCIAL, AND INDUSTRIAL BUILDINGS.



LOCATION MAP
NOT-TO-SCALE

C.P.S. NOTES:

- 1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE ENERGY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERETO. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
- 2. ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
- 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
- 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY NEARBY UNDERGROUND ELECTRIC AND GAS FACILITIES.
- 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

GBRA NOTES:

- 1) GBRA (GUADALUPE-BLANCO RIVER AUTHORITY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
- 2) TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF THE FACILITIES AND APPURTENANCES.
- 3) OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN 10 FEET OF GBRA UTILITIES.
- 4) DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
- 5) MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 6) THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES. GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
- 7) CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

SURVEYOR'S NOTES:

- 1. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 3/4" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON" AFTER THE COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- 2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
- 3. DIMENSIONS SHOWN ARE SURFACE.
- 4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

MISCELLANEOUS NOTE:

- 1. FUTURE DEVELOPMENT IS SUBJECT TO THE CITY OF BULVERDE CODE OF ORDINANCES.
- 2. CONTOURS SHOWN ARE BASED OFF OF AN ON THE GROUND SURVEY. THE DATUM USED TO GENERATE THE CONTOURS IS THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
- 3. TOTAL LENGTH OF ROADWAY DEDICATION IN 4S RANCH UNIT-9A IS 5,321 LINEAR FEET.
- 4. 4S RANCH UNIT-9A LIES WITHIN THE CITY OF BULVERDE'S ETJ AND WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF BULVERDE PLANNING COMMISSION.

EUGENE H. DAWSON III
LICENSED PROFESSIONAL ENGINEER
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

STATE OF TEXAS
COUNTY OF BEXAR

I, THE UNDERSIGNED ERIC J. SNELL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

ERIC J. SNELL
REGISTERED PROFESSIONAL LAND SURVEYOR, #6527
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

LINE #	BEARING	LENGTH
L1	N89°21'50"E	115.00'
L2	N0°38'10"W	34.35'
L3	N89°21'50"E	10.00'
L4	N0°38'10"W	40.00'
L5	N89°21'50"E	50.00'
L6	S0°38'10"E	40.00'
L7	N89°21'50"E	10.00'
L8	S0°38'10"E	11.28'
L9	N50°7'38"W	10.00'
L10	N84°52'22"E	10.00'
L11	N50°7'38"W	40.00'
L12	N84°52'22"E	50.00'
L13	S50°7'38"E	40.00'
L14	N84°52'22"E	15.00'
L15	S50°7'38"E	14.02'
L16	S88°29'22"E	72.16'
L17	N20°08'42"E	52.67'
L18	S69°51'18"E	10.00'
L19	N20°08'42"E	27.66'
L20	S69°40'29"E	50.38'
L21	S20°08'42"W	28.58'
L22	S69°51'18"E	10.00'
L23	S20°08'42"W	10.00'
L24	S69°51'18"E	115.00'
L25	N80°21'20"W	97.73'
L26	S2°45'26"W	89.07'

LINE #	BEARING	LENGTH
L27	S71°4'34"E	31.34'
L28	S2°45'30"W	57.91'
L29	S51°27'37"W	70.02'
L30	N39°53'04"W	11.00'
L31	S50°06'56"W	10.00'
L32	N39°53'04"W	33.77'
L33	N29°53'04"W	38.78'
L34	N39°53'04"W	12.50'
L35	S54°38'30"W	16.17'
L36	N35°21'30"W	10.00'
L37	S54°38'30"W	22.40'
L38	N35°21'30"W	50.00'
L39	N54°38'30"E	22.40'
L40	N35°21'30"W	10.00'
L41	N54°38'30"E	10.00'
L42	S54°38'30"W	14.83'
L43	N35°21'30"W	10.00'
L44	N35°21'30"W	50.01'
L45	N35°23'44"W	10.00'
L46	N54°38'21"E	10.05'
L47	N39°53'04"W	116.28'
L48	N50°06'56"E	10.00'
L49	N39°53'04"W	40.00'
L50	N50°06'56"E	50.00'
L51	S39°53'04"E	40.79'
L52	N50°06'56"E	10.00'

LINE #	BEARING	LENGTH
L53	S39°53'04"E	10.00'
L54	N54°38'30"E	115.36'
L55	N19°56'25"W	79.39'
L56	N4°43'05"E	43.00'
L57	N3°22'23"E	44.10'
L58	N8°58'41"E	71.42'
L59	N33°30'02"W	90.39'
L60	N18°25'36"E	33.51'
L61	N13°09'38"E	30.42'
L62	S76°07'46"E	111.33'
L63	S83°57'58"W	41.00'
L64	N7°21'53"W	113.20'
L65	S23°08'39"E	28.58'
L66	N0°09'12"E	32.91'
L67	S63°54'09"W	20.24'
L68	S72°25'54"W	21.14'
L69	S0°38'07"E	24.85'
L70	N13°49'17"W	54.03'
L71	N83°21'13"W	25.90'
L72	N12°04'56"W	17.22'
L73	N21°13'32"W	30.23'
L74	N73°27'53"E	103.96'
L75	S8°36'38"E	10.21'
L76	S4°09'15"E	37.61'
L77	S70°40'23"E	41.00'
L78	S12°38'56"W	44.21'

LINE #	BEARING	LENGTH
L79	S18°16'54"W	44.21'
L80	S6°07'40"W	41.88'
L81	S5°45'33"W	84.37'
L82	N72°02'46"W	62.83'
L83	N7°36'06"E	64.86'
L84	N4°31'42"E	125.00'
L85	N17°17'14"W	75.01'
L86	S5°24'26"W	43.00'
L87	S39°53'04"E	112.46'
L88	N54°38'30"E	67.51'
L89	S0°38'10"E	34.35'
L90	S0°38'10"E	113.69'
L91	S14°57'39"E	76.33'
L92	S88°29'22"E	72.16'
L93	S2°45'26"W	95.84'
L94	S71°4'34"E	31.34'
L95	S2°45'26"W	44.79'
L96	N2°45'26"E	44.79'
L97	N12°45'26"E	31.34'
L98	N89°39'15"W	19.22'
L99	S54°38'30"W	37.59'
L100	S39°53'04"E	6.33'
L101	S49°53'04"E	38.78'
L102	S39°53'04"E	46.41'
L103	N39°53'04"W	44.77'
L104	N29°53'04"W	38.78'

LINE #	BEARING	LENGTH
L105	N39°53'04"W	12.50'
L106	S54°38'30"W	6.17'
L107	N39°53'04"W	106.28'
L108	S54°38'30"W	61.34'
L109	N88°29'22"W	45.86'
L110	N20°08'42"E	109.58'
L111	N2°45'26"E	17.07'
L112	S89°39'15"E	22.50'
L113	N54°38'30"E	43.76'
L114	S55°29'52"W	53.34'
L115	N57°26'29"E	53.57'
L116	S59°23'34"W	53.57'
L117	N61°20'40"E	53.57'
L118	S63°17'45"W	53.57'
L119	N65°14'51"E	53.57'
L120	N67°11'56"E	53.57'
L121	N69°09'01"E	53.57'
L122	N71°06'16"E	53.72'
L123	N76°56'21"E	49.68'
L124	N78°46'54"E	32.32'
L125	N80°35'45"E	28.43'
L126	N82°23'38"E	24.54'
L127	N84°10'39"E	20.64'
L128	N85°45'52"E	48.15'
L129	S64°45'59"W	45.22'
L130	N37°17'43"W	53.75'

LINE #	BEARING	LENGTH
L131	S89°50'31"W	51.75'
L132	S85°55'00"W	48.41'
L133	S83°35'33"W	49.45'
L134	S81°22'34"W	49.03'
L135	S79°10'08"W	49.03'
L136	S76°57'43"W	49.33'
L137	S73°08'57"W	49.03'
L138	S70°56'31"W	49.03'
L139	S68°44'06"W	49.03'
L140	S66°31'40"W	49.03'
L141	S64°19'15"W	49.03'
L142	S62°06'49"W	49.04'
L143	S59°54'23"W	49.04'
L144	S57°41'58"W	49.04'
L145	S55°29'32"W	49.04'
L146	S54°38'30"W	6.17'
L147	N14°57'39"W	76.33'
L148	S76°07'46"W	119.53'
L149	S83°21'13"E	23.93'
L150	S81°32'29"E	31.62'
L151	N13°05'37"E	47.47'
L152	S56°01'06"E	85.92'
L153	S54°06'14"E	59.10'
L154	S53°08'08"W	40.64'

CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	1771.37'	3°40'29"	N81°45'11"E	113.59'	113.61'
C2	4.00'	88°43'54"	N39°14'30"E	5.59'	6.19'
C3	1758.00'	5°20'03"	N88°50'36"E	163.61'	163.67'
C4	4.00'	71°22'01"	N55°49'51"E	4.67'	4.98'
C5	75.00'	8°52'39"	N15°42'23"E	11.61'	11.62'
C6	125.00'	5°14'24"	S17°31'30"W	11.43'	11.43'
C7	85.00'	10°00'00"	S21°4'34"E	14.82'	14.84'
C8	215.00'	10°00'00"	N21°4'34"W	37.48'	37.52'
C9	1242.85'	0°06'55"	N84°59'42"W	2.50'	2.50'
C10	1243.00'	41°08'43"	S74°22'29"W	873.57'	892.62'
C11	13.02'	90°31'31"	N81°00'55"W	18.49'	20.57'
C12	210.00'	10°00'00"	N34°53'04"W	36.61'	36.65'
C13	5.00'	10°00'00"	N34°53'04"W	0.87'	0.87'
C14	4.00'	85°28'26"	N82°37'17"W	5.43'	5.97'
C15	1775.00'	0°34'05"	S54°21'28"W	17.60'	17.60'
C16	1825.00'	0°33'09"	N54°21'56"E	17.60'	17.60'
C17	4.00'	94°31'34"	N7°22'43"E	5.88'	6.60'
C18	4.00'	85°28'26"	N82°37'17"W	5.43'	5.97'
C19	2065.00'	0°02'14"	S54°37'23"W	1.34'	1.34'
C20	2075.00'	1°06'16"	S54°03'08"W	40.00'	40.00'
C21	2125.00'	1°04'39"	N54°03'56"E	39.96'	39.96'
C22	4.00'	94°31'34"	N7°22'43"E	5.88'	6.60'
C23	1157.00'	22°26'56"	S83°50'17"W	450.43'	453.32'
C24	1200.00'	11°25'01"	N79°15'10"W	238.72'	239.12'
C25	1243.00'	3°50'15"	N72°05'09"W	83.24'	83.25'
C26	139.00'	18°24'20"	S0°05'04"W	44.46'	44.65'
C27	221.00'	19°35'42"	N0°40'45"E	75.21'	75.58'
C28	15.00'	52°01'12"	S33°36'42"W	13.16'	13.62'

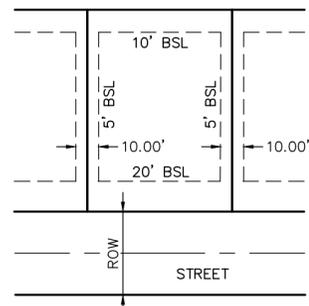
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C29	50.00'	176°59'21"	N28°52'22"W	99.97'	154.45'
C30	15.00'	32°44'24"	N79°00'09"E	8.46'	8.57'
C31	957.00'	0°46'10"	N85°00'44"W	12.85'	12.85'
C32	1081.68'	21°59'38"	S83°35'57"W	412.68'	415.22'
C33	14.00'	85°28'26"	S82°37'17"E	19.00'	20.89'
C34	14.00'	99°35'49"	N9°54'50"E	21.39'	24.34'
C35	125.00'	39°14'54"	N20°15'37"W	83.96'	85.63'
C36	14.00'	82°43'03"	S41°59'41"E	18.50'	20.21'
C37	125.00'	24°07'16"	S71°17'35"E	52.24'	52.62'
C38	125.00'	44°16'18"	S37°05'48"E	94.20'	96.59'
C39	14.00'	88°43'53"	S59°19'37"E	19.58'	21.68'
C40	1748.00'	7°17'49"	N79°57'21"E	222.46'	222.62'
C41	14.00'	88°43'54"	N39°14'19"E	19.58'	21.68'
C42	14.00'	88°43'54"	S49°29'36"E	19.58'	21.68'
C43	1748.00'	5°22'10"	N88°49'33"E	163.76'	163.82'
C44	14.00'	71°22'01"	N55°49'43"E	16.33'	17.44'</

SUBDIVISION PLAT OF 4S RANCH, UNIT 9A

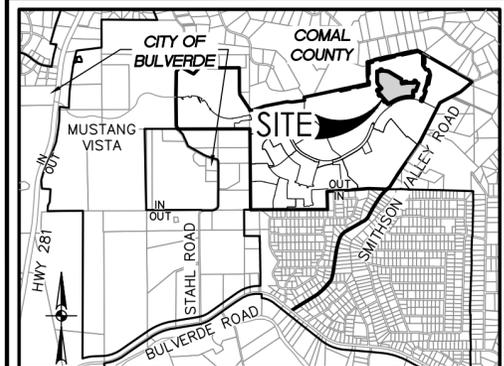
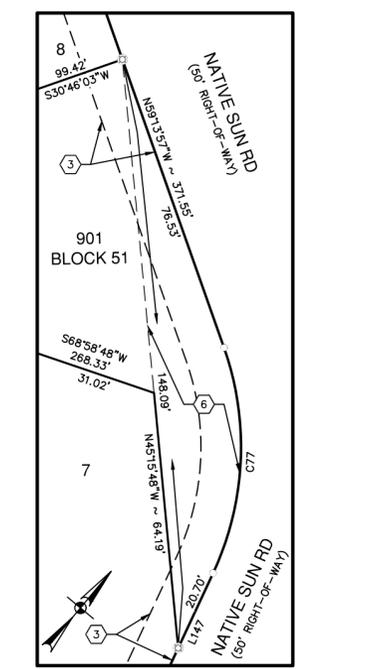
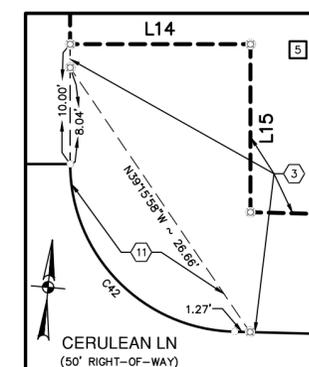
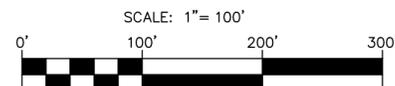
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TYPICAL BUILDING SET-BACKS

FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



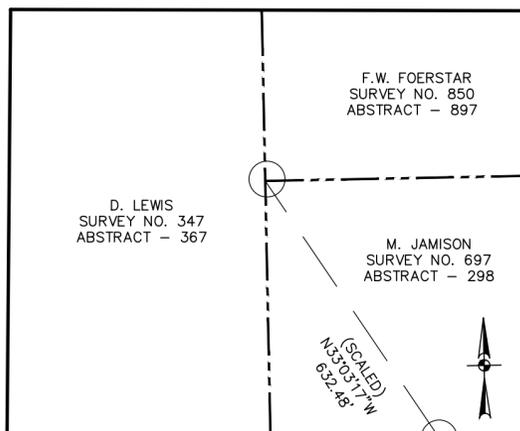
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: July 8, 2020



LOCATION MAP
NOT-TO-SCALE

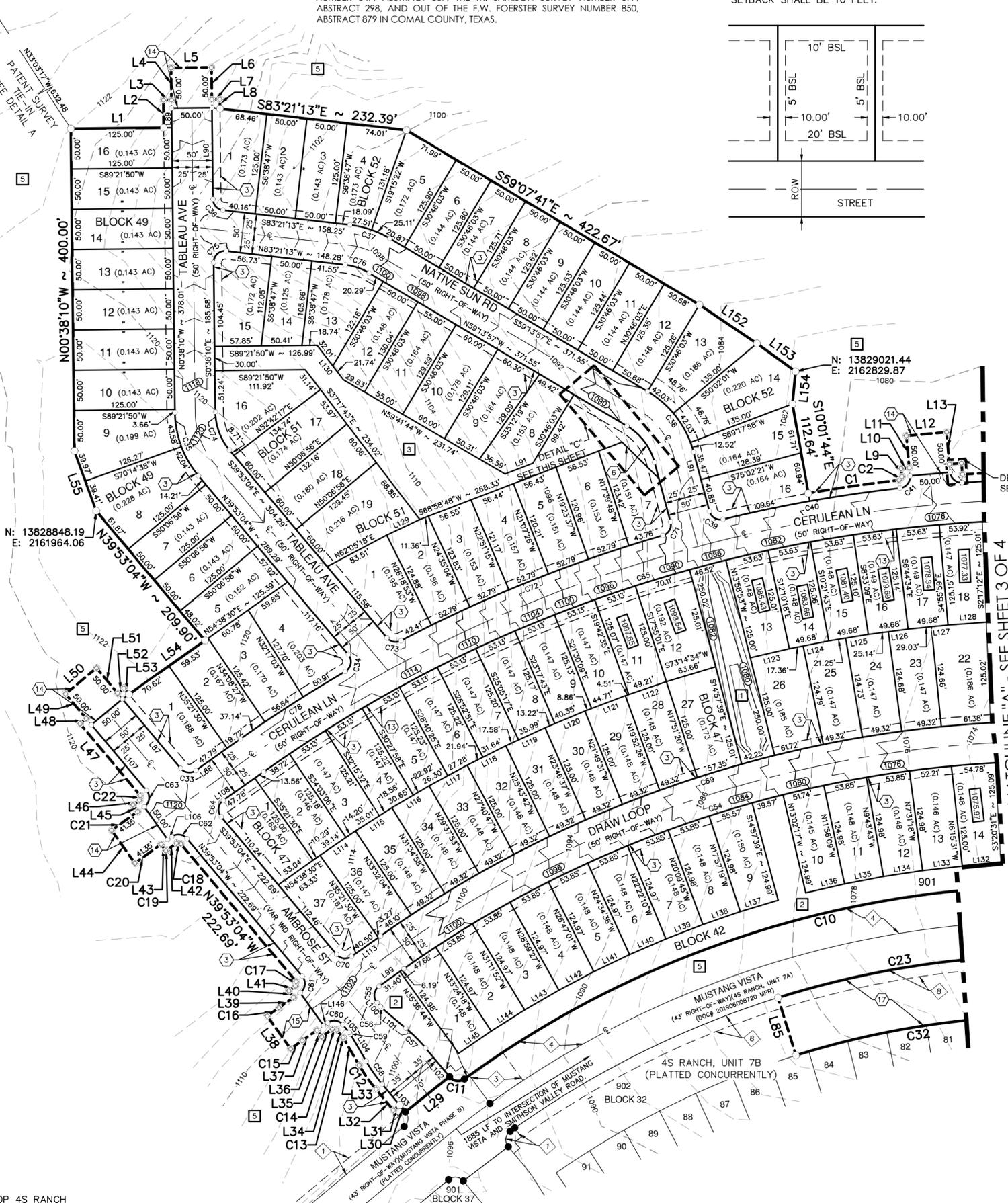
LEGEND

- | | | | |
|------|---|-----|---|
| AC | ACRE(S) | VOL | VOLUME |
| DOC | DOCUMENT NUMBER | PG | PAGE(S) |
| ESMT | EASEMENT | VAR | VARIABLE WIDTH |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | WD | REPETITIVE BEARING AND/OR DISTANCE |
| | | ● | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| | | ○ | SET 1/2" IRON ROD (PD) |
| | | ○ | SET 1/2" IRON ROD (PD)-ROW |
| | | ⊗ | EASEMENT POINT OF INTERSECTION |
| | | ⊕ | MINIMUM FINISHED FLOOR ELEVATION |
| --- | 1140 | --- | EXISTING CONTOURS |
| --- | 1140 | --- | PROPOSED CONTOURS |
| --- | ℄ | --- | CENTERLINE |
| --- | --- | --- | ORIGINAL SURVEY/COUNTY LINE |
| ③ | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (0.331 TOTAL ACRES OFF-LOT) | ④ | 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY) |
| ⑥ | VARIABLE WIDTH CLEAR VISION EASEMENT (0.041 ACRES) | ⑦ | 21' SANITARY SEWER EASEMENT (4S RANCH, UNIT 7B, PLATTED CONCURRENTLY) |
| ⑪ | VARIABLE WIDTH SANITARY SEWER EASEMENT (0.003 TOTAL ACRES OFF-LOT) | ⑧ | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY) |
| ⑫ | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ⑨ | VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| ⑬ | 10' SANITARY SEWER EASEMENT (0.053 TOTAL ACRES OFF-LOT) | ⑩ | 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH, UNIT 7B, PLATTED CONCURRENTLY) |
| ⑭ | 50' X 50' SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.228 TOTAL ACRES OFF-LOT) | ⑪ | LOT 901 BLOCK 47 OPEN SPACE (0.255 ACRES PERMEABLE) (SEE OPEN SPACE NOTE SHEET 1 OF 4) |
| ⑮ | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.115 TOTAL ACRES OFF-LOT) | ⑫ | LOT 901 BLOCK 42 OPEN SPACE (0.908 ACRES PERMEABLE) (SEE OPEN SPACE NOTE SHEET 1 OF 4) |
| ⑰ | VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (7.813 TOTAL ACRES OFF-LOT) | ⑬ | LOT 901 BLOCK 51 OPEN SPACE (0.640 ACRES PERMEABLE) (SEE OPEN SPACE NOTE SHEET 1 OF 4) |
| | | ⑭ | UNPLATTED A REMAINING PORTION OF 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) |

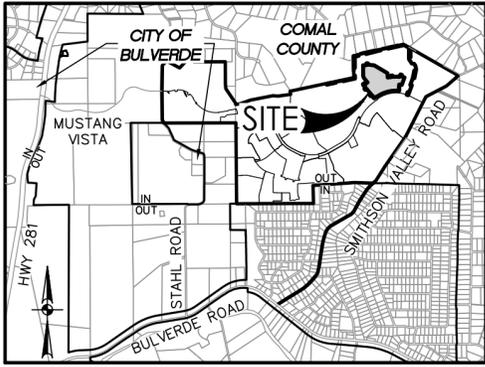


DETAIL "A"
SCALE: 1" = 20'

PROP 4S RANCH UNIT-9A



MATCHLINE "A" - SEE SHEET 3 OF 4



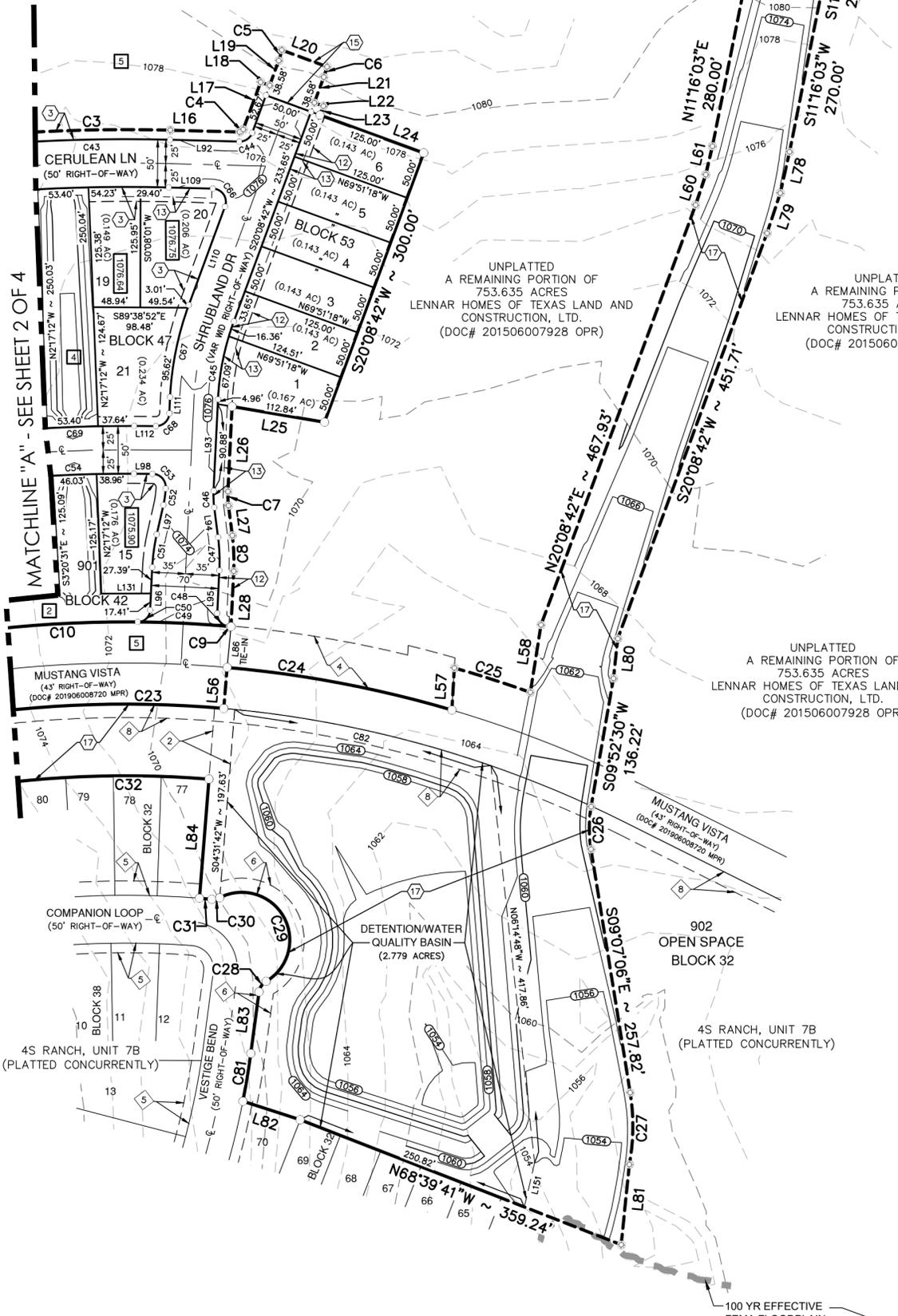
LOCATION MAP
NOT-TO-SCALE

LEGEND

AC	ACRE(S)	VOL	VOLUME
DOC	DOCUMENT NUMBER	PG	PAGE(S)
ESMT	EASEMENT	VAR WID	VARIABLE WIDTH
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS		REPETITIVE BEARING AND/OR DISTANCE
		●	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
		○	SET 1/2" IRON ROD (PD)
		○	SET 1/2" IRON ROD (PD)-ROW
		⊠	EASEMENT POINT OF INTERSECTION
---	EXISTING CONTOURS	---	MINIMUM FINISHED FLOOR ELEVATION
---	PROPOSED CONTOURS	---	
---	CENTERLINE	---	
③	10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (0.331 TOTAL ACRES OFF-LOT)	④	14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY)
⑫	15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT	⑤	21' SANITARY SEWER EASEMENT (4S RANCH, UNIT 7B, PLATTED CONCURRENTLY)
⑬	10' SANITARY SEWER EASEMENT (0.053 TOTAL ACRES OFF-LOT)	⑥	VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY)
⑭	50' X 50' SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.228 TOTAL ACRES OFF-LOT)	⑦	VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.115 TOTAL ACRES OFF-LOT)
⑮	VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.115 TOTAL ACRES OFF-LOT)	⑧	VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (7.813 TOTAL ACRES OFF-LOT)
⑰	VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (7.813 TOTAL ACRES OFF-LOT)	⑨	10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH UNIT-7B, PLATTED CONCURRENTLY)
⑱	LOT 901 BLOCK 42 OPEN SPACE (0.908 ACRES PERMEABLE) (SEE OPEN SPACE NOTE SHEET 1 OF 4)	⑩	15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH UNIT-7B, PLATTED CONCURRENTLY)
⑲	LOT 902 BLOCK 47 OPEN SPACE (0.306 ACRES PERMEABLE) (SEE OPEN SPACE NOTE SHEET 1 OF 4)	⑪	14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH UNIT-7B, PLATTED CONCURRENTLY)
⑳	UNPLATTED A REMAINING PORTION OF 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR)		

SUBDIVISION PLAT
OF
4S RANCH, UNIT 9A

A 39.973 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M. JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE F.W. FOERSTER SURVEY NUMBER 850, ABSTRACT 879 IN COMAL COUNTY, TEXAS.

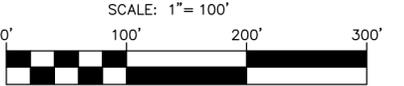


MATCHLINE "B" -
SEE SHEET 4 OF 4

MATCHLINE "A" - SEE SHEET 2 OF 4

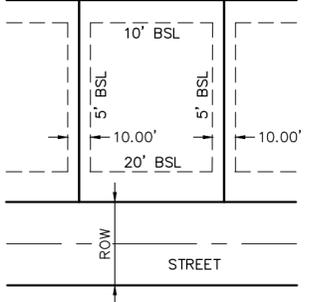


SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: July 8, 2020



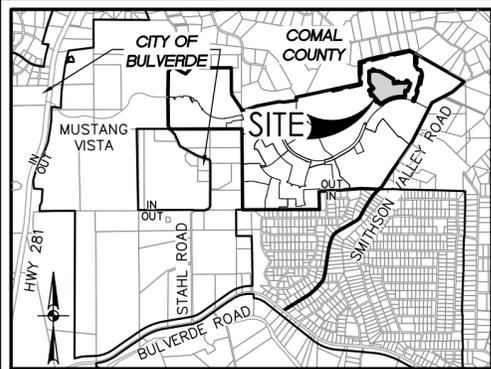
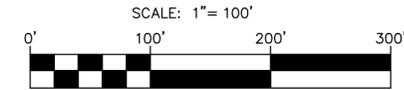
TYPICAL BUILDING SET-BACKS

FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 9A**

A 39.973 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, THE M. JAMISON SURVEY NUMBER 697, ABSTRACT 298, AND OUT OF THE F.W. FOERSTER SURVEY NUMBER 850, ABSTRACT 879 IN COMAL COUNTY, TEXAS.



LOCATION MAP
 NOT-TO-SCALE

LEGEND

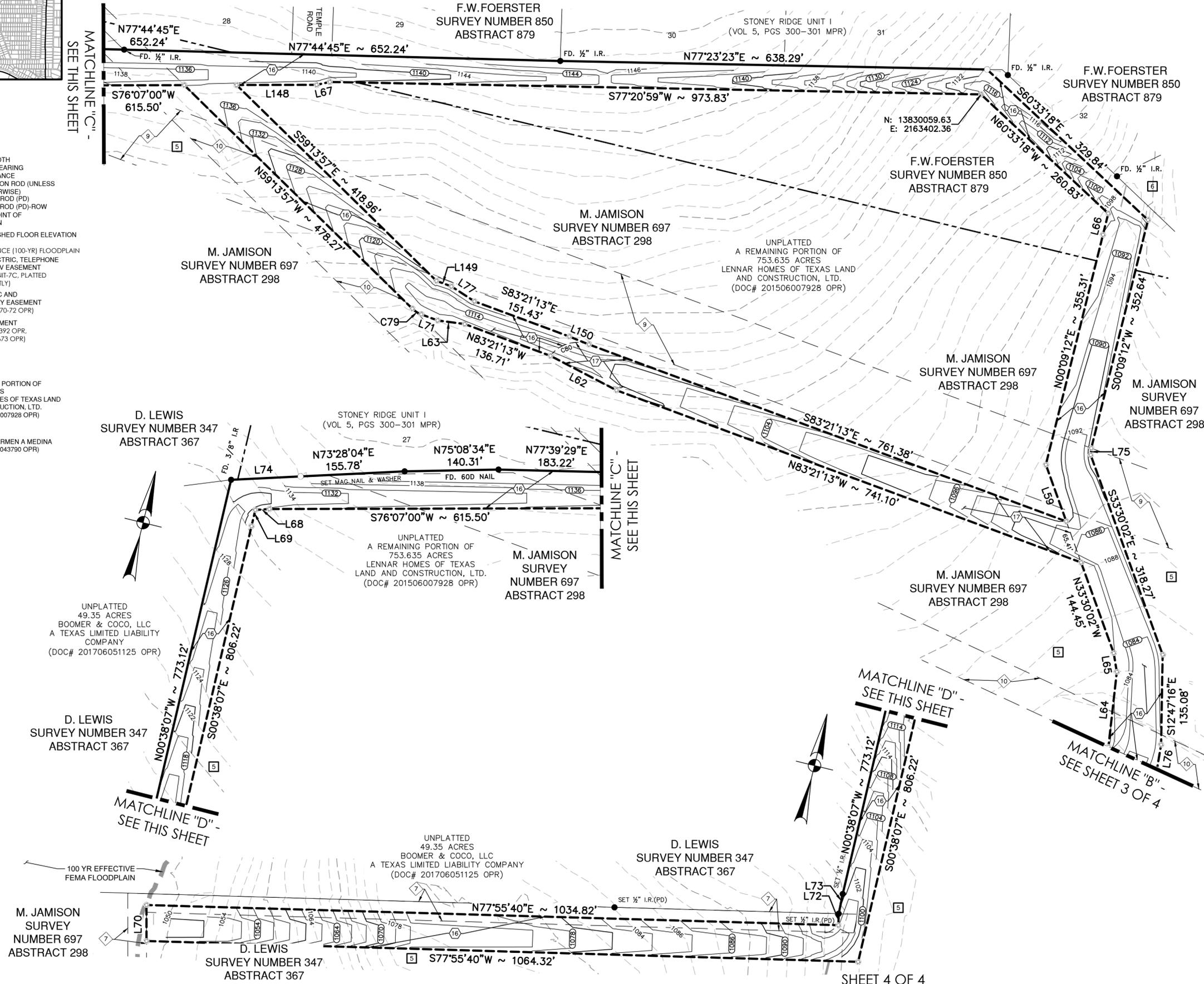
AC	ACRE(S)	VOL	VOLUME
DOC	DOCUMENT NUMBER	PG	PAGE(S)
ESMT	EASEMENT	VAR WID	VARIABLE WIDTH
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS		REPETITIVE BEARING AND/OR DISTANCE
		●	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
		○	SET 1/2" IRON ROD (PD)
		○	SET 1/2" IRON ROD (PD)-ROW
		⊗	EASEMENT POINT OF INTERSECTION
---	1140	---	EXISTING CONTOURS
---	1140	---	PROPOSED CONTOURS
---	ε	---	CENTERLINE
---	---	---	ORIGINAL SURVEY/COUNTY LINE
---	---	---	EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN
16	VARIABLE WIDTH DRAINAGE EASEMENT (6.334 TOTAL ACRES OFF-LOT)	◇	28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH UNIT-7C, PLATTED CONCURRENTLY)
17	VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (7.813 TOTAL ACRES OFF-LOT)	◇	100' ELECTRIC AND RIGHT-OF-WAY EASEMENT (VOL. 325, PG. 70-72 OPR)
		◇	50' GAS EASEMENT (VOL. 192, PG. 392 OPR, VOL. 200, PG. 673 OPR)
		5	UNPLATTED A REMAINING PORTION OF 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR)
		6	UNPLATTED 14.407 ACRES ALICIA A & GARMEN A MEDINA (DOC# 200506043790 OPR)

MATCHLINE "C" - SEE THIS SHEET

MATCHLINE "C" - SEE THIS SHEET

MATCHLINE "D" - SEE THIS SHEET

MATCHLINE "B" - SEE SHEET 3 OF 4



REVIEW MEMORANDUM

TO: Bruna Spengler, P.E., CFM
BSpengler@pape-dawson.com
Pape-Dawson Engineering, Inc.
2000 NW Loop 410
San Antonio, TX 78213

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: 4S Ranch, Unit 9A Prelim Plat Acceptance
PC-20-10

DATE: July 9, 2020

Halff Associates, on behalf of the City of Bulverde, has performed a review on the preliminary plat application and supporting documents for the **4S Ranch, Unit 9A** development, dated 6/11/2020. The review was conducted relative to the requirements established in the Subdivision Ordinance of the City of Bulverde AND the Development Agreement dated December 31, 2014 (between the City of Bulverde and STAHL LANE, LTD.). The following items were reviewed, with resolved items noted in **blue**. Based on our review of the referenced documents, Halff Associates has no further comments and recommends approval of the 4S Ranch Unit 9A Preliminary Plat at the next available Planning & Zoning meeting.

Plat specifications, Ordinance Section 1.05(b)

1. Provide minimum of two (2) corners referenced to state plane coordinate system – **comment resolved...added to Sheet 2.**

Plat Supporting Documents, Ordinance Section 1.04(c) – no comments, sufficient documentation provided.

General Design, Ordinance Section 2.03(c)

2. Aspect Ratio exceeds 3:1 for lots less than 1.01 acres. Please address all lots that do not meet the aspect ratio. – **comment resolved...lot lengths have been revised to meet 3:1 aspect ratio.**

Article II General Design, Ordinance Section 2.03(c)

3. Minimum frontage of 45 feet. Please address all lots that do not provide minimum frontage. – **comment resolved...The setback lines for the lots in question (Lot 13 and Lot 14, Block 52) have been shown on the plat and dimensioned. Per our discussion with City of Bulverde staff, if the width of the lot at the setback line is equal to or greater than 45 feet, then the lots will be considered in compliance.**

Drainage Analysis – approved...see memo dated 4/10/20



PLANNING AND ZONING COMMISSION ITEM:
SUP-20-01
SPECIAL USE PERMIT
30347 Cougar Bend

MEETING DATE: July 16, 2019
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:
Hold a public hearing and consider a request by Bullet Flooring for approval of a Special Use Permit for a Design & Install Center/Warehouse on a 1.357-acre tract of land located at 30347 Cougar Bend.

APPLICANT:
Bullet Flooring
30095 US Highway 281 N
Bulverde, TX 78163

PROPERTY INFORMATION:
Address: 30347 Cougar Bend, Bulverde, TX 78163
Legal Description: BULVERDE HILLS 4, BLOCK 20, LOTS 6 & 7, ACRES 1.357
Owner: Bullet Flooring
Existing Land Use: Undeveloped
Existing Zoning: PDD, Planned Development District

NOTICE:
Public Notice: June 27, 2020
Personal Notice: July 1, 2020

Staff sent 5 Personal Notices to properties within a 200 feet buffer of the subject property. As of July 9, 2020, Staff received 0 letters of opposition and 0 letters of support.

IN SUPPORT: 0
IN OPPOSITION: 0

SUMMARY:
The applicant requests a Special Use Permit to build a design center/warehouse. The facility would be located on an approximately 1.357-acre tract at 30347 Cougar Bend, Bulverde, TX.

ANALYSIS:

Per Section 14.01.019(c) of the Code of Ordinances: *Any use which is not contrary to city, county, state or federal laws and which is not listed as an allowed use in the zoning ordinance shall hereby be deemed a special use permit use which may be requested in any district and subject to the provisions of this article.*

Per Exhibit B (Statement of Purpose) and Exhibit F (Floor Plan), the Bulverde Design & Install Center will consist of a 3,900-square-foot office and showroom space with room displays and samples; and a 1,500-square-foot storage room/warehouse in the back of the building for onsite storage.

Per Exhibit E (Site Plan), the proposed design center/warehouse would comply with the City’s landscaping and off-street parking requirements. According to the applicant, supplies will be transported using one flatbed truck. A box truck will also be used at least once a week.

SUGGESTED CONDITIONS:

Staff cannot make a recommendation to the Commission but respectfully requests that the following conditions be added if the request is granted:

1. A concrete driveway must be constructed to sustain the heavy loads of proposed truck traffic.
2. The design center/warehouse must comply with the site plan shown in Exhibit E.
3. The design center/warehouse must meet all building permit requirements.
4. No other special uses are allowed under this special use permit.

CONSIDERATIONS FOR EVALUATION:

The City Code provides direction to the Planning and Zoning Commission and the City Council regarding the procedures and considerations involved in potentially granting any Special Use Permit. More specifically, Section 14.01.019(d) of the City Code states:

“Every special use permit granted under the provisions of this article shall be considered as an amendment to the zoning ordinance and zoning map as applicable to such property, and shall be adopted as a separate ordinance. In granting such permit, the city council may impose such conditions as may be necessary to promote and protect the public health, safety, order, morals, convenience, prosperity and general welfare. Said conditions shall be complied with by the grantee before a certificate of occupancy may be issued..”

ATTACHMENTS:

- Exhibit A – Application
- Exhibit B – Statement of Purpose
- Exhibit C – Elevation
- Exhibit D – Roof Plan
- Exhibit E – Site Plan
- Exhibit F – Floor Plan
- Exhibit G – Tree Survey
- Exhibit H – Aerial Map



Application for Special Use Permit (SUP)

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.ci.bulverde.tx.us

Date: 6-9-20

Case No. _____

Applicant Information:

Alex Laytano 210 857 7402
Name Phone Fax
31011 Panther Dr Bulverde, TX 78163 alex.laytano@gvte.com
Address Email

Property Owner Information:

Bullet Flooring 830 438 1830 N/A
Name Phone Fax
30069 Hwy 281 N Bulverde, TX 78163 bulletflooring@gvte.com
Address Email

** If property owner is not the applicant, a letter of authorization from the owner is required with application submittal.*

Property Identification:

Street Address: 30347 Cougar Bend Bulverde, TX 78163

Legal Description: _____

Use Requested: _____

The Following Must Be Submitted with Application:

1. A written statement describing the purpose and specific conditions of the request.
2. A site plan meeting the following minimum specifications:
 - a. Drawn to scale; indicating applicable buildings with approximate square footages and proposed uses.
 - b. Site ingress and egress, including interior traffic circulation patterns and parking/loading areas
 - c. Location and uses of existing buildings within 200 feet (may be shown on separate plan/aerial photograph)
 - d. Existing zoning district classifications within 200 feet (may be shown on separate plan)
 - e. The 100-year floodplain if present on the property
3. A landscape/buffering plan meeting the following minimum specifications:
 - a. Drawn to scale; indicating proposed landscaping, including the size, species and locations.
 - b. Other visual screening methods and their design, such as fences
4. A Tree Preservation and Replacement Plan must be submitted meeting the specifications of the Zoning Ordinance if development will necessitate removal of trees or affect the driplines of existing trees.

** Other items, including, but not limited to architectural renderings, traffic impact studies and noise studies may be requested. In addition, the Planning and Zoning Commission and City Council may request additional information by majority vote to render an informed decision.*

The undersigned agrees to pay the **non-refundable** application fee and any other applicable fees as outlined in the Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required. The undersigned also acknowledges the City Staff may require additional appropriate information be submitted to aid in the review.


Signature of Owner/Applicant

6-9-20
Date

Fees:
Special Use Permit Review Fee - \$750.00

Bulverde

Design & Install Center

To whom it may concern, my company Bullet Flooring would like to build a design center on our property with the address of 30347 Cougar Bend Bulverde, TX 78163.

The purpose is to have a location where we can meet with our customers and help them complete their house upgrades. Most of the building will be used as a showroom with room displays and samples. We will also have offices for our staff to work out of and a storage room in the back to hold their supplies till the project starts.

Thanks,
Alex Laytano

INTERIM REVIEW ONLY
 Statement: That the regulatory approval process for this project is complete.
 Architect:
 L.A. Ray, Inc.
 11111

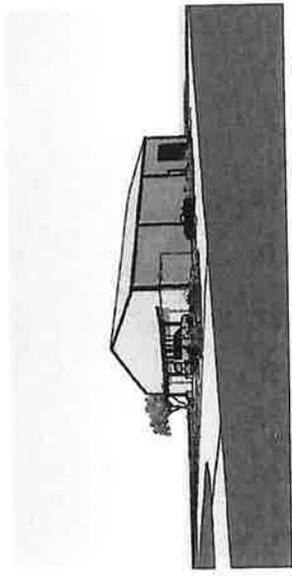
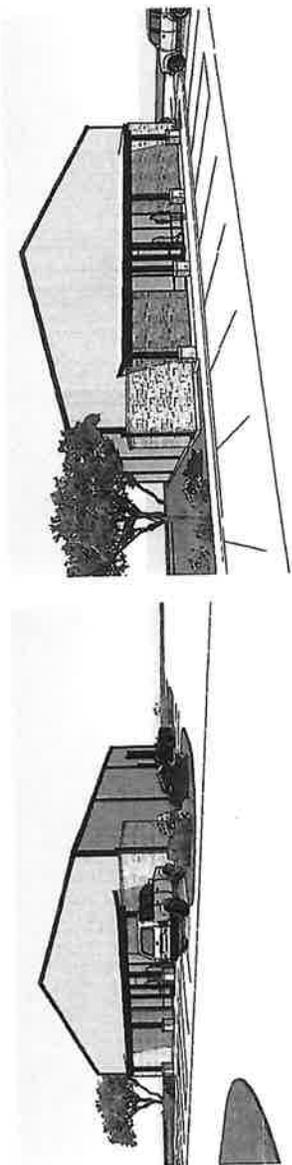
BULVERDE DESIGN & INSTALL
 CENTER
 COUGAR BEND
 BULVERDE, TEXAS 78163



L.A. RAY ARCHITECT
 L.A. RAY
 300 S. RAY
 JOHNSON CITY, TX 78006
 (214) 242-1001
 lray@laray.com

NO.	DATE	DESCRIPTION
1	5/8/20	PLANNING CONCEPT

PROJECT NO. 2017_021
 DRAWING NO.
CS1.0



CONCEPT RENDERING SUBJECT TO CHANGE WITHOUT NOTICE. SEE FINAL WORKING DRAWINGS

BULVERDE DESIGN & INSTALL CENTER

ARCHITECTURAL SCHEMATIC DESIGN PACKAGE

MAY 8, 2020

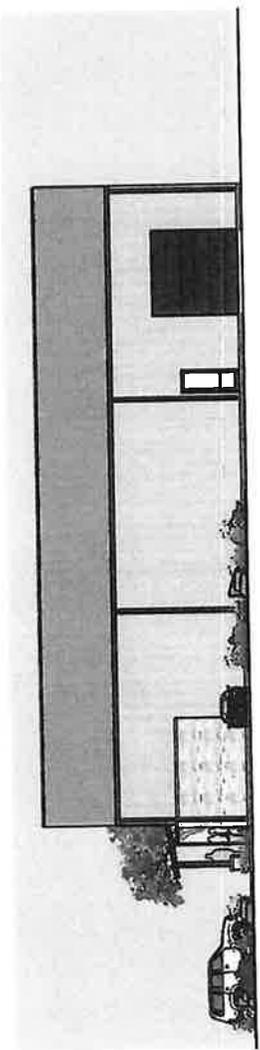
INTERIM
 REVIEW ONLY
 This drawing is preliminary
 and is not to be used for
 construction.
 L.A. RAY ARCHITECT
 303 WEST OAK HILL
 JOPLIN, MO 64801
 TEL: 417.881.1111
 FAX: 417.881.1111
 WWW: www.laray.com

BULVERDE DESIGN & INSTALL
 CENTER
 COUGAR BEND
 BULVERDE, TEXAS 78163

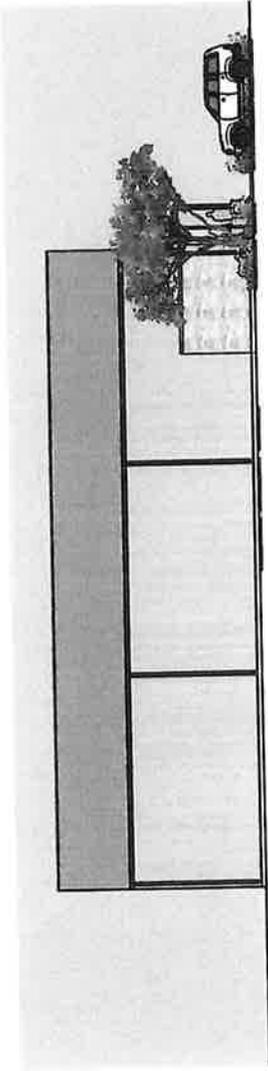
L.A. RAY ARCHITECT
 303 WEST OAK HILL
 JOPLIN, MO 64801
 TEL: 417.881.1111
 FAX: 417.881.1111
 WWW: www.laray.com

NO.	DATE	DESCRIPTION
4	10/9/20	PLANNING
		SCHEMATIC

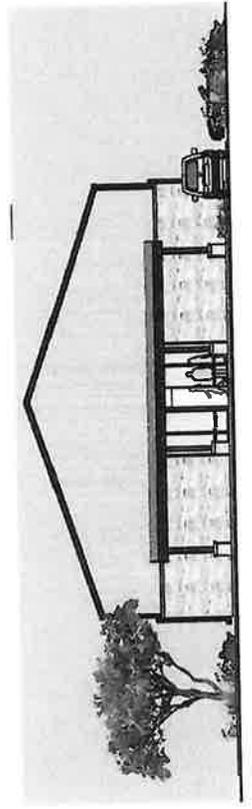
PROJECT NO. 2010.03
 DRAWING NO. AS.1
 10/15/20



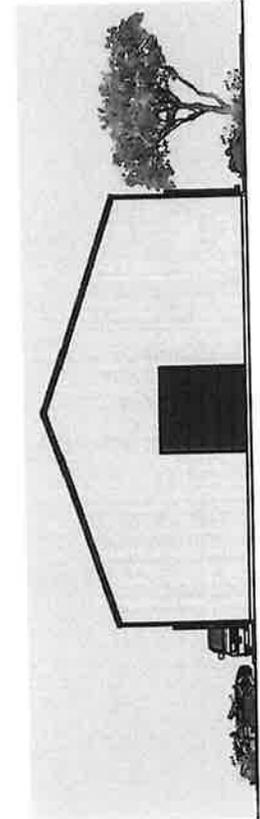
12 SCHEMATIC NORTH ELEVATION—
SCALE: 1/8" = 1'-0"



10 SCHEMATIC SOUTH ELEVATION—
SCALE: 1/8" = 1'-0"



5 SCHEMATIC EAST ELEVATION—
SCALE: 1/8" = 1'-0"



17 SCHEMATIC WEST ELEVATION—
SCALE: 1/8" = 1'-0"

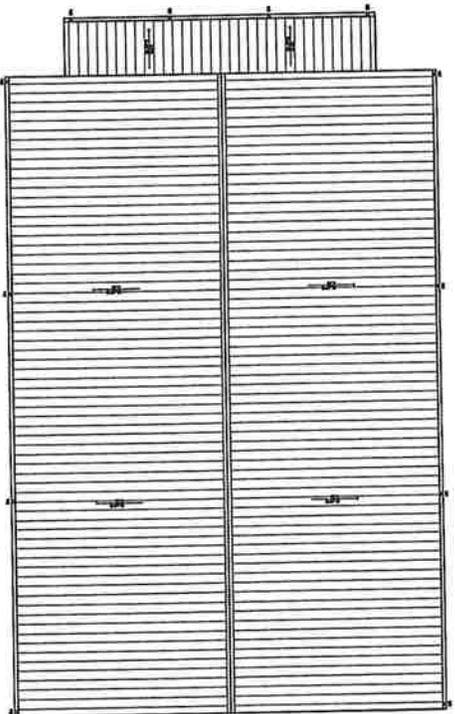
INTERIM
 REVIEW ONLY
 Document Not for regulatory
 approval. Intended for
 informational purposes only.
 L.A. RAY ARCHITECT
 303 WEST OAK TRAIL
 DENVER, CO 80202
 TEL: 303.733.1111
 WWW: LARAYARCHITECT.COM

BULVERDE DESIGN & INSTALL
 CENTER
 COUGAR BEND
 BULVERDE, TEXAS 76183

L.A. RAY
 ARCHITECT
 303 WEST OAK TRAIL
 DENVER, CO 80202
 TEL: 303.733.1111
 WWW: LARAYARCHITECT.COM

NO.	DATE	DESCRIPTION
4	11/5/20	LAUNDRY CONCEPT

PROJECT NO.: 2017L205
 DRAWING NO.: A4.1
 11/11/2020



9 SCHEMATIC ROOF PLAN—
 SCALE: 1/8" = 1'-0"



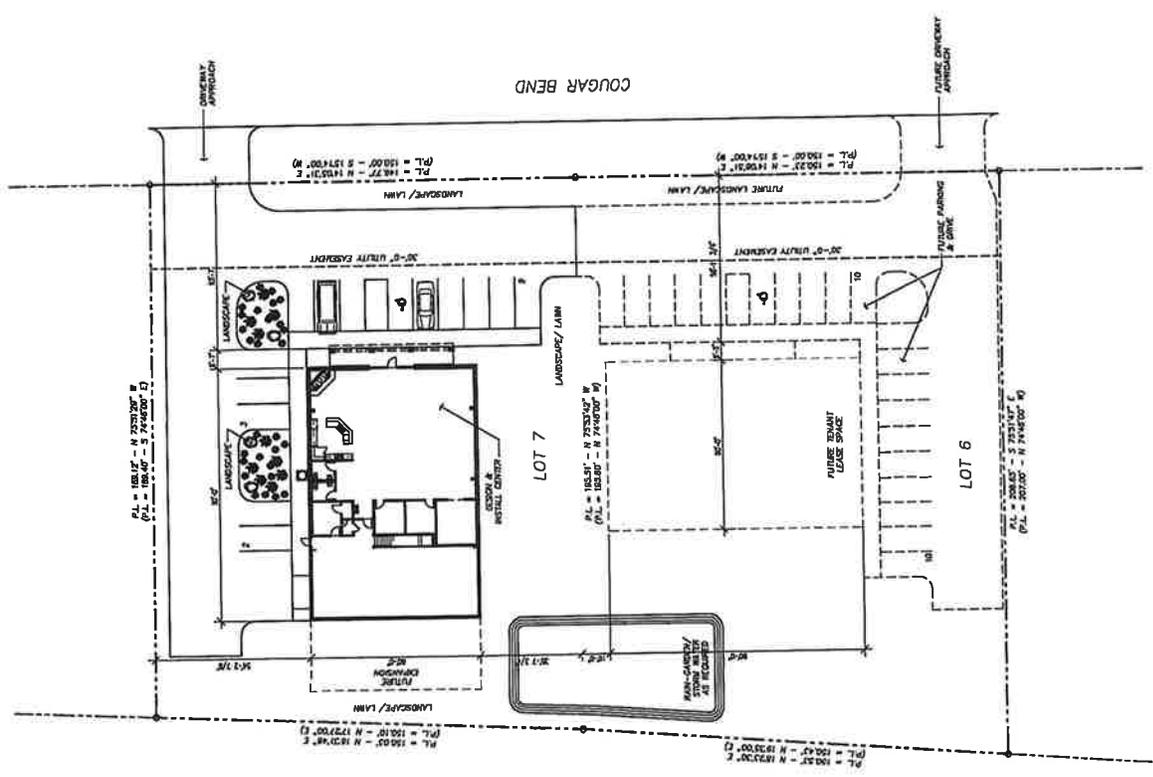
INTERIM REVIEW ONLY
 Applicant: [Name]
 Project: [Name]
 Date: [Date]

BULVERDE DESIGN & INSTALL
 CENTER
 COUGAR BEND
 BULVERDE, TEXAS 78163

LA RAY ARCHITECT
 1000 N. BAY
 SUITE 100
 JOHNSON CITY, TX 77008
 (713) 331-0811
 lrayarchitect@att.net

NO.	DATE	DESCRIPTION
1	10/1/10	PLANNING
2	10/1/10	CONCEPT
3		
4		
5		
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9		

PROJECT NO. 2010.02
 DRAWING NO. A1.0
 10/1/10 10:00 - 10:00 AM



9 SCHEMATIC SITE PLAN -
 SCALE: 1" = 20'-0"

INTERIM REVIEW ONLY
 Document Not for regular use.
 Approved for use only for the project and site shown on this drawing.
 L.A. Ray, Inc.
 11111
 11111

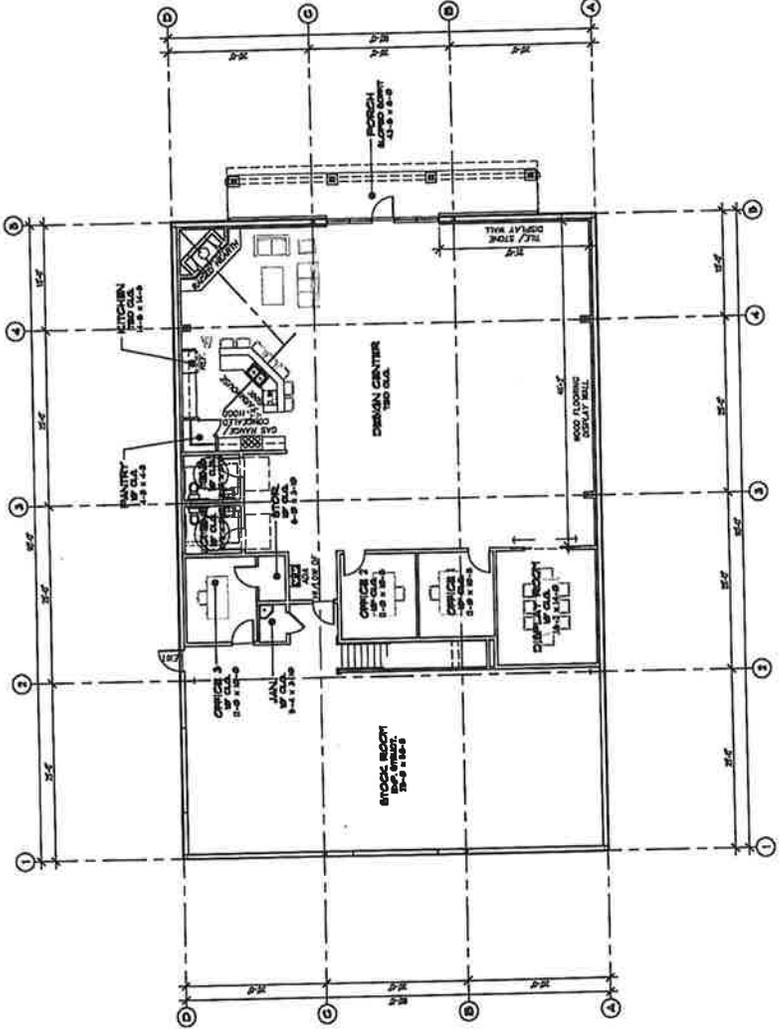
BULVERDE DESIGN & INSTALL
 CENTER
 COUGAR BEND
 BULVERDE, TEXAS 76163



L.A. RAY ARCHITECT
 300 WEST LAK TRAIL
 AUSTIN, TEXAS 78703
 (512) 476-1111
 www.laray.com

NO.	DATE	DESCRIPTION
1	5/17/20	PLANNING CONCEPT

PROJECT NO. 2019_030
 DRAWING NO. A2.1
 1/8" = 1'-0"

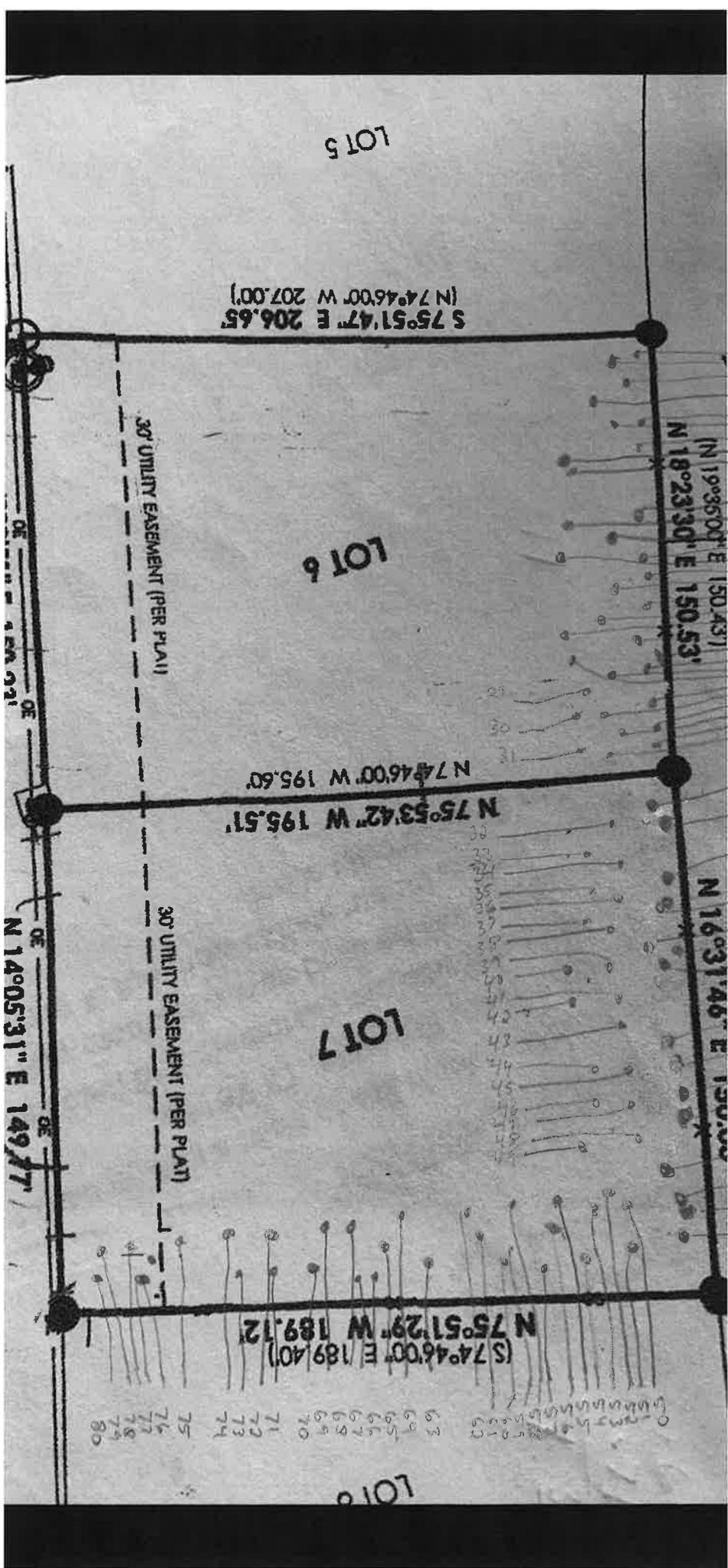


9 SCHEMATIC FLOOR PLAN—
 SCALE: 1/8" = 1'-0"

- A = 10" Oak
- B = 16" Oak
- C = 12" Oak
- D = 12" Oak
- E = 9" Oak
- F = 12" Oak
- G = 8" Oak
- H = 13" Oak
- I = 9" Oak
- J = 9" Oak
- K = 7" Oak
- L = 8" Oak
- M = 9" Oak
- N = 8" Oak
- O = 6" Oak
- P = 14" Oak

* A through P = All oak Trees
 * 1 through 80 = All Cedar trees

* All numbers on right side of oak & cedar counts are diameter thickness of trees in Inches.

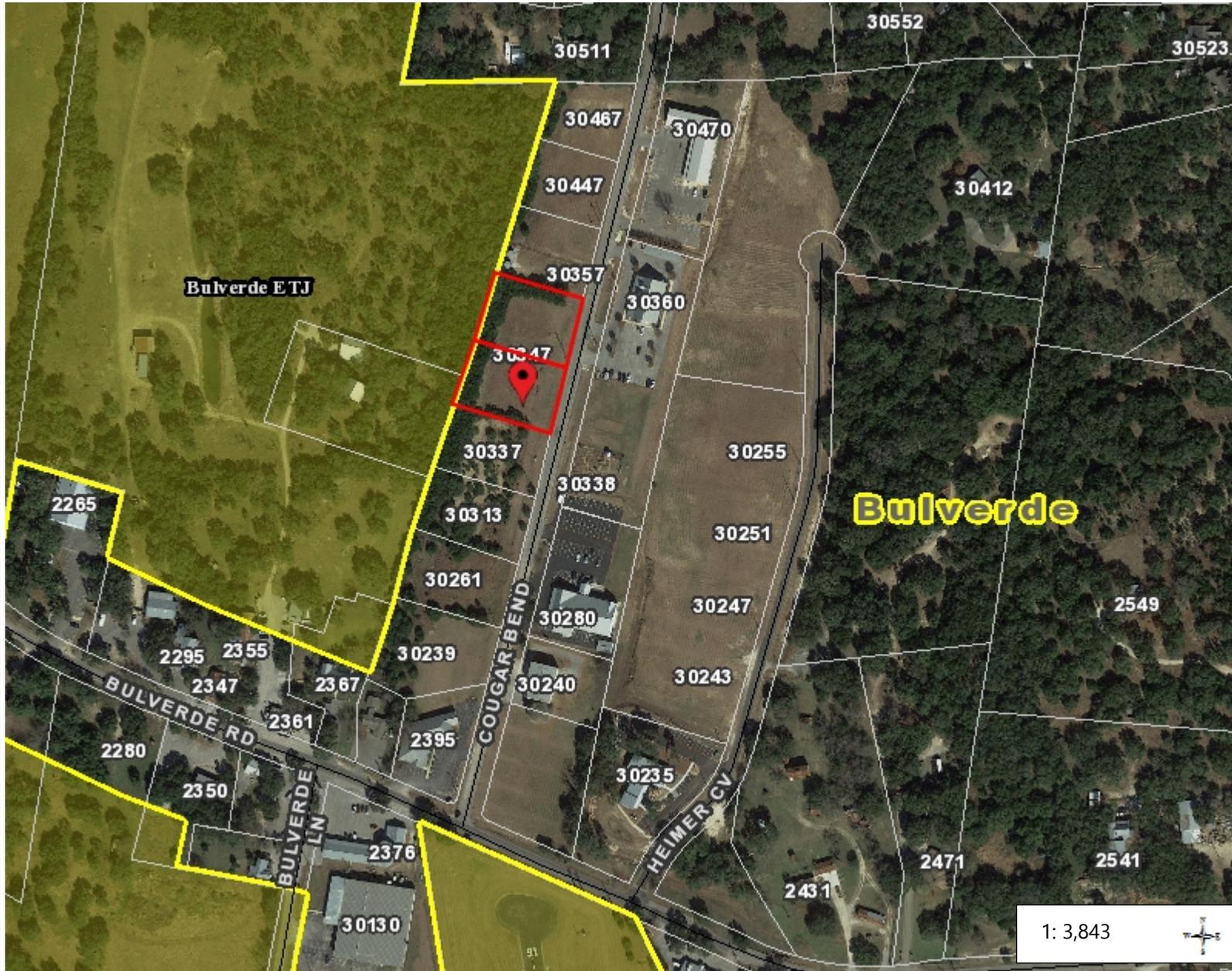


- 1 = 6
- 2 = 16
- 3 = 5
- 4 = 7
- 5 = 10
- 6 = 8
- 8 = 8
- 7 = 13
- 9 = 5
- 10 = 13
- 11 = 6
- 12 = 12
- 13 = 8
- 14 = 10
- 15 = 10
- 16 = 13
- 17 = 6
- 18 = 8
- 19 = 9
- 20 = 6
- 21 = 10
- 22 = 10
- 23 = 13
- 24 = 9
- 25 = 10
- 26 = 8
- 27 = 8
- 28 = 6
- 29 = 5
- 30 = 6
- 31 = 5
- 32 = 10
- 33 = 6
- 34 = 9
- 35 = 8
- 36 = 7
- 37 = 6
- 38 = 10
- 39 = 13
- 40 = 11
- 41 = 11
- 42 = 10
- 43 = 9
- 44 = 5
- 45 = 6
- 46 = 5
- 47 = 8
- 48 = 5
- 49 = 7
- 50 = 5
- 51 = 8
- 52 = 9
- 53 = 11
- 54 = 13
- 55 = 12
- 56 = 8
- 57 = 7
- 58 = 5
- 59 = 6
- 60 = 7
- 61 = 6
- 62 = 5
- 63 = 9
- 64 = 10
- 65 = 5
- 66 = 6
- 67 = 8
- 68 = 6
- 69 = 9
- 70 = 9
- 71 = 5
- 72 = 7
- 73 = 8
- 74 = 8
- 75 = 9



Legend

- Addresses
- Major Roads
 - Farm roads
 - Highways
- Streets
- Parcels
- Future Parcels
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3



Notes

1: 3,843



0.1 0 0.06 0.1 Miles



PLANNING & ZONING COMMISSION ITEM
VR-20-03
ZONING VARIANCE
104 Bulverde Crossing

MEETING DATE: July 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Director

REQUEST:

Consider a request by Pape-Dawson Engineers, Inc., on behalf of HEB Grocery, LP for a variance to Chapter 17, Section 17.04.003 of the City of Bulverde Code of Ordinances, pertaining to Cut requirements.

OWNER:

HEB Grocery Company, LP
626 S. Flores St.
San Antonio, TX 78204

APPLICANT:

Pape-Dawson Engineers, Inc.
2000 NW Loop 410
San Antonio, TX 78213

PROPERTY INFORMATION:

Address: 104 Bulverde Crossing
Legal Description: Lot 1, H-E-B Bulverde Subdivision
Owner: HEB Grocery Company, LP
Existing Land Use: Commercial/Retail
Existing Zoning: C-2/ SUP

SUMMARY:

Pape-Dawson Engineers, Inc., on behalf of HEB Grocery Company, LP is requesting a variance to Section 17.04.003 pertaining to Cut requirements. HEB is planning to reconstruct a water quality and detention basin at 104 Bulverde Crossing, located in the Edwards Aquifer Contributing Zone.

According to the applicant, the maximum depth of cut inside the proposed reconstructed basin is approximately 12 feet. The applicant's explanation form outlines the reasons for the request to be exempt from the requirements of this ordinance. Additional attachments include the variance application, contributing zone plan, and TCEQ approval letter.

ANALYSIS:

Section 17.04.003, Cuts, of the City of Bulverde Code of Ordinances states:

In this section, a “cut” means the removal of naturally occurring earth material for the purpose of creating a more level building area. Cuts or other excavation associated with the preparation of land for development of lots and public improvements may not exceed four (4) feet in depth, with exception for the following construction activities:

- (1) Roadways or utility construction when it can be demonstrated that the cut is necessary in order for the roadway or utility improvements to exist.*
- (2) Cuts within the perimeter of a building footprint and temporary cuts necessary during construction of a building foundation within a building footprint.*

Section 17.04.006, Relief from cut and fill requirements, of the City of Bulverde Code of Ordinances states:

(a) Administrative approval. The city manager may approve a cut or fill of not more than eight feet provided the following conditions are met:

- (1) The cut or fill is for the purpose of constructing a water quality control or stormwater detention facility.*
- (2) The post construction layout is integrated with natural contour lines.*
- (3) Best management practices identified in the approved stormwater pollution prevention plan or the appropriate permit issued by the Texas Commission on Environmental Quality are constructed so that water quality levels would be the same or better quality as would result from a cut or fill of not more than four (4) feet.*

(b) Variance. Request for cuts or fills greater than eight (8) feet may be approved by the city council in accordance with section 1.07 of chapter 10, exhibit A.

AUTHORITY OF THE PLANNING & ZONING COMMISSION:

Section 1.07 of the City of Bulverde Code of Ordinances states:

a) General.

- (i) Variances to the requirements of this ordinance may be granted by the City Council for nonprocedural items provided the City Council determines that undue hardship will result from strict compliance with the ordinance. A variance may be granted only when in harmony with the general purpose and intent of this ordinance so that the public health, safety and welfare may be secured and substantial justice done. In granting a variance, the City Council shall prescribe only conditions that it deems necessary to or desirable in the public interest.*

(ii) In making the findings required herein, the City Council shall take into account the nature of the proposed land use, existing uses of land in the vicinity, the number of persons who will reside or work in the proposed subdivision, and the probable effect of such variance upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity. No variance shall be granted unless the City Council makes affirmative findings as to all of the following:

- 1) That there are special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of the land;*
- 2) That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant;*
- 3) That granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area; and*
- 4) That granting of the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this ordinance.*

(b) Procedure.

(i) Variances to requirements of this ordinance will be reviewed by City staff and the Planning and Zoning commission. The Planning and Zoning Commission will make a recommendation to the City Council concerning the variance. The City Council will consider the variance and take one of the following actions:

- 1) Approve the variance.*
- 2) Modify the variance and approve the modified version of the variance.*
- 3) Disapprove the variance.*

(ii) Variances must be requested in writing and submitted in triplicate to the City for consideration with the appropriate fee.

(iii) Variances must be requested and granted prior to or concurrent with submittal of the Final Plat for Final Approval. No variances will be granted following submittal of the Final Plat for Final Approval.

ATTACHMENTS:

Application
Explanation Form
Site Plan
Contributing Zone Plan
TCEQ Approval Letter



Application for Variance

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.ci.bulverde.tx.us

Date: 7/10/20

Case No. _____

Applicant Information:

Pape-Dawson Engineers (Shauna Weaver), 210-375-9000, 210-375-9010
Name Phone Fax
2000 NW Loop 410, San Antonio, TX 78213, sweaver@pape-dawson.com
Address Email

Property Owner Information:

H-E-B, LP (Kathy Strimple), 210-938-0722, 210 938 8697
Name Phone Fax
626 S. Flores, San Antonio, TX 78204, strimple.kathy@heb.com
Address Email

** If property owner is not the applicant, a letter of authorization from the owner is required with application submittal.*

Property Identification:

Street Address: 104 Bulverde Crossing, Bulverde, TX 78163
Legal Description: Lot 1, H-E-B Bulverde Subdivision
Zoning District Classification: C2 SUP

Description of Request:

1. Variance to Section 17.04.003 of the City of Bulverde Code of Ordinances, which requires: Cuts or other excavation associated with the preparation of land for development of lots and public improvements may not exceed four (4) feet in depth.
2. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires: _____
3. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires: _____
4. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires: _____
5. Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires: _____

The undersigned agrees to pay the **non refundable** application fee and any other applicable fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required. The undersigned also acknowledges the City Staff may require appropriate information be submitted to aid in the review.

Shauna L. Weaver

7/10/20

Signature of Owner/Applicant

Date

Fees:

Zoning and Plat Variance Review Fee - \$750.00 (per Section/Provision of the Code)

Variance Review Fee (all other Variances)- \$500.00 (per Section/Provision of the Code)

VARIANCE CRITERIA EXPLANATION FORM

(for Subdivision Code Variances Only)

(This Form is required with submittal of a Variance Application. If more than one variance is requested in an application, a separate Variance Criteria Explanation Form shall be required for each Variance. Please include additional pages as necessary.)

- 1) Describe the special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the reasonable use of the land.

- 2) Describe how the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.

- 3) Describe how granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area.

- 4) What effect, if any, would the variance have on the orderly subdivision of other land in the area in accordance with the City of Bulverde Code of Ordinances?

***Note for the Board / Commission:**

The following responses were provided by the applicant and may not be consistent with the Department staff report.

VARIANCE CRITERIA EXPLANATION FORM

(for Sign Code Variances Only)

(This Form is required with submittal of a Variance Application. If more than one variance is requested in an application, a separate Variance Criteria Explanation Form shall be required for each Variance. Please include additional pages as necessary.)

1) Describe how the situation causing the unnecessary hardship or practical difficulty is unique to the property and not self-imposed?

2) Describe the unnecessary hardship that would result due to a literal enforcement of the regulation.

3) Describe how the variance will not injure and will be wholly compatible with the use and permitted development of adjacent properties.

4) Describe how granting the variance will be in harmony with the spirit and purpose of this article.

***Note for the Board / Commission:**

The following responses were provided by the applicant and may not be consistent with the Department staff report.

VARIANCE CRITERIA EXPLANATION FORM

(for Zoning Code Variances Only)

(This Form is required with submittal of a Variance Application. If more than one variance is requested in an application, a separate Variance Criteria Explanation Form shall be required for each Variance. Please include additional pages as necessary.)

1) Describe the special conditions affecting the land involved, such that literal enforcement of the regulation would result in the unnecessary hardship?

2) Describe the unnecessary hardship that would result due to a literal enforcement of the regulation.

3) Describe how granting the variance will not be contrary to the public interest.

4) Describe how granting the variance will be in the spirit of the regulation.

***Note for the Board / Commission:**

The following responses were provided by the applicant and may not be consistent with the Department staff report.



July 1, 2020

Mr. Adrian M. Garcia, P.E.
City Engineer
City of Bulverde
30360 Cougar Bend
Bulverde, TX 78163

RE: HEB – Basin Reconstruction
Request for Variance to Section 17.04.003 Cuts

Dear Mr. Garcia:

Please accept this letter as our formal request to the City Council of Bulverde for a variance to Section 17.04.003 Cuts. This request is limited to area required for reconstruction of the approved basin currently serving both HEB property and public right-of-way now owned by City of Bulverde. Based on Section 17.04.006, requests for cuts or fills greater than eight (8) feet may be approved by the city council in accordance with Section 1.07 of Chapter 10, Exhibit A.

We are requesting this variance to maintain the same footprint of the basin prior to the TxDOT ROW taking, in order to minimize the damages and impact from the construction of the Hwy 46 improvements. Although the land area required has not significantly increased, the modified basin is approximately 5' deeper and incorporates vertical concrete walls. This variance request is limited to the area inside the proposed basin and the grading required to cut through the berm previously constructed with the original basin. The maximum depth of cut inside the basin is approximately 12'. The land area outside of the basin walls will remain close to natural ground elevations. No existing trees will be removed. The depth of the modified basin is consistent with other existing basins within nearby retail areas, including basins constructed on the adjacent HEB property.

The proposed basin reconstruction is within Lot 1, H.E.B. Bulverde Subdivision recorded August 25, 1999, located at the intersection of S.H. 46 and Old Boerne Road. On December 21, 1999, TCEQ approved the original Contributing Zone Plan, including the basin currently serving all of Lot 1. TCEQ approved a Contributing Zone Plan Modification on June 11, 2010, which included pavement constructed by Home Depot for Bulverde Crossing. On June 4, 2020, TCEQ approved a Contributing Zone Plan modification allowing HEB to reconstruct the basin outside of TxDOT right-of-way Parcel 102 to maintain compliance with development over the Edwards Aquifer Contributing Zone. The modified basin will provide shared pollution abatement for the HEB

TBPE Firm Registration #470 | TBPLS Firm Registration #10028800

San Antonio | Austin | Houston | Fort Worth | Dallas

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2000 NW Loop 410, San Antonio, TX 78213 T: 210.375.9000 www.Pape-Dawson.com

Mr. Adrian M. Garcia, P.E.
HEB – Basin Reconstruction
Request for Variance to Section 17.04.003 Cuts
July 1, 2020
Page 2 of 2

development and Bulverde's public right-of-way and discharge at the same existing natural low point of the property.

Please schedule this variance request for the earliest available City Council meeting agenda.

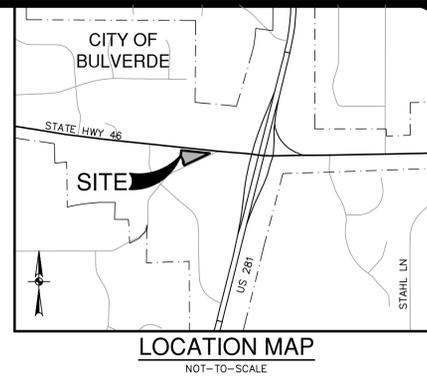
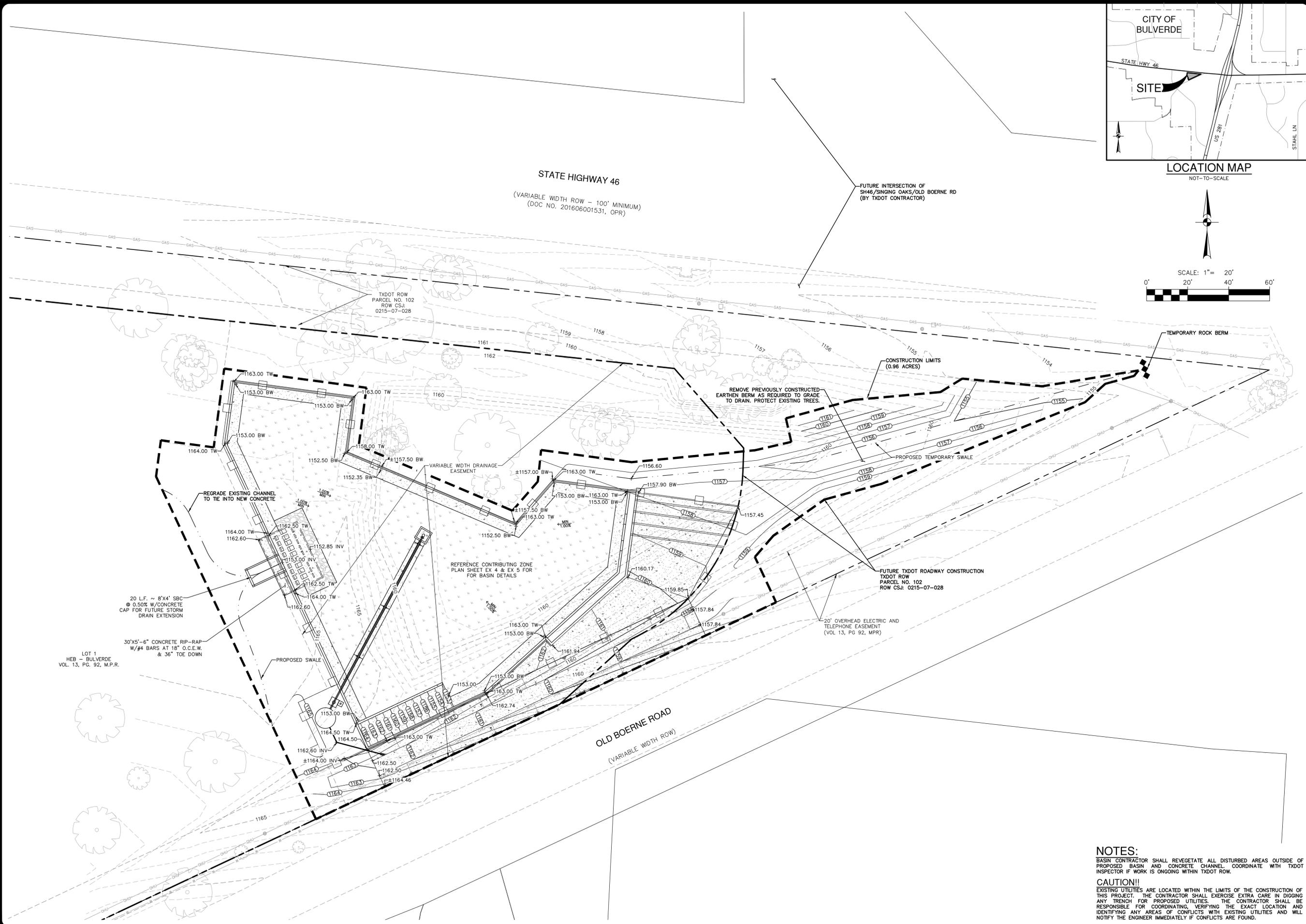
Sincerely,
Pape-Dawson Engineers, Inc.



Shauna L. Weaver, P.E.
Sr. Vice President

Attachments:
C1.00 - Site Cut and Fill Plan

P:\118\98\00\Word\Letter\200630A1 - Article 17.04 Variance Request.docx



NO.	REVISION	DATE



PAPE-DAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TPE FIRM REGISTRATION #470 | TPE FIRM REGISTRATION #1008880

DESCENDING DOVE HILLS COMMERCIAL
 BULVERDE, TEXAS
 CONTRIBUTING ZONE PLAN MODIFICATION II
 SITE CUT/FILL PLAN

PLAT NO.	--
JOB NO.	11898-00
DATE	JUNE 2020
DESIGNER	EK
CHECKED	DRAWN DD/EK
SHEET	C1.00

NOTES:
 BASIN CONTRACTOR SHALL REVEGETATE ALL DISTURBED AREAS OUTSIDE OF PROPOSED BASIN AND CONCRETE CHANNEL COORDINATE WITH TXDOT INSPECTOR IF WORK IS ONGOING WITHIN TXDOT ROW.
CAUTION!!
 EXISTING UTILITIES ARE LOCATED WITHIN THE LIMITS OF THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL EXERCISE EXTRA CARE IN DIGGING ANY TRENCH FOR PROPOSED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING, VERIFYING THE EXACT LOCATION AND IDENTIFYING ANY AREAS OF CONFLICTS WITH EXISTING UTILITIES AND WILL NOTIFY THE ENGINEER IMMEDIATELY IF CONFLICTS ARE FOUND.

Date: Jul 01, 2020, 10:27am User: s\shelton\sl...
 File: P:\18\98\100\Design\Exhibits\200611-Sub.dwg

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL. AERIAL IMAGERY PROVIDED BY GOOGLE/UNLESS OTHERWISE NOTED. Imagery © 2016/CAPCO/Digital Globe, Texas Orthology Program, USDA Farm Service Agency.

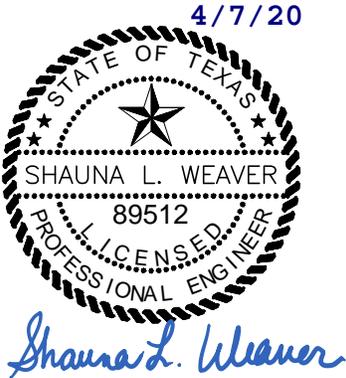
DESCENDING DOVE HILLS COMMERCIAL

**Contributing Zone Plan Application
Modification II**

April 2020

DESCENDING DOVE HILLS COMMERCIAL

Contributing Zone Plan Application Modification II



April 2020

TBPE, Firm Registration # 470 | TBPLS, Firm Registration # 10028800



April 6, 2020

Mr. Robert Sadlier
Texas Commission on Environmental Quality (TCEQ)
Region 13
14250 Judson Road
San Antonio, Texas 78233-4480

Re: Descending Dove Hills Commercial
Contributing Zone Plan Application Modification II

Dear Mr. Sadlier:

Please find attached one (1) original, one (1) copy, and one (1) digital copy of the Descending Dove Hills Commercial Contributing Zone Plan Application Modification II. This Contributing Zone Plan Modification II has been prepared in accordance with the Texas Administrative Code (30 TAC 213) and current policies for development over the Edwards Aquifer Contributing Zone.

This Contributing Zone Application Modification II applies to an approximately 24.85-acre site as identified by the project limits. Please review the plan information for the items it is intended to address. If acceptable, please provide a written approval of the plan in order that construction may begin at the earliest opportunity.

Appropriate review fees (\$6,500) and fee application form are included. If you have questions or require additional information, please call our office.

Sincerely,
Pape-Dawson Engineers, Inc.

A handwritten signature in blue ink that reads 'Shauna L. Weaver'.

Shauna Weaver, P.E.
Sr. Vice President

Attachments

P:\118\98\00\Word\Reports\CZP Mod\200325 - CZP Letter.docx

TBPE Firm Registration #470 | TBPLS Firm Registration #10028800

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2000 NW Loop 410, San Antonio, TX 78213 T: 210.375.9000 www.Pape-Dawson.com

**EDWARDS
AQUIFER
APPLICATION
COVER PAGE**

Texas Commission on Environmental Quality

Edwards Aquifer Application Cover Page

Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with [30 TAC 213](#).

Administrative Review

1. [Edwards Aquifer applications](#) must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains “possibly sensitive” features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.
2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be

clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.

3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or will be denied. Please note that because the technical review is underway, whether the application is withdrawn or denied **the application fee will be forfeited.**
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a “Mid-Review Modification”. Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available:

- If the technical review has begun your application can be denied/withdrawn, your fees will be forfeited, and the plan will have to be resubmitted.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is denied/withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the affected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ’s Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ’s San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

1. Regulated Entity Name:					2. Regulated Entity No.:				
3. Customer Name:					4. Customer No.:				
5. Project Type: (Please circle/check one)	New	Modification			Extension	Exception			
6. Plan Type: (Please circle/check one)	WPAP	CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
7. Land Use: (Please circle/check one)	Residential	Non-residential			8. Site (acres):				
9. Application Fee:				10. Permanent BMP(s):					
11. SCS (Linear Ft.):				12. AST/UST (No. Tanks):					
13. County:				14. Watershed:					

Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the “Texas Groundwater Conservation Districts within the EAPP Boundaries” map found at:

http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	—
Region (1 req.)	—	—	—
County(ies)	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Print Name of Customer/Authorized Agent

Shauna L. Weaver

Signature of Customer/Authorized Agent

Date

****FOR TCEQ INTERNAL USE ONLY****

Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):

**MODIFICATION
TO A PREVIOUSLY
APPROVED PLAN**

Modification of a Previously Approved Plan

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Transition Zone and Relating to 30 TAC 213.4(j), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This request for a **Modification of a Previously Approved Plan** is hereby submitted for TCEQ review and executive director approval. The request was prepared by:

Print Name of Customer/Agent: Shauna Weaver, P.E.

Date: 4/7/20

Signature of Customer/Agent:



Project Information

1. Current Regulated Entity Name: Descending Dove Hills Commercial
Original Regulated Entity Name: H.E.B. Bulverde
Regulated Entity Number(s) (RN): 103117428
Edwards Aquifer Protection Program ID Number(s): 1372.00
 The applicant has not changed and the Customer Number (CN) is: _____
 The applicant or Regulated Entity has changed. A new Core Data Form has been provided.
2. **Attachment A: Original Approval Letter and Approved Modification Letters.** A copy of the original approval letter and copies of any modification approval letters are attached.

3. A modification of a previously approved plan is requested for (check all that apply):
- Physical or operational modification of any water pollution abatement structure(s) including but not limited to ponds, dams, berms, sewage treatment plants, and diversionary structures;
 - Change in the nature or character of the regulated activity from that which was originally approved or a change which would significantly impact the ability of the plan to prevent pollution of the Edwards Aquifer;
 - Development of land previously identified as undeveloped in the original water pollution abatement plan;
 - Physical modification of the approved organized sewage collection system;
 - Physical modification of the approved underground storage tank system;
 - Physical modification of the approved aboveground storage tank system.
4. Summary of Proposed Modifications (select plan type being modified). If the approved plan has been modified more than once, copy the appropriate table below, as necessary, and complete the information for each additional modification.

<i>WPAP Modification</i>	<i>Approved Project</i>	<i>Proposed Modification</i>
<i>Summary</i>		
Acres	<u>29</u>	<u>24.85</u>
Type of Development	<u>Commercial</u>	<u>Commercial</u>
Number of Residential Lots	<u>N/A</u>	<u>N/A</u>
Impervious Cover (acres)	<u>16.95</u>	<u>17.54</u>
Impervious Cover (%)	<u>58.44</u>	<u>70.58</u>
Permanent BMPs	<u>One (1) Sand Filter Basin</u>	<u>One (1) Batch Basin</u>
Other	_____	_____

<i>SCS Modification</i>	<i>Approved Project</i>	<i>Proposed Modification</i>
<i>Summary</i>		
Linear Feet	_____	_____
Pipe Diameter	_____	_____
Other	_____	_____

AST Modification	Approved Project	Proposed Modification
Summary		
Number of ASTs	_____	_____
Volume of ASTs	_____	_____
Other	_____	_____

UST Modification	Approved Project	Proposed Modification
Summary		
Number of USTs	_____	_____
Volume of USTs	_____	_____
Other	_____	_____

5. **Attachment B: Narrative of Proposed Modification.** A detailed narrative description of the nature of the proposed modification is attached. It discusses what was approved, including any previous modifications, and how this proposed modification will change the approved plan.

6. **Attachment C: Current Site Plan of the Approved Project.** A current site plan showing the existing site development (i.e., current site layout) at the time this application for modification is attached. A site plan detailing the changes proposed in the submitted modification is required elsewhere.
 - The approved construction has not commenced. The original approval letter and any subsequent modification approval letters are included as Attachment A to document that the approval has not expired.
 - The approved construction has commenced and has been completed. Attachment C illustrates that the site was constructed as approved.
 - The approved construction has commenced and has been completed. Attachment C illustrates that the site was **not** constructed as approved.
 - The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was constructed as approved.
 - The approved construction has commenced and has **not** been completed. Attachment C illustrates that, thus far, the site was **not** constructed as approved.

7. The acreage of the approved plan has increased. A Geologic Assessment has been provided for the new acreage.
 - Acreage has not been added to or removed from the approved plan.

8. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

ATTACHMENT A

Robert J. Huston, *Chairman*
R. B. "Ralph" Marquez, *Commissioner*
John M. Baker, *Commissioner*
Jeffrey A. Saitas, *Executive Director*



TEXAS NATURAL RESOURCE CONSERVATION COMMISSION

Protecting Texas by Reducing and Preventing Pollution

December 21, 1999

DEC 22 1999

FILE

Mr. Todd Piland
Senior Vice President
H.E. Butt Grocery Company
646 South Main Ave.
San Antonio, TX 78204-1210

Re: Edwards Aquifer, Comal County
NAME OF PROJECT: H.E.B. Bulverde; Located on the southwest corner of State Highway 46 and Old Boerne Road; Bulverde, Texas
TYPE OF PLAN: Request for Approval of a Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer
Edwards Aquifer Protection Program File No. 1372.00

Dear Mr. Piland:

The Texas Natural Resource Conservation Commission (TNRCC) received the CZP application for the referenced project submitted to the San Antonio Regional Office by David M. McBeth, P.E., on behalf of H.E. Butt Grocery Company on October 20, 1999. As presented to the Texas Natural Resource Conservation Commission (TNRCC), the Temporary and Permanent Best Management Practices (BMPs) and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed, and dated by a Texas Licensed Professional Engineer. Final review of the application was not completed within fifteen days; therefore, as required by 30 TAC §213.23(e)(3), approval of this Contributing Zone Plan application was granted. This approval is subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Contributing Zone Plan. A motion for reconsideration must be filed no later than 20 days after the approval date. *This approval expires in two (2) years unless, prior to the expiration date, more than 10% of the construction has commenced on the project or an extension of time has been requested.*

PROJECT DESCRIPTION

The proposed commercial project will be located on 29 acres and will consist of the construction of an H.E.B. grocery store, a commercial shopping complex (approximately 153,150 square feet) and approximately 585,011 square feet of associated parking. The proposed impervious cover for the development is approximately 16.95 acres (67.4% of the total area of the site).

REPLY TO: REGION 13 • 140 HEIMER RD., STE. 360 • SAN ANTONIO, TEXAS 78232-5042 • 210/490-3096 • FAX 210/545-4329

P.O. Box 13087 • Austin, Texas 78711-3087 • 512/239-1000 • Internet address: www.tnrcc.state.tx.us

PERMANENT POLLUTION ABATEMENT MEASURES

The following measures will be taken to prevent pollution of stormwater originating on-site or up-gradient from the project site and potentially flowing across and off the site after construction:

A partial sedimentation/filtration basin has been designed in accordance with the TNRCC Technical Guidance on Best Management Practices manual and is sized to capture the first 0.71 inches of stormwater run-off from 25.15 acres, providing a total capture volume of 77,782 cubic feet. The filtration system will consist of:

1. 7,292 square feet of sand, which is 18 inches thick,
2. an underdrain piping covered with geotextile fabric, and
3. an impervious liner.

STANDARD CONDITIONS

1. Pursuant to §26.136 of the Texas Water Code and the Texas Health and Safety Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.

Prior to Commencement of Construction:

2. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project until all regulated activities are completed.
3. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
4. The applicant must provide written notification of intent to commence construction of the referenced project. Notification must be submitted to the Austin Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the date on which the regulated activity will commence, the name of the approved plan and file number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person.
5. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved SWPPP must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TNRCC may monitor

stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

6. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
7. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
8. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
9. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

10. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.
11. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TNRCC-10263) is enclosed.

Mr. Todd Piland
December 15, 1999
Page 4

12. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
13. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50% of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
14. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

If you have any questions or require additional information, please contact Tom Gutierrez of the Edwards Aquifer Protection Program of the San Antonio Regional Office 210-403-4025.

Sincerely,



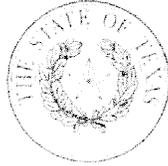
Jeffrey A. Saitas, P.E.
Executive Director
Texas Natural Resource Conservation Commission

JAS/TG/eg

Enclosure: Change in Responsibility for Maintenance on Permanent BMPs-Form TNRCC-10263

cc: Mr. David McBeth, Pape-Dawson Engineering, Inc.
Mr. Tom Hornseth, Comal County
Mr. Greg Ellis, Edwards Aquifer Authority
Mr. John Bohuslav, TXDOT San Antonio District
TNRCC Field Operations, Austin, Texas

Bryan W. Shaw, Ph.D., *Chairman*
Buddy Garcia, *Commissioner*
Carlos Rubinstein, *Commissioner*
Mark R. Vickery, P.G., *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

June 11, 2010

Mr. William A. Reynolds
HEB Grocery Company, Inc.
646 South Main Avenue
San Antonio, Texas 78204

Re: Edwards Aquifer, Comal County
NAME OF PROJECT: Descending Dove Hills Commercial; Located on the south side of State Highway 46 south of Windmill Ranch Road; Spring Branch, Texas
TYPE OF PLAN: Request for Modification of an Approved Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer
Edwards Aquifer Protection Program ID No. 1372.02; Investigation No. 796859; Regulated Entity No. RN103117438

Dear Mr. Reynolds:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP modification for the above-referenced project submitted to the San Antonio Regional Office by Pape-Dawson Engineers, Inc., on behalf of HEB Grocery Company, Inc., on March 17, 2010. Final review of the CZP was completed after additional material was received on May 5, 2010, June 3, 2010, June 9, 2010 and June 10, 2010. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

By letter dated December 21, 1999, approval was granted for a proposed commercial project that is located on 29 acres and consisted of construction of an H.E.B., grocery store, a commercial shopping complex (approximately 153,150 square feet), a partial sedimentation/filtration basin and approximately 585,011 square feet of associated parking. The proposed impervious cover for the development is 16.95 acres (67.4 percent) of the total area of the site.

The development was permitted under a Contributing Zone Plan (CZP) entitled "H.E.B. Bulverde" (EAPP No. 1372.00).

REPLY TO: REGION 13 • 14250 JUDSON RD. • SAN ANTONIO, TEXAS 78233-4480 • 210-490-3096 • FAX 210-545-4329

P.O. Box 13087 • Austin, Texas 78711-3087 • 512-239-1000 • Internet address: www.tceq.state.tx.us

printed on recycled paper using soy based ink

EXHIBIT A
(page 1 of 5)

PROJECT DESCRIPTION

The site limits are approximately 62.58 acres, of which, the expansion project encompasses 34.25 acres. It will include a new HEB grocery store, restaurant/retail space and associated parking. Approximately 33.58 acres of the 34.25 acre project limits is an existing development containing 9 residential and commercial structures with associated storage sheds, pump houses, playgrounds, 9 on-site sewage facilities, and a pool. The demolition of existing structures is on going. The site for the first phase of the HEB development consists of three (3) buildings, a fueling station, carwash and associated parking. The impervious cover will be 20.83 acres (61 percent). Project wastewater will be disposed of by conveyance to the existing Bulverde-BexarMet Water Recycling Center owned by the Bexar Metropolitan Water District.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, two partial sedimentation/filtration basins and two Vortech units, designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be constructed to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 27,575 pounds of TSS generated from the 20.83 acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

Drainage Area/Basin	Total Watershed Area (ac.)	Existing I.C. (a..c)	Proposed I.C. (a.c)	Calc. Min. Capture Volume (cu.ft)	Design Capture Volume (cu.ft)	Calc.Filter Area (sq.ft)	Design Filter Area (sq.ft)	Min. TSS Removal (lb/yr.)	Design TSS Removal (lb./yr.)
Basin A	12.12	0.31	11.51	56,506	62,394	5,651	5,685	10,056.71	11,710.16
Basin B	5.24	1.26	4.98	25,492	26,057	2,549	2,892	3,337.28	5,062.81
Exist. Basin*	0.41	0.00	0.41	77,782	77,969	7,292	9,326	11,243.37	11,243.37
Vortech C	1.62	0.06	1.54	-	-	-	-	1,328.00	1,442.11
Vortech D	1.14	0.46	1.08	-	-	-	-	559.00	1,014.82
Open Space - Landscaping**	12.34	0.00	0.00	-	-	-	-	0.00	0.00
Total Uncaptured***	1.38	0.14	1.31	-	-	-	-	1,051.09	-
Total	34.25	2.23	20.83					27,575.45	30,473.27

* Note, the figures listed on this table apply only to the area within the project limits

** Areas that do not contain impervious cover

*** Total Uncaptured Area = Area F, G & H; Overtreatment provided in Basin B

SPECIAL CONDITIONS

- I. Within 60 days of receiving written approval of an Edwards Aquifer Protection Plan, the applicant must submit to the San Antonio Regional Office, proof of recordation of notice in the county deed records, with the volume and page number(s) of the county deed records of the county in which the property is located. A description of the property boundaries shall be included in the deed recordation in the county deed records. A suggested format (Deed Recordation Affidavit, TCEQ-0625A) that you may use to deed record the approved CZP is enclosed.

EXHIBIT A
 (page 2 of 5)

- II. This modification is subject to all Special and Standard Conditions listed in the CZP approval letter dated December 21, 1999.
- III. All permanent pollution abatement measures shall be operational prior to occupancy of the facility.
- IV. All sediment and/or media removed from the water quality basins and vortech units during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.
- V. Activities observed during the site assessment investigation, conducted on May 25, 2010, are alleged to constitute construction without prior approval of the proposed contributing zone plan as required by Commission rules (30 TAC Chapter 213, Sub-Chapter B). Therefore, the applicant is hereby advised that the after-the-fact approval of the development, as provided by this letter, shall not absolve the applicant of any prior violations of Commission rules related to this project, and shall not necessarily preclude the Commission from pursuing appropriate enforcement actions and administrative penalties associated with such violations, as provided in 30 TAC §213.10 of Commission rules.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.

EXHIBIT A
(page 3 of 5)

7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden storm water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

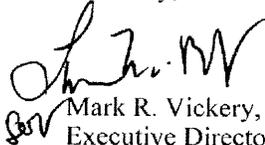
14. Owners of permanent BMPs and measures must insure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.

EXHIBIT A
(page 4 of 5)

15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.
16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

If you have any questions or require additional information, please contact Stacy Tanner of the Edwards Aquifer Protection Program of the San Antonio Regional Office at 210/403-4078.

Sincerely,



Mark R. Vickery, P.G.
Executive Director
Texas Commission on Environmental Quality

MRV/SMT/eg

Enclosures: Deed Recordation Affidavit, Form TCEQ-0625A
Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Ms. Shauna L. Weaver, P.E., Pape-Dawson Engineers, Inc.
The Honorable Bill Krawietz, City of Bulverde
Mr. Tom Hornseth, P.E., Comal County
Mr. Karl J. Dreher, Edwards Aquifer Authority
TCEQ Central Records, Building F, MC212

EXHIBIT A
(page 5 of 5)

Filed and Recorded
Official Public Records
Joy Streater, County Clerk
Comal County, Texas
08/06/2010 01:48:15 PM
CASHTHREE
201006025870



Joy Streater

BLANK

ATTACHMENT B

DESCENDING DOVE HILLS COMMERCIAL Modification of a Previously Approved Plan (TCEQ-0590)

Attachment B –Modification Summary

This Contributing Zone Plan Modification II for Descending Dove Hills Commercial proposes the modification of one (1) existing sand filter basin into one (1) batch detention basin. The project site is located within the City of Bulverde in Comal County, Texas. The site is located entirely over the Edwards Aquifer Contributing Zone. Only 0.93 Acres of the proposed 24.85-acre project area will be disturbed as a result of this basin modification.

The proposed site will remain as commercial. Commercial developments associated with the original CZP approved in 1999 and the first CZP modification approved in 2010 were constructed as planned and remain operational. This second modification proposes demolition and reconstruction of the original sand-filtration basin approved in 1999.

This CZP modification proposes clearing, grading, excavation and installation of drainage improvements for this basin modification. 4.73 acres of impervious cover is proposed with this CZP however this basin modification will be including 0.39 acres of additional impervious cover previously approved with the Descending Dove Hills Commercial Contributing Zone Plan Modification I approved on June 11, 2010 and 12.42 acres of impervious cover approved with the HEB Bulverde Contributing Zone Plan approved on December 21, 1999. Approximately 17.54 acres of total impervious cover is included with this project and treated by the proposed batch detention basin, or 70.58% of the 24.85-acre site.

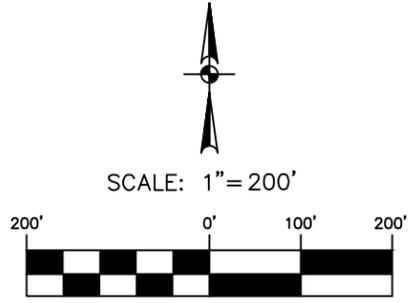
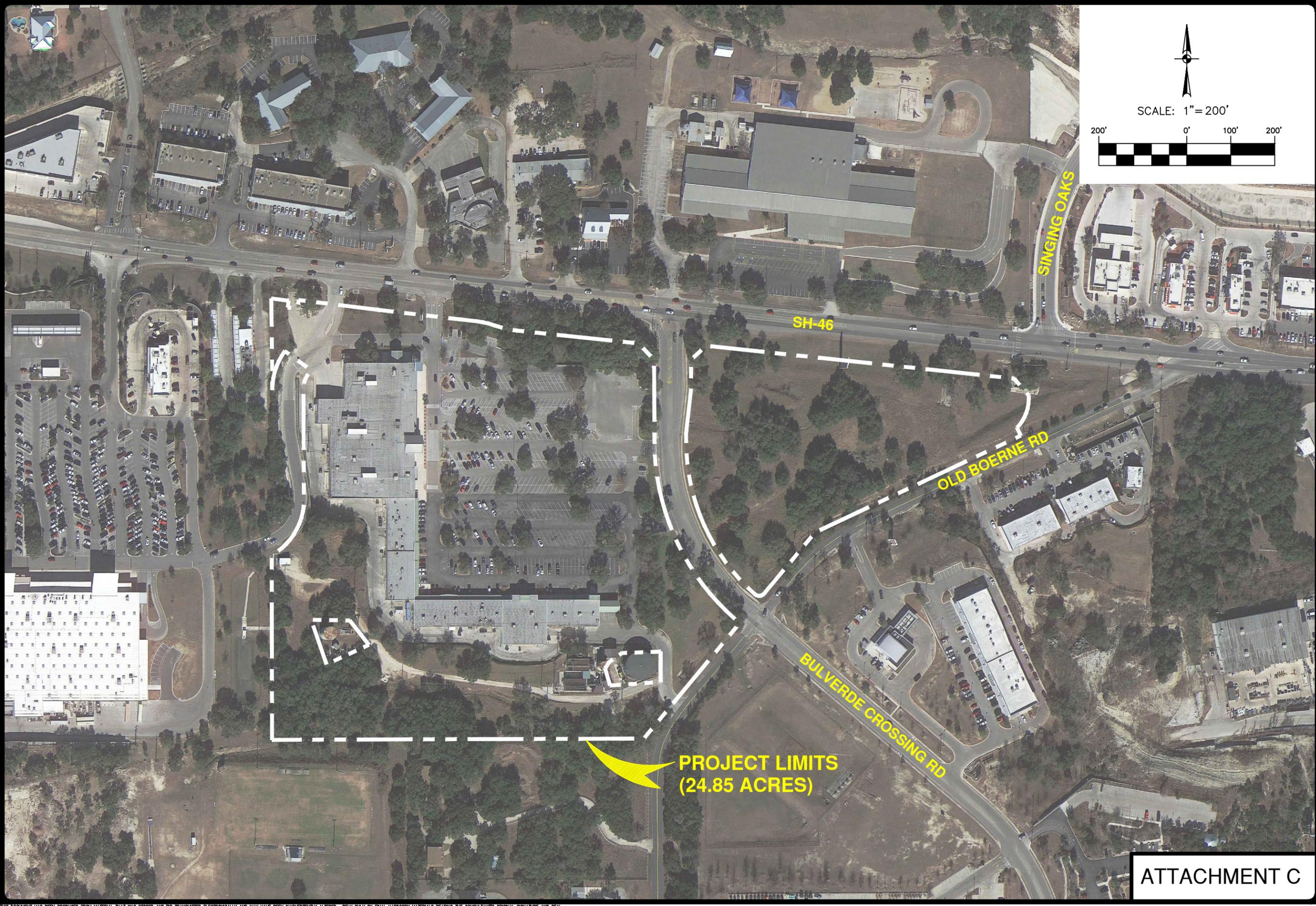
The permanent BMPs for this CZP is one (1) proposed batch detention basin which has been designed in accordance with the TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) to remove 80% of the increase in Total Suspended Solids (TSS) from the site. See TSS Treatment Summary Table for details.

Since this project is located entirely over the Edwards Aquifer Contributing Zone, a Geological Assessment was not conducted and is not required by 30 TAC 213 regulations. Therefore, no naturally-occurring sensitive features are known to exist on the site.

Potable water will be supplied by the Canyon Lake Water Supply Company (CLWSC). The proposed development will generate approximately 22,000 gallons per day (average flow) of domestic wastewater. Wastewater will be disposed of by conveyance to an onsite wastewater treatment facility owned by SJWTX, Inc.

ATTACHMENT C

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**PAPE-DAWSON
ENGINEERS**
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBE FIRM REGISTRATION #70 | TBPFS FIRM REGISTRATION #10028800

DESCENDING DOVE HILLS COMMERCIAL
BULVERDE, TEXAS
EXISTING CONDITIONS EXHIBIT

JOB NO. 11898-00
DATE MAR. 2020
DESIGNER EDK
CHECKED GS
DRAWN EDK
SHEET 1 of 1

ATTACHMENT C

THIS DOCUMENT HAS BEEN PRODUCED FROM MATERIAL THAT WAS STORED AND/OR TRANSMITTED ELECTRONICALLY AND MAY HAVE BEEN INADVERTENTLY ALTERED. RELY ONLY ON FINAL HARD COPY MATERIALS BEARING THE CONSULTANT'S ORIGINAL SIGNATURE AND SEAL.

CONTRIBUTING ZONE PLAN APPLICATION

Contributing Zone Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Contributing Zone to the Edwards Aquifer and Relating to 30 TAC §213.24(1), Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Contributing Zone Plan Application** is hereby submitted for TCEQ review and Executive Director approval. The application was prepared by:

Print Name of Customer/Agent: Shauna Weaver, P.E.

Date: 4/7/20

Signature of Customer/Agent:



Regulated Entity Name: Descending Dove Hills Commercial

Project Information

1. County: Comal
2. Stream Basin: Lewis Creek
3. Groundwater Conservation District (if applicable): Comal Trinity, Edwards Aquifer Authority
4. Customer (Applicant):

Contact Person: Ben Scott

Entity: H-E-B, LP.

Mailing Address: 646 South Flores Street

City, State: San Antonio, Texas

Telephone: (210) 938-0722

Email Address: scott.ben@heb.com

Zip: 78204

Fax: _____

5. Agent/Representative (If any):

Contact Person: Shauna Weaver, P.E.

Entity: Pape-Dawson Engineers, Inc.

Mailing Address: 2000 NW Loop 410

City, State: San Antonio, Texas

Zip: 78213

Telephone: (210) 375-9000

Fax: (210) 375-9010

Email Address: sweaver@pape-dawson.com

6. Project Location:

- The project site is located inside the city limits of Bulverde.
- The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of _____.
- The project site is not located within any city's limits or ETJ.

7. The location of the project site is described below. Sufficient detail and clarity has been provided so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

From TCEQ's regional office, travel approximately 2.5 miles north on Judson Road to Loop 1604. Turn left onto Loop 1604 and travel approximately 5 miles to U.S. Hwy 281. Exit right onto U.S. 281 and travel north approximately 13.1 miles to the exit for SH-46. Turn left and proceed west on SH-46 and travel approximately 0.15 miles. The project site is located at the southwest corner of Old Boerne Road and SH-46 in Bulverde, TX .

8. **Attachment A - Road Map.** A road map showing directions to and the location of the project site is attached. The map clearly shows the boundary of the project site.
9. **Attachment B - USGS Quadrangle Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') is attached. The map(s) clearly show:
- Project site boundaries.
 - USGS Quadrangle Name(s).
10. **Attachment C - Project Narrative.** A detailed narrative description of the proposed project is attached. The project description is consistent throughout the application and contains, at a minimum, the following details:
- Area of the site
 - Offsite areas
 - Impervious cover
 - Permanent BMP(s)
 - Proposed site use
 - Site history
 - Previous development
 - Area(s) to be demolished

11. Existing project site conditions are noted below:

- Existing commercial site
- Existing industrial site
- Existing residential site
- Existing paved and/or unpaved roads
- Undeveloped (Cleared)
- Undeveloped (Undisturbed/Not cleared)
- Other: _____

12. The type of project is:

- Residential: # of Lots: _____
- Residential: # of Living Unit Equivalents: _____
- Commercial
- Industrial
- Other: _____

13. Total project area (size of site): 26.27 Acres

Total disturbed area: 26.27 Acres

14. Estimated projected population: N/A

15. The amount and type of impervious cover expected after construction is complete is shown below:

Table 1 - Impervious Cover

<i>Impervious Cover of Proposed Project</i>	<i>Sq. Ft.</i>	<i>Sq. Ft./Acre</i>	<i>Acres</i>
Structures/Rooftops	114,562.8	÷ 43,560 =	2.63
Parking	649,479.6	÷ 43,560 =	14.91
Other paved surfaces		÷ 43,560 =	
Total Impervious Cover	764,042.4	÷ 43,560 =	17.54

Total Impervious Cover $\frac{17.54}{24.85} \times 100 = 70.58\%$ Impervious Cover

- 16. **Attachment D - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water quality is attached. If applicable, this includes the location and description of any discharge associated with industrial activity other than construction.
- 17. Only inert materials as defined by 30 TAC 330.2 will be used as fill material.

For Road Projects Only

Complete questions 18 - 23 if this application is exclusively for a road project.

N/A

18. Type of project:

- TXDOT road project.
- County road or roads built to county specifications.
- City thoroughfare or roads to be dedicated to a municipality.
- Street or road providing access to private driveways.

19. Type of pavement or road surface to be used:

- Concrete
- Asphaltic concrete pavement
- Other: _____

20. Right of Way (R.O.W.):

Length of R.O.W.: _____ feet.

Width of R.O.W.: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

21. Pavement Area:

Length of pavement area: _____ feet.

Width of pavement area: _____ feet.

$L \times W = \text{_____ Ft}^2 \div 43,560 \text{ Ft}^2/\text{Acre} = \text{_____ acres.}$

Pavement area _____ acres \div R.O.W. area _____ acres $\times 100 = \text{_____}\%$ impervious cover.

22. A rest stop will be included in this project.

A rest stop will not be included in this project.

23. Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

Stormwater to be generated by the Proposed Project

24. **Attachment E - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

Wastewater to be generated by the Proposed Project

25. Wastewater is to be discharged in the contributing zone. Requirements under 30 TAC §213.6(c) relating to Wastewater Treatment and Disposal Systems have been satisfied.

N/A

26. Wastewater will be disposed of by:

On-Site Sewage Facility (OSSF/Septic Tank):

Attachment F - Suitability Letter from Authorized Agent. An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.

Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

Sewage Collection System (Sewer Lines):

The sewage collection system will convey the wastewater to the Onsite (name) Treatment Plant. The treatment facility is:

Existing.

Proposed.

N/A

Permanent Aboveground Storage Tanks(ASTs) ≥ 500 Gallons

Complete questions 27 - 33 if this project includes the installation of AST(s) with volume(s) greater than or equal to 500 gallons.

N/A

27. Tanks and substance stored:

Table 2 - Tanks and Substance Storage

<i>AST Number</i>	<i>Size (Gallons)</i>	<i>Substance to be Stored</i>	<i>Tank Material</i>
1			
2			
3			

<i>AST Number</i>	<i>Size (Gallons)</i>	<i>Substance to be Stored</i>	<i>Tank Material</i>
4			
5			

Total x 1.5 = _____ Gallons

28. The AST will be placed within a containment structure that is sized to capture one and one-half (1 1/2) times the storage capacity of the system. For facilities with more than one tank system, the containment structure is sized to capture one and one-half (1 1/2) times the cumulative storage capacity of all systems.

Attachment G - Alternative Secondary Containment Methods. Alternative methods for providing secondary containment are proposed. Specifications showing equivalent protection for the Edwards Aquifer are attached.

29. Inside dimensions and capacity of containment structure(s):

Table 3 - Secondary Containment

<i>Length (L)(Ft.)</i>	<i>Width(W)(Ft.)</i>	<i>Height (H)(Ft.)</i>	<i>L x W x H = (Ft3)</i>	<i>Gallons</i>

Total: _____ Gallons

30. Piping:

- All piping, hoses, and dispensers will be located inside the containment structure.
- Some of the piping to dispensers or equipment will extend outside the containment structure.
- The piping will be aboveground
- The piping will be underground

31. The containment area must be constructed of and in a material impervious to the substance(s) being stored. The proposed containment structure will be constructed of: _____.

32. **Attachment H - AST Containment Structure Drawings.** A scaled drawing of the containment structure is attached that shows the following:

- Interior dimensions (length, width, depth and wall and floor thickness).
- Internal drainage to a point convenient for the collection of any spillage.
- Tanks clearly labeled
- Piping clearly labeled

- Dispenser clearly labeled
33. Any spills must be directed to a point convenient for collection and recovery. Spills from storage tank facilities must be removed from the controlled drainage area for disposal within 24 hours of the spill.
- In the event of a spill, any spillage will be removed from the containment structure within 24 hours of the spill and disposed of properly.
- In the event of a spill, any spillage will be drained from the containment structure through a drain and valve within 24 hours of the spill and disposed of properly. The drain and valve system are shown in detail on the scaled drawing.

Site Plan Requirements

Items 34 - 46 must be included on the Site Plan.

34. The Site Plan must have a minimum scale of 1" = 400'.
Site Plan Scale: 1" = 100'.
35. 100-year floodplain boundaries:
- Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.
- No part of the project site is located within the 100-year floodplain.
The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): FEMA Panel Number 48091C0220F, dated September 2, 2009.
36. The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
- The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot contour intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, etc. are shown on the site plan.
37. A drainage plan showing all paths of drainage from the site to surface streams.
38. The drainage patterns and approximate slopes anticipated after major grading activities.
39. Areas of soil disturbance and areas which will not be disturbed.
40. Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
41. Locations where soil stabilization practices are expected to occur.
42. Surface waters (including wetlands).
 N/A

43. Locations where stormwater discharges to surface water.
 There will be no discharges to surface water.
44. Temporary aboveground storage tank facilities.
 Temporary aboveground storage tank facilities will not be located on this site.
45. Permanent aboveground storage tank facilities.
 Permanent aboveground storage tank facilities will not be located on this site.
46. Legal boundaries of the site are shown.

Permanent Best Management Practices (BMPs)

Practices and measures that will be used during and after construction is completed.

47. Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.
 N/A
48. These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.
 The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.
 A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: _____.
 N/A
49. Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.
 N/A
50. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

- The site will be used for low density single-family residential development and has 20% or less impervious cover.
- The site will be used for low density single-family residential development but has more than 20% impervious cover.
- The site will not be used for low density single-family residential development.

51. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

- Attachment I - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.
- The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.
- The site will not be used for multi-family residential developments, schools, or small business sites.

52. **Attachment J - BMPs for Upgradient Stormwater.**

- A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
- No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
- Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.

53. **Attachment K - BMPs for On-site Stormwater.**

- A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
- Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.

54. **Attachment L - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams is attached.

N/A

55. **Attachment M - Construction Plans.** Construction plans and design calculations for the proposed permanent BMPs and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. Construction plans for the proposed permanent BMPs and measures are attached and include: Design calculations, TCEQ Construction Notes, all proposed structural plans and specifications, and appropriate details.

N/A

56. **Attachment N - Inspection, Maintenance, Repair and Retrofit Plan.** A site and BMP specific plan for the inspection, maintenance, repair, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan fulfills all of the following:

- Prepared and certified by the engineer designing the permanent BMPs and measures
- Signed by the owner or responsible party
- Outlines specific procedures for documenting inspections, maintenance, repairs, and, if necessary, retrofit.
- Contains a discussion of record keeping procedures

N/A

57. **Attachment O - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.

N/A

58. **Attachment P - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that result in water quality degradation.

N/A

Responsibility for Maintenance of Permanent BMPs and Measures after Construction is Complete.

59. The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be

responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.

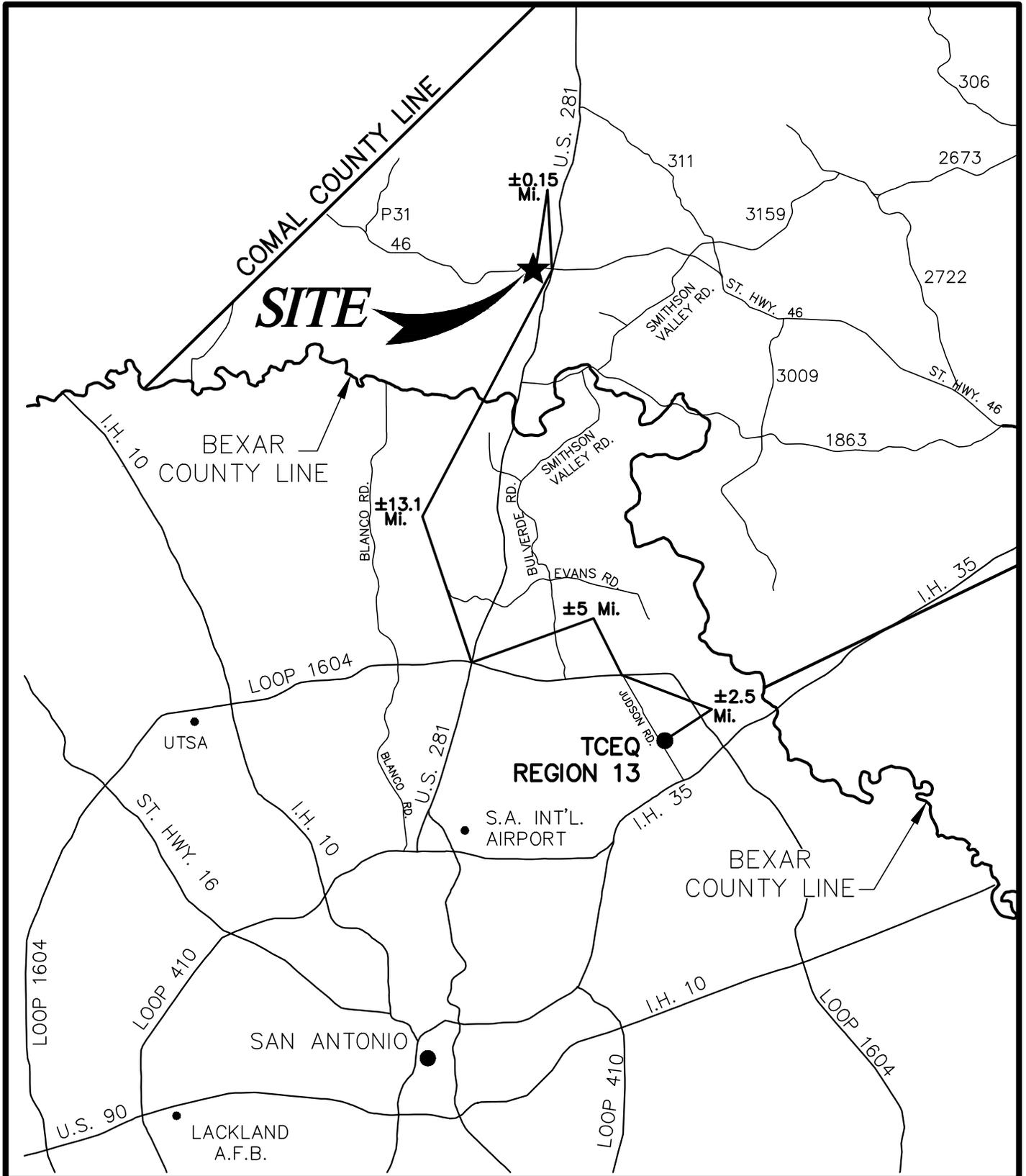
60. A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.

Administrative Information

61. Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions.
62. Any modification of this Contributing Zone Plan may require TCEQ review and Executive Director approval prior to construction, and may require submission of a revised application, with appropriate fees.
63. The site description, controls, maintenance, and inspection requirements for the storm water pollution prevention plan (SWPPP) developed under the EPA NPDES general permits for stormwater discharges have been submitted to fulfill paragraphs 30 TAC §213.24(1-5) of the technical report. All requirements of 30 TAC §213.24(1-5) have been met by the SWPPP document.
- The Temporary Stormwater Section (TCEQ-0602) is included with the application.

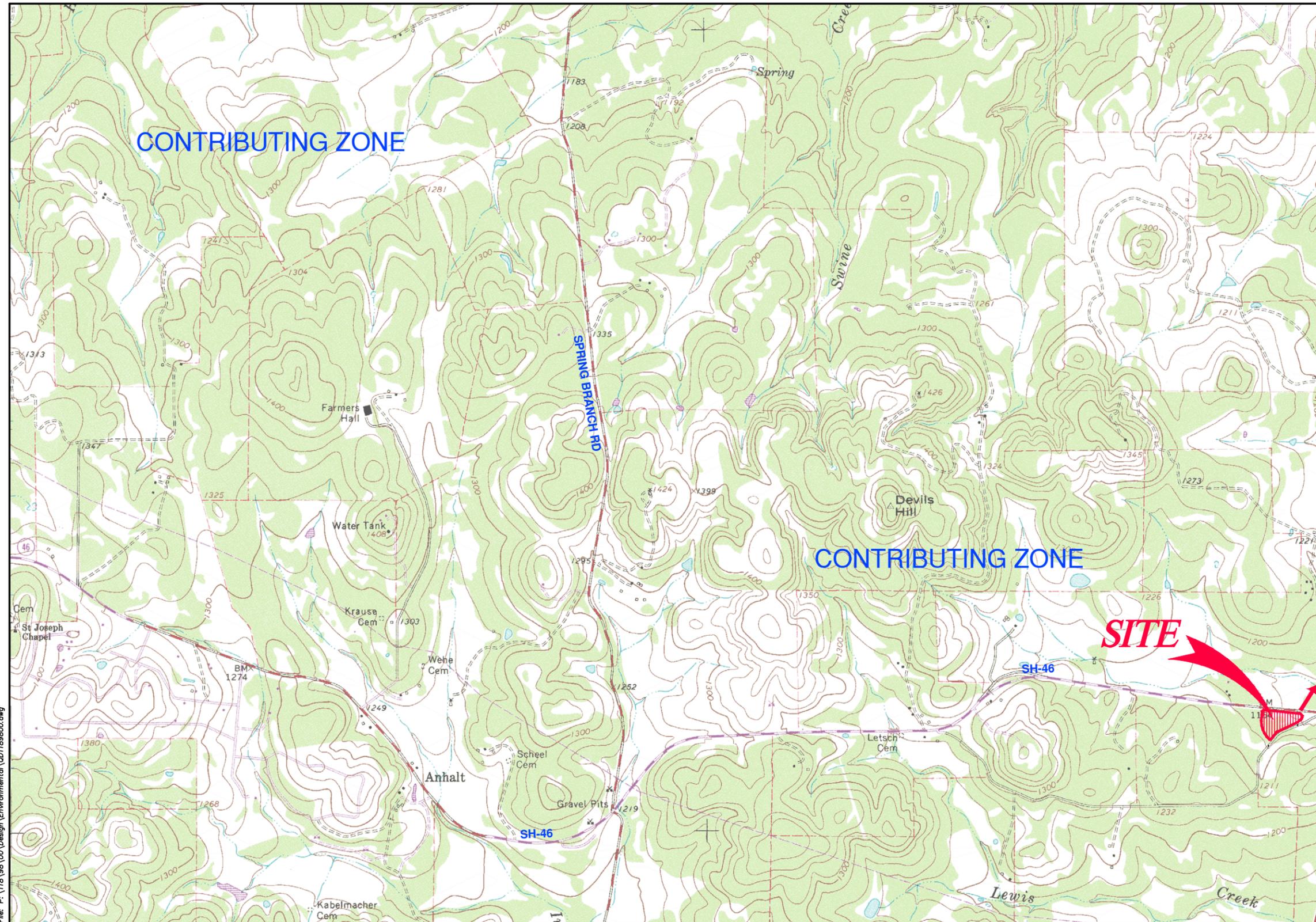
ATTACHMENT A

**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Modification II**



ATTACHMENT B

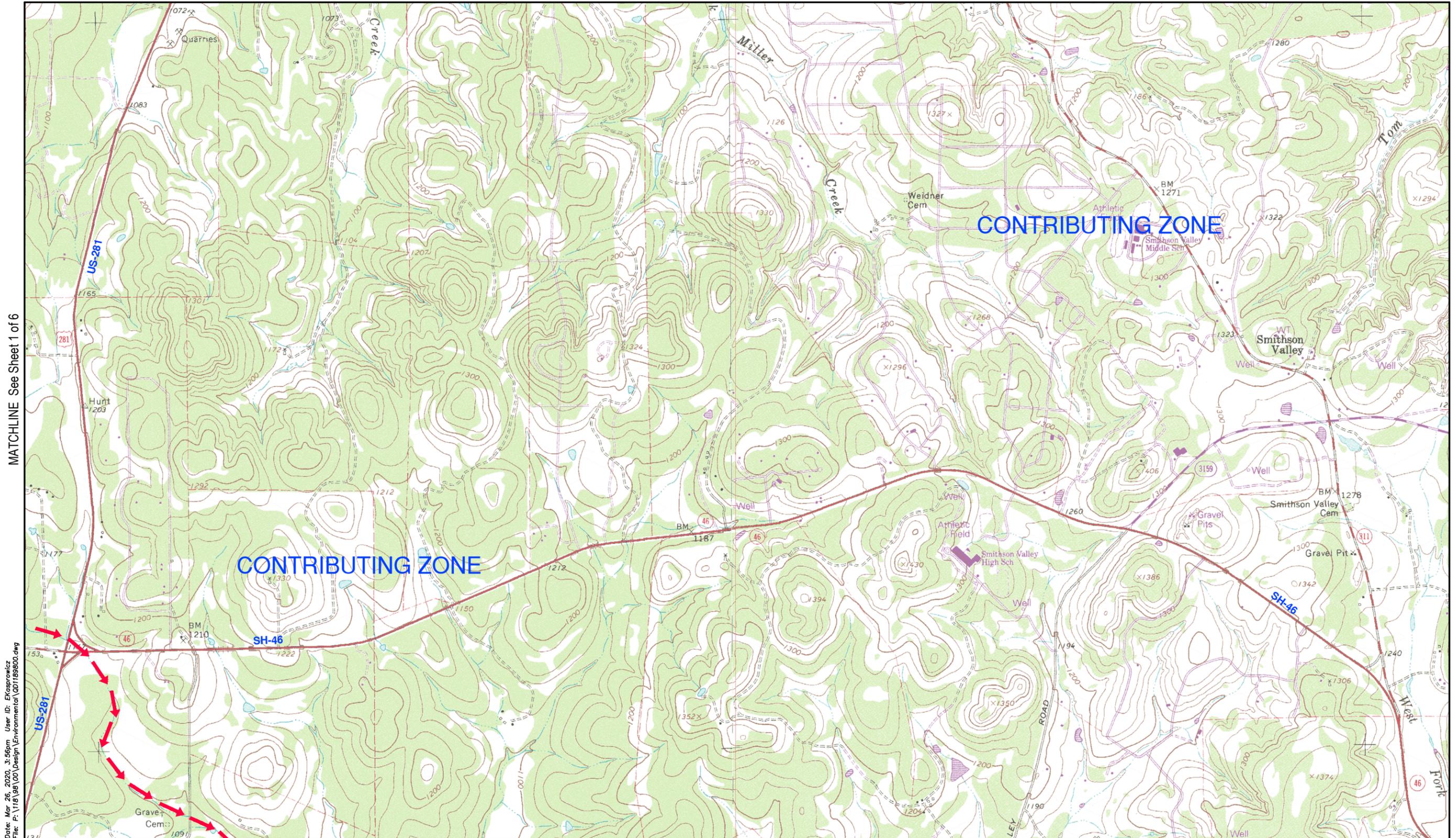
DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Modification II



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**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Modification II**

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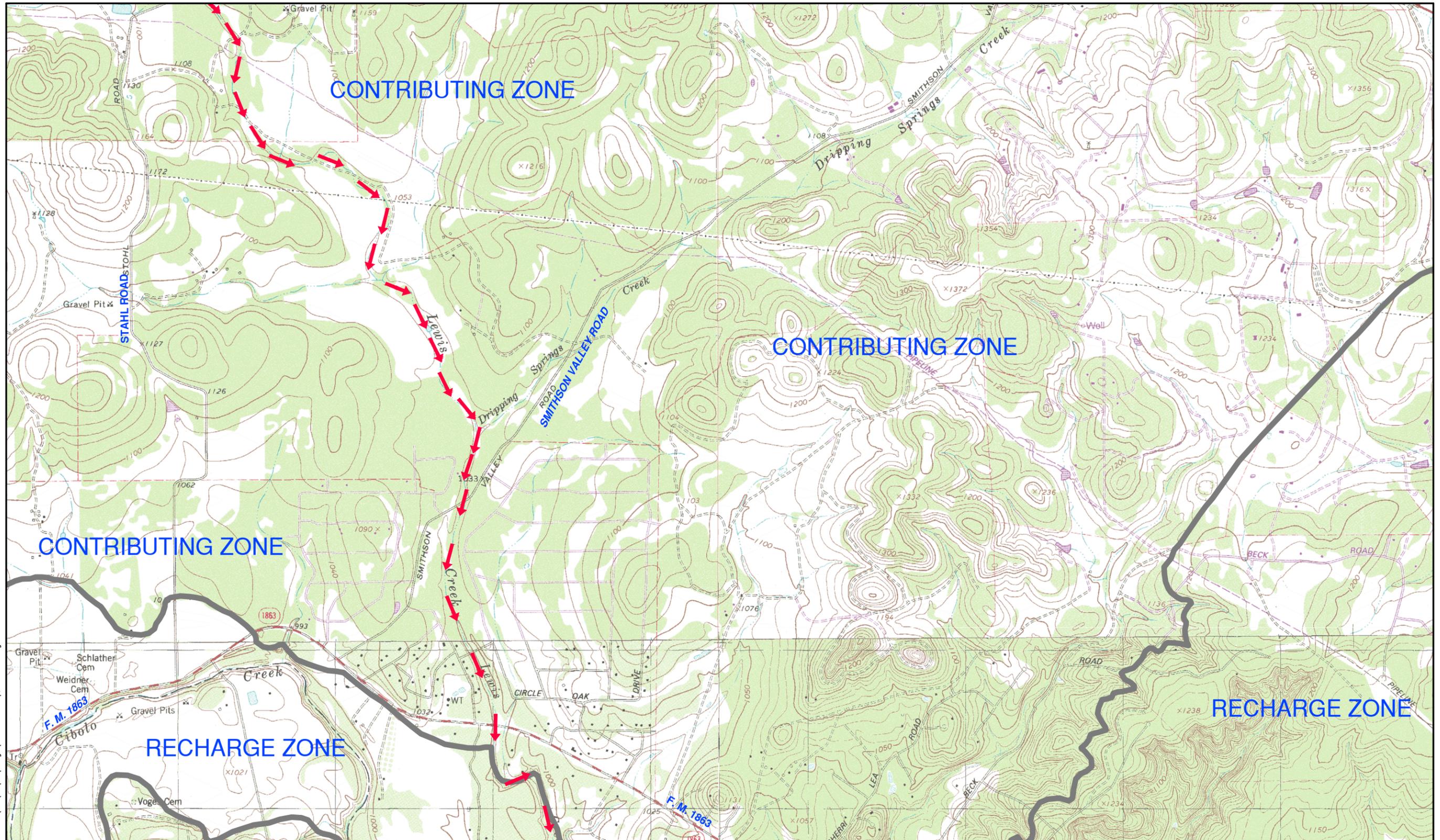
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DRAINAGE FLOW **→ → →**
Pape-Dawson Engineers, Inc.

USGS/EDWARDS RECHARGE ZONE MAP
Sheet 2 Of 6
ATTACHMENT B

**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Modification II**

MATCHLINE See Sheet 2 of 6

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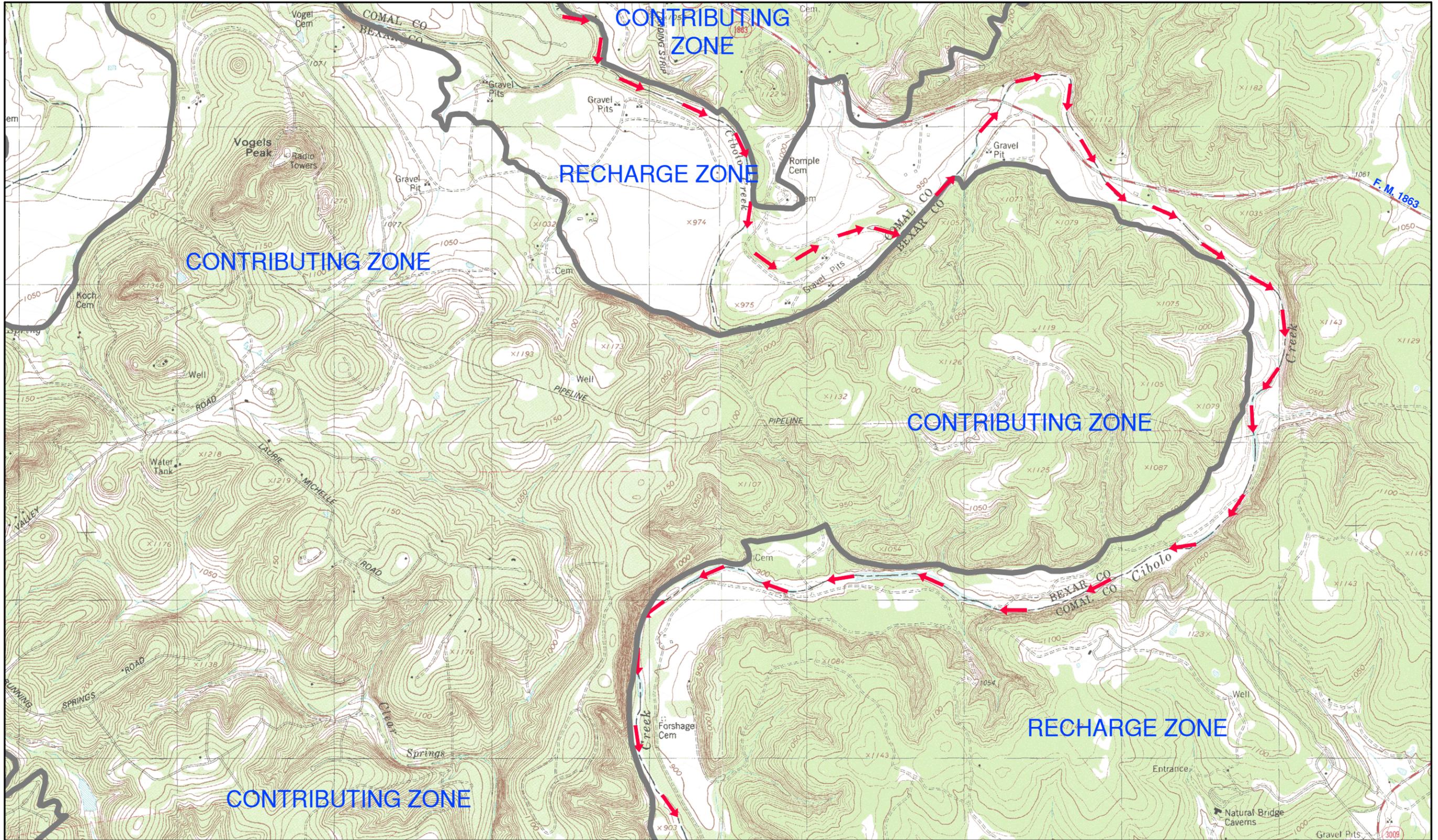
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DRAINAGE FLOW **→ → →**
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MATCHLINE See Sheet 4 of 6

USGS/EDWARDS RECHARGE ZONE MAP
Sheet 3 Of 6
ATTACHMENT B

**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Modification II**

MATCHLINE See Sheet 3 of 6



MATCHLINE See Sheet 5 of 6

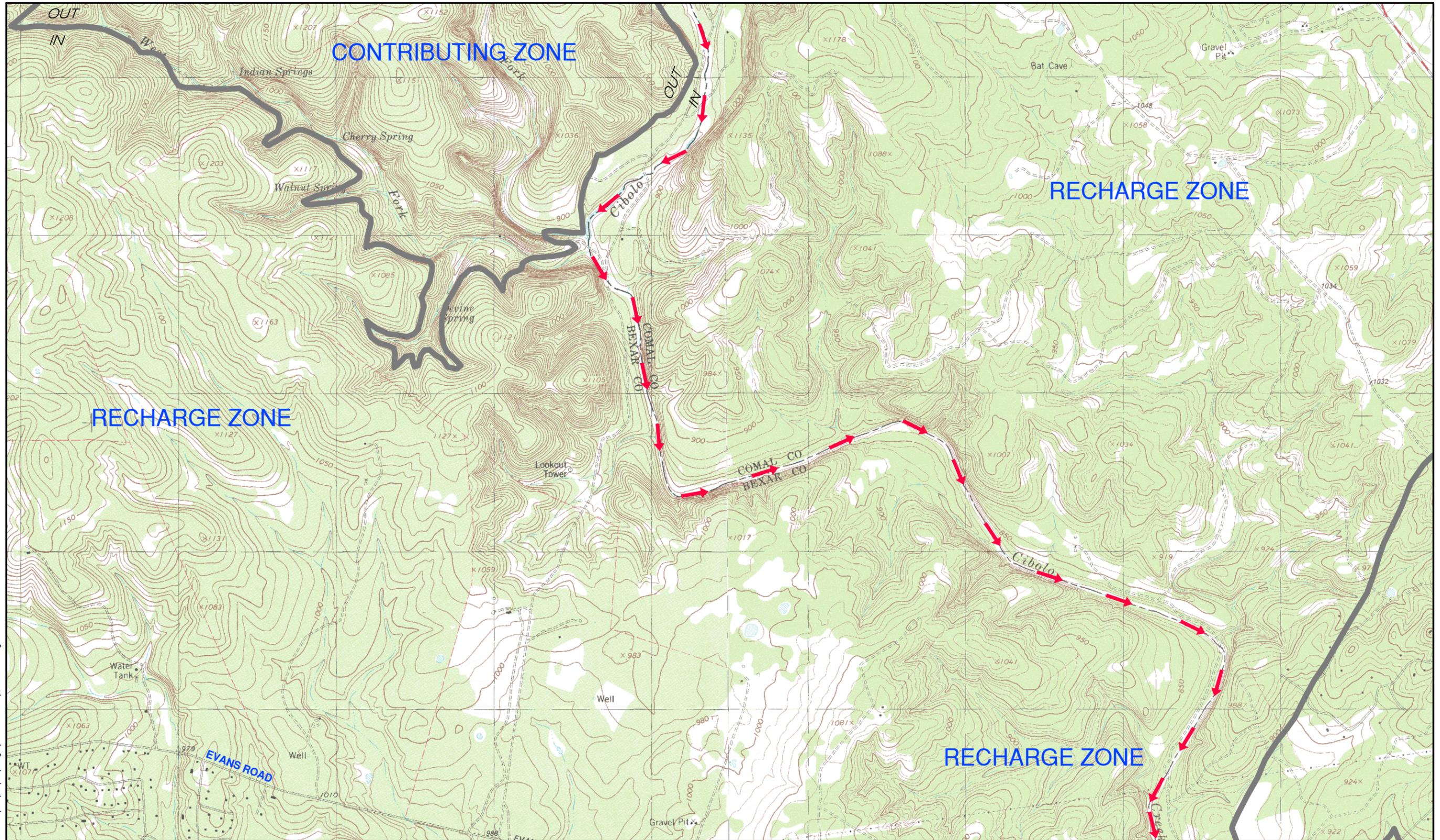
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DRAINAGE FLOW **→ → →**
Pape-Dawson Engineers, Inc.

**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Modification II**

MATCHLINE See Sheet 4 of 6


SCALE: 1" = 2000'



MATCHLINE See Sheet 6 of 6

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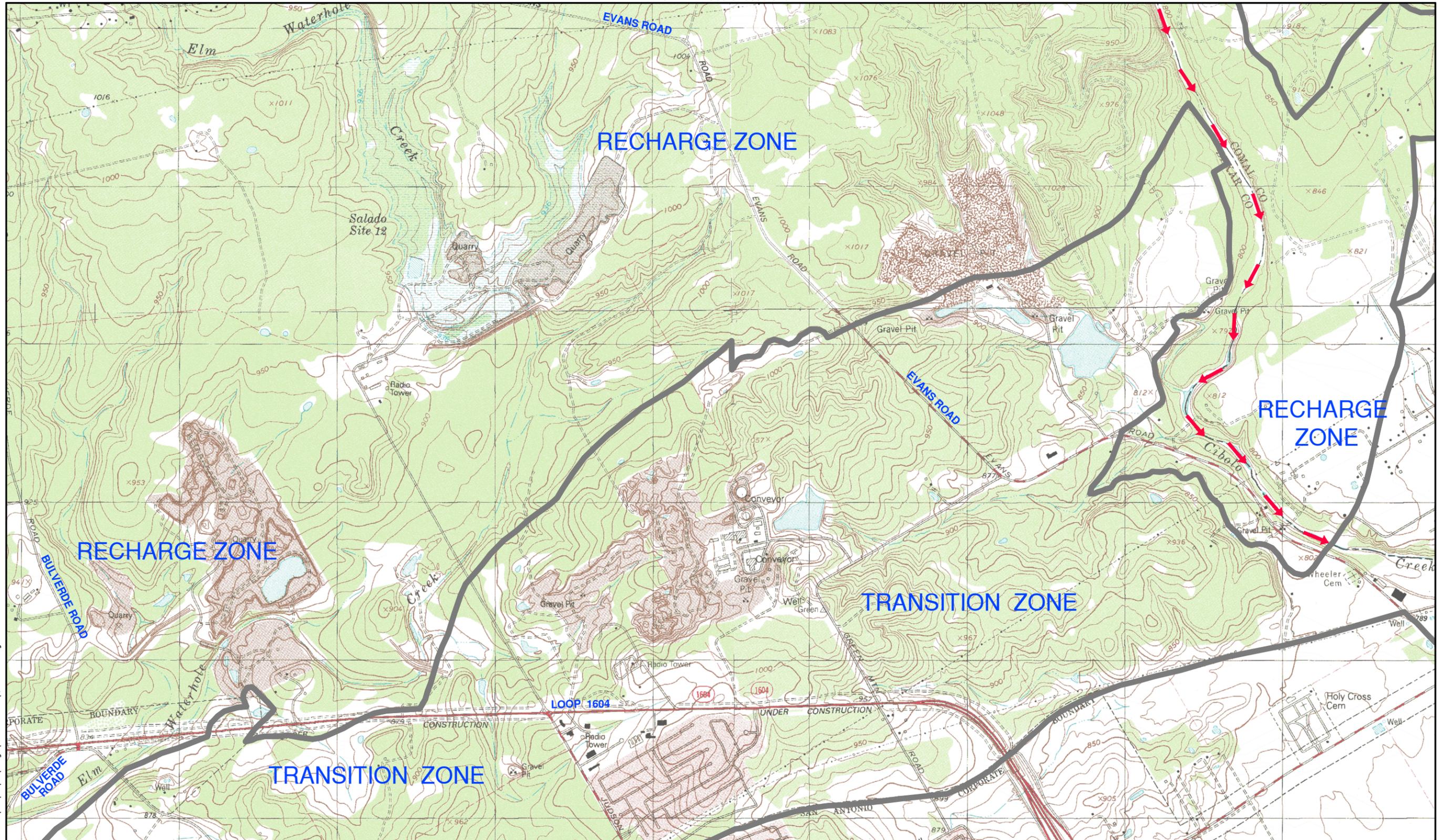
DRAINAGE FLOW 
Pape-Dawson Engineers, Inc.

USGS/EDWARDS RECHARGE ZONE MAP
Sheet 5 Of 6
ATTACHMENT B

**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Modification II**

MATCHLINE See Sheet 5 of 6

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SCALE: 1" = 2000'



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DRAINAGE FLOW **→ → →**
Pape-Dawson Engineers, Inc.

USGS/EDWARDS RECHARGE ZONE MAP
Sheet 6 Of 6
ATTACHMENT B

ATTACHMENT C

DESCENDING DOVE HILLS COMMERCIAL Contributing Zone Plan Application (TCEQ-10257)

Attachment C – Project Narrative

This Contributing Zone Plan Modification II for Descending Dove Hills Commercial proposes the modification of one (1) existing sand filter basin into one (1) batch detention basin. The project site is located within the City of Bulverde in Comal County, Texas. The site is located entirely over the Edwards Aquifer Contributing Zone. Only 0.93 Acres of the proposed 24.85-acre project area will be disturbed as a result of this basin modification.

The proposed site will remain as commercial. Commercial developments associated with the original CZP approved in 1999 and the first CZP modification approved in 2010 were constructed as planned and remain operational. This second modification proposes demolition and reconstruction of the original sand-filtration basin approved in 1999.

This CZP proposes clearing, grading, excavation and installation of drainage improvements for this basin modification. 4.73 acres of impervious cover is proposed with this CZP however this basin modification will be including 0.39 acres of additional impervious cover previously approved with the Descending Dove Hills Commercial Contributing Zone Plan Modification I approved on June 11, 2010 and 12.42 acres of impervious cover approved with the HEB Bulverde Contributing Zone Plan approved on December 21, 1999. Approximately 17.54 acres of total impervious cover is included with this project and treated by the proposed batch detention basin, or 70.58% of the 24.85-acre site.

The permanent BMPs for this CZP is one (1) proposed batch detention basin which has been designed in accordance with the TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) to remove 80% of the increase in Total Suspended Solids (TSS) from the site. See TSS Treatment Summary Table for details.

Since this project is located entirely over the Edwards Aquifer Contributing Zone, a Geological Assessment was not conducted and is not required by 30 TAC 213 regulations. Therefore, no naturally-occurring sensitive features are known to exist on the site.

Potable water will be supplied by the Canyon Lake Water Supply Company (CLWSC). The proposed development will generate approximately 22,000 gallons per day (average flow) of domestic wastewater. Wastewater will be disposed of by conveyance to an onsite wastewater treatment facility owned by SJWTX, Inc.

ATTACHMENT D

**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)**

Attachment D– Factors Affecting Surface Water Quality

Potential sources of pollution that may reasonably be expected to affect the quality of storm water discharges from the site during construction include:

- *Soil erosion due to the clearing of the site;*
- *Oil, grease, fuel and hydraulic fluid contamination from construction equipment and vehicle drippings;*
- *Hydrocarbons from asphalt paving operations;*
- *Miscellaneous trash and litter from construction workers and material wrappings;*
- *Concrete truck washout.*
- *Potential overflow/spills from portable toilets*

Potential sources of pollution that may reasonably be expected to affect the quality of storm water discharges from the site after development include:

- *Oil, grease, fuel and hydraulic fluid contamination from vehicle drippings;*
- *Dirt and dust which may fall off vehicles; and*
- *Miscellaneous trash and litter.*

ATTACHMENT E

DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)

Attachment E– Volume and Character of Stormwater

Stormwater runoff will increase as a result of this development. For a 25-year storm event, the overall project will generate approximately 177.9 cfs. The runoff coefficient for the site changes from approximately 0.55 before development to 0.96 after development. Values are based on the Rational Method using runoff coefficients per the City of Bulverde building Code.

ATTACHMENT J

DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)

Attachment J – BMPs for Upgradient Stormwater

No upgradient stormwater will cross the project limits.

The permanent BMP for this CZP is one (1) proposed batch detention basin which has been designed in accordance with the TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) to remove 80% of the increase in Total Suspended Solids (TSS) from the site.

ATTACHMENT K

DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)

Attachment K – BMPs for Onsite Stormwater

The permanent BMP for this CZP is one (1) proposed batch detention basin which has been designed in accordance with the TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) to remove 80% of the increase in Total Suspended Solids (TSS) from the site.

ATTACHMENT L

DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)

Attachment L – BMPs for Surface Streams

The permanent BMP for this CZP is one (1) proposed batch detention basin which has been designed in accordance with the TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) to remove 80% of the increase in Total Suspended Solids (TSS) from the site.

ATTACHMENT M

DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)

Attachment M – Construction Plans

Construction of one (1) batch detention basin is proposed in this CZP. Please refer to the Exhibits Section of this application for the Contributing Zone Plan Site Plans.

ATTACHMENT N

**DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)**

**PERMANENT POLLUTION ABATEMENT MEASURES
MAINTENANCE SCHEDULE AND MAINTENANCE PROCEDURES**

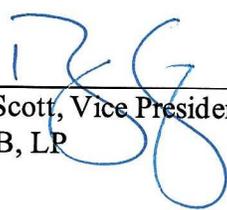
This document has been prepared to provide a description and schedule for the performance of maintenance on permanent pollution abatement measures. Maintenance measures to be performed will be dependent on what permanent pollution abatement measures are incorporated into the project. The project specific water pollution abatement plan should be reviewed to determine what permanent pollution abatement measures are incorporated in to a project.

It should also be noted that the timing and procedures presented herein are general guidelines, adjustment to the timing and procedures may have to be made depending on project specific characteristics as well as weather related conditions but may not be altered without TCEQ approval.

Where a project is occupied by the owner, the owner may provide for maintenance with his own skilled forces or contract for recommended maintenance of Permanent Best Management Practices. Where a project is occupied or leased by a tenant, the owner shall require tenants to contract for such maintenance services either through a lease agreement, property owners association covenants, or other binding document.

I understand that I am responsible for maintenance of the Permanent Pollution Abatement Measures included in this project until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property or ownership is transferred.

I, the owner, have read and understand the requirements of the attached Maintenance Plan and Schedule.



Ben Scott, Vice President Real Estate
H-E-B, LP

4/10/20

Date

DESCENDING DOVE HILLS COMMERCIAL Contributing Zone Plan Application (TCEQ-10257)

INSPECTION AND MAINTENANCE SCHEDULE FOR PERMANENT POLLUTION ABATEMENT MEASURES

Recommended Frequency	Task to be Performed												
	1	2	3	4	5	6	7	8	9	10	11	12	13
After Rainfall	√							√					√
Biannually*	√	√	√	√	√	√	√	√	√	√		√	√

**At least one biannual inspection must occur during or immediately after a rainfall event.*

√Indicates maintenance procedure that applies to this specific site.

See description of maintenance task to be performed on the following pages. Frequency of maintenance tasks may vary depending on amount of rainfall and other weather-related conditions but may not be altered without TCEQ approval.

A written record should be kept of inspection results and maintenance performed.

<i>Task No. & Description</i>	<i>Included in this project</i>	
1. Mowing	Yes	No
2. Litter and Debris Removal	Yes	No
3. Erosion Control	Yes	No
4. Level Sensor	Yes	No
5. Nuisance Control	Yes	No
6. Structural Repairs and Replacement	Yes	No
7. Discharge Pipe	Yes	No
8. Detention and Drawdown Time	Yes	No
9. Sediment Removal	Yes	No
10. Logic Controller	Yes	No
11. Vegetated Filter Strips	Yes	No
12. Visually Inspect Security Fencing for Damage or Breach	Yes	No
13. Recordkeeping for Inspections, Maintenance, and Repairs	Yes	No

DESCENDING DOVE HILLS COMMERCIAL Contributing Zone Plan Application (TCEQ-10257)

MAINTENANCE PROCEDURES FOR PERMANENT POLLUTION ABATEMENT MEASURES

Note: Additional guidance can be obtained from TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) Section 3.5.

Inspections. Inspections should take place a minimum of twice a year. One inspection should take place during wet weather to determine if the basin is meeting the target detention time of 12 hours and a drawdown time of no more than 48 hours. The remaining inspections should occur between storm events so that manual operation of the valve and controller can be verified. The level sensor in the basin should be inspected and any debris or sediment in the area should be removed. The outlet structure and the trash screen should be inspected for signs of clogging. Debris and sediment should be removed from the orifice and outlet(s) as described in previous sections. Debris obstructing the valve should be removed. During each inspection, erosion areas inside and downstream of this BMP should be identified and repaired/revegetated immediately. *A written record should be kept of inspection results and corrective measures taken*

1. Mowing. The basin, basin side-slopes, and embankment of the basin must be mowed to prevent woody growth and control weeds. A mulching mower should be used, or the grass clippings should be caught and removed. Mowing should take place at least twice a year, or more frequently if vegetation exceeds 18 inches in height. More frequent mowing to maintain aesthetic appeal may be necessary in landscaped areas.
2. Litter and Debris Removal. Litter and debris removal should take place at least twice a year, as part of the periodic mowing operations and inspections. Debris and litter should be removed from the surface of the basin. Particular attention should be paid to floatable debris around the outlet structure. The outlet should be checked for possible clogging or obstructions and any debris removed.
3. Erosion control. The basin side slopes and embankment all may periodically suffer from slumping and erosion. To correct these problems, corrective action, such as regrading and revegetation, may be necessary. Correction of erosion control should take place whenever required based on the periodic inspections.
4. Level Sensor. The level sensor in the basin should be inspected and any debris or sediment in the area should be removed. Litter and debris removal should take place at least twice a year, as part of the periodic mowing operations and inspections. Debris and litter should be removed from the surface of the basin.
5. Nuisance Control. Standing water or soggy conditions may occur in the basin. Some standing water may occur after a storm event since the valve may close with 2 to 3 inches

DESCENDING DOVE HILLS COMMERCIAL Contributing Zone Plan Application (TCEQ-10257)

of water in the basin. Some flow into the basin may also occur between storms due to spring flow and residential water use that enters the storm sewer system. Twice a year, the facility should be evaluated in terms of nuisance control (insects, weeds, odors, algae, etc.).

6. Structural Repairs and Replacement. With each inspection, any damage to structural elements of the basin (pipes, concrete drainage structures, retaining walls, etc.) should be identified and repaired immediately. An example of this type of repair can include patching of cracked concrete, sealing of voids, removal of vegetation from cracks and joints. The various inlet/outlet structures in a basin will eventually deteriorate and must be replaced. *A written record should be kept of inspection results and corrective measures taken*
7. Discharge Pipe. The basin discharge pipe shall be checked for accumulation of silt, debris or other obstructions which could block flow. Soil accumulations, vegetative overgrowth and other blockages should be cleared from the pipe discharge point. Erosion at the point of discharge shall be monitored. If erosion occurs, the addition of rock rubble to disperse the flow should be accomplished. *A written record should be kept of inspection results and corrective measures taken*
8. Detention and Drawdown Time. One inspection should take place during wet weather to determine if the basin is meeting the target detention time of 12 hours and a drawdown time of no more than 48 hours. This characteristic can be a sign of the need for maintenance. The minimum drawdown time is 24 hours. If drawdown time is less than 24 hours, the actuator valve shall be checked and partially closed to limit the drawdown time. Extensive drawdown time greater than 48 hours may indicated blockage of the discharge pipe. Corrective actions should be performed and completed within 15 working days. *A written record of the inspection findings and corrective actions performed should be made.*
9. Sediment Removal. A properly designed batch detention basin will accumulate quantities of sediment over time. The accumulated sediment can detract from the appearance of the facility and reduce the pollutant removal performance of the facility. The sediment also tends to accumulate near the outlet structure and can interfere with the level sensor operation. Sediment shall be removed from the basin at least every 5 years, when sediment depth exceeds 6 inches, when the sediment interferes with the level sensor or when the basin does not drain within 48 hours. Care should be taken not to compromise the basin lining during maintenance.
10. Logic Controller. The Logic Controller should be inspected as part of the twice yearly investigations. Verify that the external indicators (active, cycle in progress) are operating properly by turning the controller off and on, and by initiating a cycle by triggering the

DESCENDING DOVE HILLS COMMERCIAL Contributing Zone Plan Application (TCEQ-10257)

level sensor in the basin. The valve should be manually opened and closed using the open/close switch to verify valve operation and to assist in inspecting the valve for debris. The solar panel should be inspected and any dust or debris on the panel should be carefully removed. The controller and all other circuitry and wiring should be inspected for signs of corrosion, damage from insects, water leaks, or other damage. At the end of the inspection, the controller should be reset.

11. Vegetated Filter Strips. Vegetation height for native grasses shall be limited to no more than 18-inches. When vegetation exceeds that height, the filter strip shall be cut to a height of approximately 4 inches. Turf grass shall be limited to a height of 4-inches with regular maintenance that utilizes a mulching mower. Trash and debris shall be removed from filter strip prior to cutting. Check filter strip for signs of concentrated flow and erosion. Areas of filter strip showing signs of erosion shall be repaired by scarifying the eroded area, reshaping, regrading and placement of solid block sod over the affected area. *A written record of the inspection findings and corrective actions performed should be made*
12. Visually Inspect Security Fencing for Damage or Breach. Check maintenance access gates for proper operation. Damage to fencing or gates shall be repaired within 5 working days. *A written record should be kept of inspection results and maintenance performed.*
13. Recordkeeping Procedures for Inspections, Maintenance, Repairs, and Retrofits.
 - Written records shall be kept by the party responsible for maintenance or a designated representative.
 - Written records shall be retained for a minimum of five years.

ATTACHMENT P

DESCENDING DOVE HILLS COMMERCIAL
Contributing Zone Plan Application (TCEQ-10257)

Attachment P - Measures for Minimizing Surface Stream Contamination

Any points where discharge from the site is concentrated and erosive velocities exist will include appropriately sized energy dissipators to reduce velocities to non-erosive levels.

**TEMPORARY
STORMWATER
SECTION**

Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.

Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.

Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Shauna Weaver, P.E.

Date: 4/7/20

Signature of Customer/Agent:



Regulated Entity Name: Descending Dove Hills Commercial

Project Information

Potential Sources of Contamination

Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.

1. Fuels for construction equipment and hazardous substances which will be used during construction:

The following fuels and/or hazardous substances will be stored on the site: located within the construction staging area in compliance with 30TAC§213.

These fuels and/or hazardous substances will be stored in:

- Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.

- Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
 - Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
 - Fuels and hazardous substances will not be stored on the site.
2. **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
 3. Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
 4. **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

Sequence of Construction

5. **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
 - For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
 - For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
6. Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Lewis Creek

Temporary Best Management Practices (TBMPs)

Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.

7. **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
 - A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
 - A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
 - A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
 - There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
 - For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
 - There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.

- There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- N/A
12. **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

Soil Stabilization Practices

Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.

17. **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

Administrative Information

20. All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.

ATTACHMENT A

DESCENDING DOVE HILLS COMMERCIAL Temporary Stormwater Section (TCEQ-0602)

Spill Response Actions

In the event of an accidental leak or spill:

- Spill must be contained and cleaned up immediately.
- Spills will not be merely buried or washed with water.
- Contractor shall take action to contain spill. Contractor may use sand or other absorbent material stockpiled on site to absorb spill. Absorbent material should be spread over the spill area to absorb the spilled product.
- In the event of an uncontained discharge the contractor shall utilize onsite equipment to construct berms downgradient of the spill with sand or other absorbent material to contain and absorb the spilled product.
- Spill containment/absorbent materials along with impacted media must be collected and stored in such a way so as not to continue to affect additional media (soil/water). Once the spill has been contained, collected material should be placed on poly or plastic sheeting until removed from the site. The impacted media and cleanup materials should be covered with plastic sheeting and the edges weighed down with paving bricks or other similarly dense objects as the material is being accumulated. This will prevent the impacted media and cleanup materials from becoming airborne in windy conditions or impacting runoff during a rain event. The stockpiled materials should not be located within an area of concentrated runoff such as along a curb line or within a swale.
- Contaminated soils and cleanup materials will be sampled for waste characterization. When the analysis results are known the contaminated soils and cleanup materials will be removed from the site and disposed in a permitted landfill in accordance with applicable regulations.
- The contractor will be required to notify the owner, who will in turn contact TCEQ to notify them in the event of a significant hazardous/reportable quantity spill. Additional notifications as required by the type and amount of spill will be conducted by owner or owner's representative.

In the event of an accidental significant or hazardous spill:

- The contractor will be required to report significant or hazardous spills in reportable quantities to:
 - Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.

DESCENDING DOVE HILLS COMMERCIAL Temporary Stormwater Section (TCEQ-0602)

- For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110,119, and 302, the contractor should notify the National Response Center at (800) 424-8802.
 - Notification should first be made by telephone and followed up with a written report.
 - The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.
 - Other agencies which may need to be consulted include, but are not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc.
- Contaminated soils will be sampled for waste characterization. When the analysis results are known the contaminated soils will be removed from the site and disposed in a permitted landfill in accordance with applicable regulations.

Additional guidance can be obtained from TCEQ's Technical Guidance Manual (TGM) RG-348 (2005) Section 1.4.16. Contractor shall review this section.

ATTACHMENT B

DESCENDING DOVE HILLS COMMERCIAL
Temporary Stormwater Section (TCEQ-0602)

Attachment B – Potential Sources of Contamination

Other potential sources of contamination during construction include:

- | | | |
|-----------------------------|---|---|
| <i>Potential Source</i> | ● | <i>Asphalt products used on this project.</i> |
| <i>Preventative Measure</i> | ■ | <i>After placement of asphalt, emulsion or coatings, the contractor will be responsible for immediate cleanup should an unexpected rain occur. For the duration of the asphalt product curing time, the contractor will maintain standby personnel and equipment to contain any asphalt wash-off should an unexpected rain occur. The contractor will be instructed not to place asphalt products on the ground within 48 hours of a forecasted rain.</i> |
| <i>Potential Source</i> | ● | <i>Oil, grease, fuel and hydraulic fluid contamination from construction equipment and vehicle dripping.</i> |
| <i>Preventative Measure</i> | ■ | <i>Vehicle maintenance when possible will be performed within the construction staging area.</i> |
| | ■ | <i>Construction vehicles and equipment shall be checked regularly for leaks and repaired immediately.</i> |
| <i>Potential Source</i> | ● | <i>Accidental leaks or spills of oil, petroleum products and substances listed under 40 CFR parts 110, 117, and 302 used or stored temporarily on site.</i> |
| <i>Preventative Measure</i> | ■ | <i>Contractor to incorporate into regular safety meetings, a discussion of spill prevention and appropriate disposal procedures.</i> |
| | ■ | <i>Contractor's superintendent or representative overseer shall enforce proper spill prevention and control measures.</i> |
| | ■ | <i>Hazardous materials and wastes shall be stored in covered containers and protected from vandalism.</i> |
| | ■ | <i>A stockpile of spill cleanup materials shall be stored on site where it will be readily accessible.</i> |

DESCENDING DOVE HILLS COMMERCIAL
Temporary Stormwater Section (TCEQ-0602)

- Potential Source* ● *Miscellaneous trash and litter from construction workers and material wrappings.*
- Preventive Measure* ■ *Trash containers will be placed throughout the site to encourage proper trash disposal.*
- Potential Source* ● *Construction debris.*
- Preventive Measure* ■ *Construction debris will be monitored daily by contractor. Debris will be collected weekly and placed in disposal bins. Situations requiring immediate attention will be addressed on a case by case basis.*
- Potential Source* ● *Spills/Overflow of waste from portable toilets*
- Preventative Measure* ■ *Portable toilets will be placed away from high traffic vehicular areas and storm drain inlets.*
- *Portable toilets will be placed on a level ground surface.*
- *Portable toilets will be inspected regularly for leaks and will be serviced and sanitized at time intervals that will maintain sanitary conditions.*

ATTACHMENT C

DESCENDING DOVE HILLS COMMERCIAL
Temporary Stormwater Section (TCEQ-0602)

Attachment C – Sequence of Major Activities

The sequence of major activities which disturb soil during construction on this site will be divided into two stages. The first is site preparation that will include installation of TBMP's as illustrated on Exhibit 1, clearing and grubbing of vegetation where applicable. This will disturb approximately 0.93-acres. The second is construction of the batch detention basin that will include grading, construction of the basin walls and basin bottom. This will disturb approximately the same 0.93-acres.

ATTACHMENT D

DESCENDING DOVE HILLS COMMERCIAL Temporary Stormwater Section (TCEQ-0602)

Attachment D – Temporary Best Management Practices and Measures

- a. A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.

There is no upgradient stormwater from undeveloped areas flowing onto the proposed site. All TBMPs are adequate for the drainage areas served.

- b. A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.

Site preparation, which is the initiation of all activity on the project, will disturb the largest amount of soil. Therefore, before any of this work can begin, the clearing and grading contractor will be responsible for the installation of all on-site control measures. The methodology for pollution prevention of on-site stormwater includes: (1) erection of silt fences along the downgradient boundary of construction activities for temporary erosion and sedimentation controls, (2) installation of rock berms with silt fencing downgradient from areas of concentrated stormwater flow for temporary erosion control, (3) installation of stabilized construction entrance/exit(s) to reduce the dispersion of sediment from the site, and (4) installation of construction staging area(s).

Prior to the initiation of construction, all previously installed control measures will be repaired or reestablished for their designed or intended purpose. This work, which is the remainder of all activity on the project, may also disturb additional soil. The construction contractor will be responsible for the installation of all remaining on-site control measures as construction phasing warrants that include installation of the concrete truck washout pit(s) and placement of gravel filter bags for use in inlet protection and to prevent sediment migration off-site.

Temporary measures are intended to provide a method of slowing the flow of runoff from the construction site in order to allow sediment and suspended solids to settle out of the runoff. By containing the sediment and solids within the site, they will not enter the aquifer, surface streams and/or sensitive features that may exist downstream of the site.

- c. A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.

As this site is entirely over the Edwards Aquifer Contributing Zone, a Geologic Assessment was not conducted and is not required; therefore, no sensitive features were identified. Temporary measures are intended to provide a method of slowing the flow of runoff from the construction site in order to allow sediment and suspended solids to settle out of the runoff. By containing the sediment and solids within the site, they will not enter surface streams and/or sensitive features.

DESCENDING DOVE HILLS COMMERCIAL Temporary Stormwater Section (TCEQ-0602)

- d. A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.

Since the project is located entirely over the Edwards Contributing Zone, a Geologic Assessment was not conducted and is not required by 30 TAC 213 regulations. Therefore, no naturally-occurring sensitive features are known to exist on the site. 30 TAC 213(f)(2) only applies to projects over the Edwards Recharge Zone.

ATTACHMENT F

DESCENDING DOVE HILLS COMMERCIAL Temporary Stormwater Section (TCEQ-0602)

Attachment F – Structural Practices

The following structural measures will be installed prior to the initiation of site preparation activities:

- *Erection of silt fences along the downgradient boundary of construction activities and rock berms with silt fence for secondary protection, as located on Exhibit 1 and illustrated in Exhibit 2.*
- *Placement of rock berms along channels and the downgradient boundary of construction activities, as located on Exhibit 1 and illustrated in Exhibit 2.*
- *Installation of stabilized construction entrance/exit(s) and construction staging area(s), as located on Exhibit 1, and illustrated on Exhibit 2.*

The following structural measures will be installed at the initiation of construction activities or as appropriate based on the construction sequencing:

- *Installation of gravel filter bags, concrete truck washout pit(s), as required and located on Exhibit 1 and illustrated on Exhibit 2.*

ATTACHMENT G

DESCENDING DOVE HILLS COMMERCIAL
Temporary Stormwater Section (TCEQ-0602)

Attachment G – Drainage Area Map

Please refer to the Exhibits Section of this application for the Contributing Zone Plan Drainage Area Map.

ATTACHMENT I

DESCENDING DOVE HILLS COMMERCIAL Temporary Stormwater Section (TCEQ-0602)

Attachment I – Inspection and Maintenance for BMPs

Designated and qualified person(s) shall inspect Pollution Control Measures weekly and within 24 hours after a storm event. An inspection report that summarizes the scope of the inspection, names and qualifications of personnel conducting the inspection, date of the inspection, major observations, and actions taken as a result of the inspection shall be recorded and maintained as part of Storm Water TPDES data for a period of three years after the date of the inspection. A copy of the Inspection Report Form is provided in this Storm Water Pollution Prevention Plan.

As a minimum, the inspector shall observe: (1) significant disturbed areas for evidence of erosion, (2) storage areas for evidence of leakage from the exposed stored materials, (3) structural controls (rock berm outlets, silt fences, drainage swales, etc.) for evidence of failure or excess siltation (over 6 inches deep), (4) vehicle exit point for evidence of off-site sediment tracking, (5) vehicle storage areas for signs of leaking equipment or spills, (6) concrete truck rinse-out pit for signs of potential failure, (7) embankment, spillways, and outlet of sediment basin (where applicable) for erosion damage, and (8) sediment basins (where applicable) for evidence that basin has accumulated 50% of its volume in silt. Deficiencies noted during the inspection will be corrected and documented within seven calendar days following the inspection or before the next anticipated storm event if practicable.

Contractor shall review Sections 1.3 and 1.4 of TCEQ's Technical Guidance Manual for additional BMP inspection and maintenance requirements.

**DESCENDING DOVE HILLS COMMERCIAL
Temporary Stormwater Section (TCEQ-0602)**

Pollution Prevention Measure	Inspected	Corrective Action	
		Description	Date Completed
General			
Revegetation			
Erosion/sediment controls			
Vehicle exits			
Material areas			
Equipment areas			
Concrete rinse			
Construction debris			
Trash receptacles			
Infrastructure			
Roadway clearing			
Utility clearing			
Roadway grading			
Utility construction			
Drainage construction			
Roadway base			
Roadway surfaces			
Site cleanups			
Building			
Clearing for building			
Foundation grading			
Utility construction			
Foundation construction			
Building construction			
Site grading			
Site cleanup			

**Indicate N/A where measure does not apply.*

By my signature below, I certify that all items are acceptable and the project site is in compliance with SWPPP.

Inspector's Name

Inspector's Signature

Name of Owner/Operator (Firm)

Date

Note: Inspector is to attach a brief statement of his qualifications to this report.

**DESCENDING DOVE HILLS COMMERCIAL
Temporary Stormwater Section (TCEQ-0602)**

PROJECT MILESTONE DATES

Date when major site grading activities begin:

<u>Construction Activity</u>	<u>Date</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Dates when construction activities temporarily or permanently cease on all or a portion of the project:

<u>Construction Activity</u>	<u>Date</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Dates when stabilization measures are initiated:

<u>Stabilization Activity</u>	<u>Date</u>
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

ATTACHMENT J

DESCENDING DOVE HILLS COMMERCIAL Temporary Stormwater Section (TCEQ-0602)

Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices

Interim on-site stabilization measures, which are continuous, will include minimizing soil disturbances by exposing the smallest practical area of land required for the shortest period of time and maximizing use of natural vegetation. As soon as practical, all disturbed soil will be stabilized as per project specifications in accordance with pages 1-35 to 1-60 of TCEQ's Technical Guidance Manual (TGM) RG-348 (2005). Mulching, netting, erosion blankets and seeding are acceptable.

Stabilization measures will be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and except as provided below, will be initiated no more than fourteen (14) days after the construction activity in that portion of the site has temporarily or permanently ceased. Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within twenty-one (21) days, temporary stabilization measures do not have to be initiated on that portion of site. In areas experiencing droughts where the initiation of stabilization measures by the 14th day after construction activity has temporarily or permanently ceased is precluded by seasonably arid conditions, stabilization measures must be initiated as soon as practicable.

**COPY OF
NOTICE OF
INTENT (NOI)**



Notice of Intent (NOI) for an Authorization for Stormwater Discharges Associated with Construction Activity under TPDES General Permit TXR150000

IMPORTANT INFORMATION

Please read and use the General Information and Instructions prior to filling out each question in the NOI form.

Use the NOI Checklist to ensure all required information is completed correctly.
Incomplete applications delay approval or result in automatic denial.

Once processed your permit authorization can be viewed by entering the following link into your internet browser: http://www2.tceq.texas.gov/wq_dpa/index.cfm or you can contact TCEQ Stormwater Processing Center at 512-239-3700.

ePERMITS

Effective September 1, 2018, this paper form must be submitted to TCEQ with a completed electronic reporting waiver form (TCEQ-20754).

To submit an NOI electronically, enter the following web address into your internet browser and follow the instructions: <https://www3.tceq.texas.gov/steers/index.cfm>

APPLICATION FEE AND PAYMENT

The application fee for submitting a paper NOI is \$325. The application fee for electronic submittal of a NOI through the TCEQ ePermits system (STEERS) is \$225.

Payment of the application fee can be submitted by mail or through the TCEQ ePay system. The payment and the NOI must be mailed to separate addresses. To access the TCEQ ePay system enter the following web address into your internet browser:
<http://www.tceq.texas.gov/epay>.

Provide your payment information for verification of payment:

- If payment was mailed to TCEQ, provide the following:
 - Check/Money Order Number: [REDACTED]
 - Name printed on Check: [REDACTED]
- If payment was made via ePay, provide the following:
 - Voucher Number: [REDACTED]
 - A copy of the payment voucher is attached to this paper NOI form.

RENEWAL (This portion of the NOI is not applicable after June 3, 2018)

Is this NOI for a renewal of an existing authorization? Yes No

If Yes, provide the authorization number here: TXR15 [REDACTED]

NOTE: If an authorization number is not provided, a new number will be assigned.

SECTION 1. OPERATOR (APPLICANT)

a) If the applicant is currently a customer with TCEQ, what is the Customer Number (CN) issued to this entity? CN [REDACTED]

(Refer to Section 1.a) of the Instructions)

b) What is the Legal Name of the entity (applicant) applying for this permit? (The legal name must be spelled exactly as filed with the Texas Secretary of State, County, or in the legal document forming the entity.)

[REDACTED]

c) What is the contact information for the Operator (Responsible Authority)?

Prefix (Mr. Ms. Miss): [REDACTED]

First and Last Name: [REDACTED] Suffix: [REDACTED]

Title: [REDACTED] Credentials: [REDACTED]

Phone Number: [REDACTED] Fax Number: [REDACTED]

E-mail: [REDACTED]

Mailing Address: [REDACTED]

City, State, and Zip Code: [REDACTED]

Mailing Information if outside USA:

Territory: [REDACTED]

Country Code: [REDACTED] Postal Code: [REDACTED]

d) Indicate the type of customer:

- Individual
- Limited Partnership
- General Partnership
- Trust
- Sole Proprietorship (D.B.A.)
- Corporation
- Estate
- Federal Government
- County Government
- State Government
- City Government
- Other Government
- Other: [REDACTED]

e) Is the applicant an independent operator? Yes No

(If a governmental entity, a subsidiary, or part of a larger corporation, check No.)

f) Number of Employees. Select the range applicable to your company.

0-20

251-500

21-100

501 or higher

101-250

g) Customer Business Tax and Filing Numbers: (**Required** for Corporations and Limited Partnerships. **Not Required** for Individuals, Government, or Sole Proprietors.)

State Franchise Tax ID Number: [REDACTED]

Federal Tax ID: [REDACTED]

Texas Secretary of State Charter (filing) Number: [REDACTED]

DUNS Number (if known): [REDACTED]

SECTION 2. APPLICATION CONTACT

Is the application contact the same as the applicant identified above?

Yes, go to Section 3

No, complete this section

Prefix (Mr. Ms. Miss): [REDACTED]

First and Last Name: [REDACTED] Suffix: [REDACTED]

Title: [REDACTED] Credential: [REDACTED]

Organization Name: [REDACTED]

Phone Number: [REDACTED] Fax Number: [REDACTED]

E-mail: [REDACTED]

Mailing Address: [REDACTED]

Internal Routing (Mail Code, Etc.): [REDACTED]

City, State, and Zip Code: [REDACTED]

Mailing information if outside USA:

Territory: [REDACTED]

Country Code: [REDACTED] Postal Code: [REDACTED]

SECTION 3. REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

a) If this is an existing permitted site, what is the Regulated Entity Number (RN) issued to this site? RN 103117438

(Refer to Section 3.a) of the Instructions)

b) Name of project or site (the name known by the community where it's located):
Descending Dove Hills Commercial

c) In your own words, briefly describe the type of construction occurring at the

regulated site (residential, industrial, commercial, or other): Commercial Construction

d) County or Counties (if located in more than one): Comal

e) Latitude: 29.7973 Longitude: -98.42885

f) Site Address/Location

If the site has a physical address such as 12100 Park 35 Circle, Austin, TX 78753, complete *Section A*.

If the site does not have a physical address, provide a location description in *Section B*. Example: located on the north side of FM 123, 2 miles west of the intersection of FM 123 and Highway 1.

Section A:

Street Number and Name:

City, State, and Zip Code:

Section B:

Location Description: Approx. 0.15 miles east of US Hwy 281 and SH-46

City (or city nearest to) where the site is located: Bulverde, TX

Zip Code where the site is located: 78163

SECTION 4. GENERAL CHARACTERISTICS

a) Is the project or site located on Indian Country Lands?

Yes, do not submit this form. You must obtain authorization through EPA Region 6.

No

b) Is your construction activity associated with a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources?

Yes. Note: The construction stormwater runoff may be under jurisdiction of the Railroad Commission of Texas and may need to obtain authorization through EPA Region 6.

No

c) What is the Primary Standard Industrial Classification (SIC) Code that best describes the construction activity being conducted at the site? 5411

d) What is the Secondary SIC Code(s), if applicable? 5149

e) What is the total number of acres to be disturbed? 0.93

f) Is the project part of a larger common plan of development or sale?

Yes

No. The total number of acres disturbed, provided in e) above, must be 5 or more. If the total number of acres disturbed is less than 5, do not submit this form. See the requirements in the general permit for small construction sites.

- g) What is the estimated start date of the project? May 1, 2020
- h) What is the estimated end date of the project? May 1, 2021
- i) Will concrete truck washout be performed at the site? Yes No
- j) What is the name of the first water body(ies) to receive the stormwater runoff or potential runoff from the site? Lewis Creek
- k) What is the segment number(s) of the classified water body(ies) that the discharge will eventually reach? 1908
- l) Is the discharge into a Municipal Separate Storm Sewer System (MS4)?
 - Yes No

If Yes, provide the name of the MS4 operator: City of Bulverde

Note: The general permit requires you to send a copy of this NOI form to the MS4 operator.

- m) Is the discharge or potential discharge from the site within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer, as defined in 30 TAC Chapter 213?
 - Yes, complete the certification below.
 - No, go to Section 5

I certify that the copy of the TCEQ-approved Plan required by the Edwards Aquifer Rule (30 TAC Chapter 213) that is included or referenced in the Stormwater Pollution Prevention Plan will be implemented. Yes

SECTION 5. NOI CERTIFICATION

- a) I certify that I have obtained a copy and understand the terms and conditions of the Construction General Permit (TXR150000). Yes
- b) I certify that the full legal name of the entity applying for this permit has been provided and is legally authorized to do business in Texas. Yes
- c) I understand that a Notice of Termination (NOT) must be submitted when this authorization is no longer needed. Yes
- d) I certify that a Stormwater Pollution Prevention Plan has been developed, will be implemented prior to construction and to the best of my knowledge and belief is compliant with any applicable local sediment and erosion control plans, as required in the Construction General Permit (TXR150000). Yes

Note: For multiple operators who prepare a shared SWP3, the confirmation of an operator may be limited to its obligations under the SWP3, provided all obligations are confirmed by at least one operator.

SECTION 6. APPLICANT CERTIFICATION SIGNATURE

Operator Signatory Name:

Operator Signatory Title:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

I further certify that I am authorized under 30 Texas Administrative Code §305.44 to sign and submit this document, and can provide documentation in proof of such authorization upon request.

Signature (use blue ink): _____ Date: _____

NOTICE OF INTENT CHECKLIST (TXR150000)

Did you complete everything? Use this checklist to be sure!

Are you ready to mail your form to TCEQ? Go to the General Information Section of the Instructions for mailing addresses.

Confirm each item (or applicable item) in this form is complete. This checklist is for use by the applicant to ensure a complete application is being submitted. **Missing information may result in denial of coverage under the general permit.** (See NOI process description in the General Information and Instructions.)

APPLICATION FEE

If paying by check:

- Check was mailed **separately** to the TCEQs Cashier's Office. (See Instructions for Cashier's address and Application address.)
- Check number and name on check is provided in this application.

If using ePay:

- The voucher number is provided in this application and a copy of the voucher is attached.

RENEWAL

- If this application is for renewal of an existing authorization, the authorization number is provided.

OPERATOR INFORMATION

- Customer Number (CN) issued by TCEQ Central Registry
- Legal name as filed to do business in Texas. (Call TX SOS 512-463-5555 to verify.)
- Name and title of responsible authority signing the application.
- Phone number and e-mail address
- Mailing address is complete & verifiable with USPS. www.usps.com
- Type of operator (entity type). Is applicant an independent operator?
- Number of employees.
- For corporations or limited partnerships - Tax ID and SOS filing numbers.
- Application contact and address is complete & verifiable with USPS. <http://www.usps.com>

REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

- Regulated Entity Number (RN) (if site is already regulated by TCEQ)
- Site/project name and construction activity description
- County
- Latitude and longitude <http://www.tceq.texas.gov/gis/sqmaview.html>

Site Address/Location. Do not use a rural route or post office box.

GENERAL CHARACTERISTICS

Indian Country Lands -the facility is not on Indian Country Lands.

Construction activity related to facility associated to oil, gas, or geothermal resources

Primary SIC Code that best describes the construction activity being conducted at the site. www.osha.gov/oshstats/sicser.html

Estimated starting and ending dates of the project.

Confirmation of concrete truck washout.

Acres disturbed is provided and qualifies for coverage through a NOI.

Common plan of development or sale.

Receiving water body or water bodies.

Segment number or numbers.

MS4 operator.

Edwards Aquifer rule.

CERTIFICATION

Certification statements have been checked indicating Yes.

Signature meets 30 Texas Administrative Code (TAC) §305.44 and is original.

Instructions for Notice of Intent (NOI) for Stormwater Discharges Associated with Construction Activity under TPDES General Permit (TXR150000)

GENERAL INFORMATION

Where to Send the Notice of Intent (NOI):

By Regular Mail:

TCEQ
Stormwater Processing Center (MC228)
P.O. Box 13087
Austin, Texas 78711-3087

By Overnight or Express Mail:

TCEQ
Stormwater Processing Center (MC228)
12100 Park 35 Circle
Austin, TX

Application Fee:

The application fee of \$325 is required to be paid at the time the NOI is submitted. Failure to submit payment at the time the application is filed will cause delays in acknowledgment or denial of coverage under the general permit. Payment of the fee may be made by check or money order, payable to TCEQ, or through EPAY (electronic payment through the web).

Mailed Payments:

Use the attached General Permit Payment Submittal Form. The application fee is submitted to a different address than the NOI. Read the General Permit Payment Submittal Form for further instructions, including the address to send the payment.

ePAY Electronic Payment: <http://www.tceq.texas.gov/epay>

When making the payment you must select Water Quality, and then select the fee category "General Permit Construction Storm Water Discharge NOI Application". You must include a copy of the payment voucher with your NOI. Your NOI will not be considered complete without the payment voucher.

TCEQ Contact List:

Application - status and form questions:	512-239-3700, swpermit@tceq.texas.gov
Technical questions:	512-239-4671, swgp@tceq.texas.gov
Environmental Law Division:	512-239-0600
Records Management - obtain copies of forms:	512-239-0900
Reports from databases (as available):	512-239-DATA (3282)
Cashier's office:	512-239-0357 or 512-239-0187

Notice of Intent Process:

When your NOI is received by the program, the form will be processed as follows:

- **Administrative Review:** Each item on the form will be reviewed for a complete response. In addition, the operator's legal name must be verified with Texas Secretary of State as valid and active (if applicable). The address(es) on the form must be verified with the US Postal service as receiving regular mail delivery. Do not give an overnight/express mailing address.
- **Notice of Deficiency:** If an item is incomplete or not verifiable as indicated

above, a notice of deficiency (NOD) will be mailed to the operator. The operator will have 30 days to respond to the NOD. The response will be reviewed for completeness.

- **Acknowledgment of Coverage:** An Acknowledgment Certificate will be mailed to the operator. This certificate acknowledges coverage under the general permit.

or

Denial of Coverage: If the operator fails to respond to the NOD or the response is inadequate, coverage under the general permit may be denied. If coverage is denied, the operator will be notified.

General Permit (Your Permit)

For NOIs submitted **electronically** through ePermits, provisional coverage under the general permit begins immediately following confirmation of receipt of the NOI form by the TCEQ.

For **paper** NOIs, provisional coverage under the general permit begins **7 days after a completed NOI is postmarked for delivery** to the TCEQ.

You should have a copy of your general permit when submitting your application. You may view and print your permit for which you are seeking coverage, on the TCEQ web site <http://www.tceq.texas.gov>. Search using keyword TXR150000.

Change in Operator

An authorization under the general permit is not transferable. If the operator of the regulated project or site changes, the present permittee must submit a Notice of Termination and the new operator must submit a Notice of Intent. The NOT and NOI must be submitted no later than 10 days prior to the change in Operator status.

TCEQ Central Registry Core Data Form

The Core Data Form has been incorporated into this form. Do not send a Core Data Form to TCEQ. After final acknowledgment of coverage under the general permit, the program will assign a Customer Number and Regulated Entity Number, if one has not already been assigned to this customer or site.

For existing customers and sites, you can find the Customer Number and Regulated Entity Number by entering the following web address into your internet browser:

<http://www15.tceq.texas.gov/crpub/> or you can contact the TCEQ Stormwater Processing Center at 512-239-3700 for assistance. On the website, you can search by your permit number, the Regulated Entity (RN) number, or the Customer Number (CN). If you do not know these numbers, you can select "Advanced Search" to search by permittee name, site address, etc.

The Customer (Permittee) is responsible for providing consistent information to the TCEQ, and for updating all CN and RN data for all authorizations as changes occur. For this permit, a Notice of Change form must be submitted to the program area.

INSTRUCTIONS FOR FILLING OUT THE NOI FORM

Renewal of General Permit. Dischargers holding active authorizations under the expired General Permit are required to submit a NOI to continue coverage. The existing permit number is required. If the permit number is not provided or has been terminated, expired, or denied, a new permit number will be issued.

Section 1. OPERATOR (APPLICANT)

a) Customer Number (CN)

TCEQ's Central Registry will assign each customer a number that begins with CN, followed by nine digits. **This is not a permit number, registration number, or license number.**

If the applicant is an existing TCEQ customer, the Customer Number is available at the following website: <http://www15.tceq.texas.gov/crpub/>. If the applicant is not an existing TCEQ customer, leave the space for CN blank.

b) Legal Name of Applicant

Provide the current legal name of the applicant. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, as filed in the county. You may contact the SOS at 512-463-5555, for more information related to filing in Texas. If filed in the county, provide a copy of the legal documents showing the legal name.

c) Contact Information for the Applicant (Responsible Authority)

Provide information for the person signing the application in the Certification section. This person is also referred to as the Responsible Authority.

Provide a complete mailing address for receiving mail from the TCEQ. The mailing address must be recognized by the US Postal Service. You may verify the address on the following website: <https://tools.usps.com/go/ZipLookupAction!input.action>.

The phone number should provide contact to the applicant.

The fax number and e-mail address are optional and should correspond to the applicant.

d) Type of Customer (Entity Type)

Check only one box that identifies the type of entity. Use the descriptions below to identify the appropriate entity type. Note that the selected entity type also indicates the name that must be provided as an applicant for an authorization.

Individual

An individual is a customer who has not established a business, but conducts an activity that needs to be regulated by the TCEQ.

Partnership

A customer that is established as a partnership as defined by the Texas Secretary of State Office (TX SOS). If the customer is a 'General Partnership' or 'Joint Venture' filed in the county (not filed with TX SOS), the legal name of each partner forming the 'General Partnership' or 'Joint Venture' must be provided. Each 'legal entity' must apply as a co-applicant.

Trust or Estate

A trust and an estate are fiduciary relationships governing the trustee/executor with respect to the trust/estate property.

Sole Proprietorship (DBA)

A sole proprietorship is a customer that is owned by only one person and has not been incorporated. This business may:

1. be under the person's name
2. have its own name (doing business as or DBA)
3. have any number of employees.

If the customer is a Sole Proprietorship or DBA, the 'legal name' of the individual business 'owner' must be provided. The DBA name is not recognized as the 'legal name' of the entity. The DBA name may be used for the site name (regulated entity).

Corporation

A customer that meets all of these conditions:

1. is a legally incorporated entity under the laws of any state or country
2. is recognized as a corporation by the Texas Secretary of State
3. has proper operating authority to operate in Texas

The corporation's 'legal name' as filed with the Texas Secretary of State must be provided as applicant. An 'assumed' name of a corporation is not recognized as the 'legal name' of the entity.

Government

Federal, state, county, or city government (as appropriate)

The customer is either an agency of one of these levels of government or the governmental body itself. The government agency's 'legal name' must be provided as the applicant. A department name or other description of the organization is not recognized as the 'legal name'.

Other

This may include a utility district, water district, tribal government, college district, council of governments, or river authority. Provide the specific type of government.

e) Independent Entity

Check No if this customer is a subsidiary, part of a larger company, or is a governmental entity. Otherwise, check Yes.

f) Number of Employees

Check one box to show the number of employees for this customer's entire company, at all locations. This is not necessarily the number of employees at the site named in the application.

g) Customer Business Tax and Filing Numbers

These are required for Corporations and Limited Partnerships. These are not required for Individuals, Government, and Sole Proprietors.

State Franchise Tax ID Number

Corporations and limited liability companies that operate in Texas are issued a franchise tax identification number. If this customer is a corporation or limited liability company, enter the Tax ID number.

Federal Tax ID

All businesses, except for some small sole proprietors, individuals, or general partnerships should have a federal taxpayer identification number (TIN). Enter this number here. Use no prefixes, dashes, or hyphens. Sole proprietors, individuals, or general partnerships do not need to provide a federal tax ID.

TX SOS Charter (filing) Number

Corporations and Limited Partnerships required to register with the Texas Secretary of State are issued a charter or filing number. You may obtain further information by calling SOS at 512-463-5555.

DUNS Number

Most businesses have a DUNS (Data Universal Numbering System) number issued by Dun and Bradstreet Corp. If this customer has one, enter it here.

Section 2. APPLICATION CONTACT

Provide the name and contact information for the person that TCEQ can contact for additional information regarding this application.

Section 3. REGULATED ENTITY (RE) INFORMATION ON PROJECT OR SITE

a) Regulated Entity Number (RN)

The RN is issued by TCEQ's Central Registry to sites where an activity is regulated by TCEQ. This is not a permit number, registration number, or license number. Search TCEQ's Central Registry to see if the site has an assigned RN at <http://www15.tceq.texas.gov/crpub/>. If this regulated entity has not been assigned an RN, leave this space blank.

If the site of your business is part of a larger business site, an RN may already be assigned for the larger site. Use the RN assigned for the larger site.

If the site is found, provide the assigned RN and provide the information for the site to be authorized through this application. The site information for this authorization may vary from the larger site information.

An example is a chemical plant where a unit is owned or operated by a separate corporation that is accessible by the same physical address of your unit or facility. Other examples include industrial parks identified by one common address but different corporations have control of defined areas within the site. In both cases, an RN would be assigned for the physical address location and the permitted sites would be identified separately under the same RN.

b) Name of the Project or Site

Provide the name of the site or project as known by the public in the area where the site is located. The name you provide on this application will be used in the TCEQ Central Registry as the Regulated Entity name.

c) Description of Activity Regulated

In your own words, briefly describe the primary business that you are doing that requires this authorization. Do not repeat the SIC Code description.

d) County

Provide the name of the county where the site or project is located. If the site or project is located in more than one county, provide the county names as secondary.

e) Latitude and Longitude

Enter the latitude and longitude of the site in degrees, minutes, and seconds or decimal form. For help obtaining the latitude and longitude, go to:

<http://www.tceq.texas.gov/gis/sqmapview.html>.

f) Site Address/Location

If a site has an address that includes a street number and street name, enter the complete address for the site in *Section A*. If the physical address is not recognized as a USPS delivery address, you may need to validate the address with your local police (911 service) or through an online map site used to locate a site. Please confirm this to be a complete and valid address. Do not use a rural route or post office box for a site location.

If a site does not have an address that includes a street number and street name, provide a complete written location description in *Section B*. For example: "The site is located on the north side of FM 123, 2 miles west of the intersection of FM 123 and Highway 1."

Provide the city (or nearest city) and zip code of the site location.

Section 4. GENERAL CHARACTERISTICS

a) Indian Country Lands

If your site is located on Indian Country Lands, the TCEQ does not have authority to process your application. You must obtain authorization through EPA Region 6, Dallas. Do not submit this form to TCEQ.

b) Construction activity associated with facility associated with exploration, development, or production of oil, gas, or geothermal resources

If your activity is associated with oil and gas exploration, development, or production, you may be under jurisdiction of the Railroad Commission of Texas (RRC) and may need to obtain authorization from EPA Region 6.

Construction activities associated with a facility related to oil, gas or geothermal resources may include the construction of a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a carbon dioxide geologic storage facility; and a gathering, transmission, or distribution pipeline that will transport crude oil or natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel.

Where required by federal law, discharges of stormwater associated with construction activities under the RRC's jurisdiction must be authorized by the EPA and the RRC, as applicable. Activities under RRC jurisdiction include construction of a facility that, when completed, would be associated with the exploration, development, or production of oil or gas or geothermal resources, such as a well site; treatment or storage facility; underground hydrocarbon or natural gas storage facility; reclamation plant; gas processing facility; compressor station; terminal facility where crude oil is stored prior to refining and at which refined products are stored solely for use at the facility; a carbon dioxide geologic storage facility under the jurisdiction of the RRC; and a gathering, transmission, or distribution pipeline that will transport crude oil or

natural gas, including natural gas liquids, prior to refining of such oil or the use of the natural gas in any manufacturing process or as a residential or industrial fuel. The RRC also has jurisdiction over stormwater from land disturbance associated with a site survey that is conducted prior to construction of a facility that would be regulated by the RRC. Under 33 U.S.C. §1342(l)(2) and §1362(24), EPA cannot require a permit for discharges of stormwater from field activities or operations associated with {oil and gas} exploration, production, processing, or treatment operations, or transmission facilities, including activities necessary to prepare a site for drilling and for the movement and placement of drilling equipment, whether or not such field activities or operations may be considered to be construction activities unless the discharge is contaminated by contact with any overburden, raw material, intermediate product, finished product, byproduct, or waste product located on the site of the facility. Under §3.8 of this title (relating to Water Protection), the RRC prohibits operators from causing or allowing pollution of surface or subsurface water. Operators are encouraged to implement and maintain best management practices (BMPs) to minimize discharges of pollutants, including sediment, in stormwater during construction activities to help ensure protection of surface water quality during storm events.

For more information about the jurisdictions of the RRC and the TCEQ, read the Memorandum of Understanding (MOU) between the RRC and TCEQ at 16 Texas Administrative Code, Part 1, Chapter 3, Rule 3.30, by entering the following link into an internet browser:

[http://texreg.sos.state.tx.us/public/readtac\\$ext.TacPage?sl=R&app=9&p_dir=&p_rloc=&p_tloc=&p_ploc=&pg=1&p_tac=&ti=16&pt=1&ch=3&rl=30](http://texreg.sos.state.tx.us/public/readtac$ext.TacPage?sl=R&app=9&p_dir=&p_rloc=&p_tloc=&p_ploc=&pg=1&p_tac=&ti=16&pt=1&ch=3&rl=30) or contact the TCEQ Stormwater Team at 512-239-4671 for additional information.

c) Primary Standard Industrial Classification (SIC) Code

Provide the SIC Code that best describes the construction activity being conducted at this site.

Common SIC Codes related to construction activities include:

- 1521 - Construction of Single Family Homes
- 1522 - Construction of Residential Buildings Other than Single Family Homes
- 1541 - Construction of Industrial Buildings and Warehouses
- 1542 - Construction of Non-residential Buildings, other than Industrial Buildings and Warehouses
- 1611 - Highway and Street Construction, except Highway Construction
- 1622 - Bridge, Tunnel, and Elevated Highway Construction
- 1623 - Water, Sewer, Pipeline and Communications, and Power Line Construction

For help with SIC Codes, enter the following link into your internet browser:

<http://www.osha.gov/pls/imis/sicsearch.html> or you can contact the TCEQ Small Business and Local Government Assistance Section at 800-447-2827 for assistance.

d) Secondary SIC Code

Secondary SIC Code(s) may be provided. Leave this blank if not applicable. For help with SIC Codes, enter the following link into your internet browser:

<http://www.osha.gov/pls/imis/sicsearch.html> or you can contact the TCEQ Small Business and Environmental Assistance Section at 800-447-2827 for assistance.

e) Total Number of Acres Disturbed

Provide the approximate number of acres that the construction site will disturb. Construction activities that disturb less than one acre, unless they are part of a larger common plan that disturbs more than one acre, do not require permit coverage. Construction activities that disturb between one and five acres, unless they are part of a common plan that disturbs more than five acres, do not require submission of an NOI. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

If you have any questions about this item, please contact the stormwater technical staff by phone at 512-239-4671 or by email at swgp@tceq.texas.gov.

f) Common Plan of Development

Construction activities that disturb less than five acres do not require submission of an NOI unless they are part of a common plan of development or for sale where the area disturbed is five or more acres. Therefore, the estimated area of land disturbed should not be less than five, unless the project is part of a larger common plan that disturbs five or more acres. Disturbed means any clearing, grading, excavating, or other similar activities.

For more information on what a common plan of development is, refer to the definition of “Common Plan of Development” in the Definitions section of the general permit or enter the following link into your internet browser:

www.tceq.texas.gov/permitting/stormwater/common_plan_of_development_steps.html

For further information, go to the TCEQ stormwater construction webpage enter the following link into your internet browser: www.tceq.texas.gov/goto/construction and search for “Additional Guidance and Quick Links”. If you have any further questions about the Common Plan of Development you can contact the TCEQ Stormwater Team at 512-239-4671 or the TCEQ Small Business and Environmental Assistance at 800-447-2827.

g) Estimated Start Date of the Project

This is the date that any construction activity or construction support activity is initiated at the site. If renewing the permit provide the original start date of when construction activity for this project began.

h) Estimated End Date of the Project

This is the date that any construction activity or construction support activity will end and final stabilization will be achieved at the site.

i) Will concrete truck washout be performed at the site?

Indicate if you expect that operators of concrete trucks will washout concrete trucks at the construction site.

j) Identify the water body(s) receiving stormwater runoff

The stormwater may be discharged directly to a receiving stream or through a MS4 from your site. It eventually reaches a receiving water body such as a local stream or lake, possibly via a drainage ditch. You must provide the name of the water body that receives the discharge from the site (a local stream or lake).

If your site has more than one outfall you need to include the name of the first water body for each outfall, if they are different.

k) Identify the segment number(s) of the classified water body(s)

Identify the classified segment number(s) receiving a discharge directly or indirectly. Enter the following link into your internet browser to find the segment number of the classified water body where stormwater will flow from the site:

www.tceq.texas.gov/waterquality/monitoring/viewer.html or by contacting the TCEQ Water Quality Division at (512) 239-4671 for assistance.

You may also find the segment number in TCEQ publication GI-316 by entering the following link into your internet browser: www.tceq.texas.gov/publications/gi/gi-316 or by contacting the TCEQ Water Quality Division at (512) 239-4671 for assistance.

If the discharge is into an unclassified receiving water and then crosses state lines prior to entering a classified segment, select the appropriate watershed:

- 0100 (Canadian River Basin)
- 0200 (Red River Basin)
- 0300 (Sulfur River Basin)
- 0400 (Cypress Creek Basin)
- 0500 (Sabine River Basin)

Call the Water Quality Assessments section at 512-239-4671 for further assistance.

l) Discharge into MS4 - Identify the MS4 Operator

The discharge may initially be into a municipal separate storm sewer system (MS4). If the stormwater discharge is into an MS4, provide the name of the entity that operates the MS4 where the stormwater discharges. An MS4 operator is often a city, town, county, or utility district, but possibly can be another form of government. Please note that the Construction General Permit requires the Operator to supply the MS4 with a copy of the NOI submitted to TCEQ. For assistance, you may call the technical staff at 512-239-4671.

m) Discharges to the Edwards Aquifer Recharge Zone and Certification

The general permit requires the approved Contributing Zone Plan or Water Pollution Abatement Plan to be included or referenced as a part of the Stormwater Pollution Prevention Plan.

See maps on the TCEQ website to determine if the site is located within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer by entering the following link into an internet browser:

www.tceq.texas.gov/field/eapp/viewer.html or by contacting the TCEQ Water Quality Division at 512-239-4671 for assistance.

If the discharge or potential discharge is within the Recharge Zone, Contributing Zone, or Contributing Zone within the Transition Zone of the Edwards Aquifer, a site-specific authorization approved by the Executive Director under the Edwards Aquifer Protection Program (30 TAC Chapter 213) is required before construction can begin.

For questions regarding the Edwards Aquifer Protection Program, contact the appropriate TCEQ Regional Office. For projects in Hays, Travis and Williamson Counties: Austin Regional Office, 12100 Park 35 Circle, Austin, TX 78753, 512-339-

2929. For Projects in Bexar, Comal, Kinney, Medina and Uvalde Counties: TCEQ San Antonio Regional Office, 14250 Judson Rd., San Antonio, TX 78233-4480, 210-490-3096.

Section 5. NOI CERTIFICATION

Note: Failure to indicate Yes to all of the certification items may result in denial of coverage under the general permit.

a) Certification of Understanding the Terms and Conditions of Construction General Permit (TXR150000)

Provisional coverage under the Construction General Permit (TXR150000) begins 7 days after the completed paper NOI is postmarked for delivery to the TCEQ. Electronic applications submitted through ePermits have immediate provisional coverage. You must obtain a copy and read the Construction General Permit before submitting your application. You may view and print the Construction General Permit for which you are seeking coverage at the TCEQ web site by entering the following link into an internet browser: www.tceq.texas.gov/goto/construction or you may contact the TCEQ Stormwater processing Center at 512-239-3700 for assistance.

b) Certification of Legal Name

The full legal name of the applicant as authorized to do business in Texas is required. The name must be provided exactly as filed with the Texas Secretary of State (SOS), or on other legal documents forming the entity, that is filed in the county where doing business. You may contact the SOS at 512-463 5555, for more information related to filing in Texas.

c) Understanding of Notice of Termination

A permittee shall terminate coverage under the Construction General Permit through the submittal of a NOT when the operator of the facility changes, final stabilization has been reached, the discharge becomes authorized under an individual permit, or the construction activity never began at this site.

d) Certification of Stormwater Pollution Prevention Plan

The SWP3 identifies the areas and activities that could produce contaminated runoff at your site and then tells how you will ensure that this contamination is mitigated. For example, in describing your mitigation measures, your site's plan might identify the devices that collect and filter stormwater, tell how those devices are to be maintained, and tell how frequently that maintenance is to be carried out. You must develop this plan in accordance with the TCEQ general permit requirements. This plan must be developed and implemented before you complete this NOI. The SWP3 must be available for a TCEQ investigator to review on request.

Section 6. APPLICANT CERTIFICATION SIGNATURE

The certification must bear an original signature of a person meeting the signatory requirements specified under 30 Texas Administrative Code (TAC) §305.44.

If you are a corporation:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(1) (see below). According to this code provision, any corporate representative may sign an NOI or similar form so long as the authority to sign such a document has been delegated to that person in accordance with corporate

procedures. By signing the NOI or similar form, you are certifying that such authority has been delegated to you. The TCEQ may request documentation evidencing such authority.

If you are a municipality or other government entity:

The regulation that controls who may sign an NOI or similar form is 30 Texas Administrative Code §305.44(a)(3) (see below). According to this code provision, only a ranking elected official or principal executive officer may sign an NOI or similar form. Persons such as the City Mayor or County Commissioner will be considered ranking elected officials. In order to identify the principal executive officer of your government entity, it may be beneficial to consult your city charter, county or city ordinances, or the Texas statute(s) under which your government entity was formed. An NOI or similar document that is signed by a government official who is not a ranking elected official or principal executive officer does not conform to §305.44(a)(3). The signatory requirement may not be delegated to a government representative other than those identified in the regulation. By signing the NOI or similar form, you are certifying that you are either a ranking elected official or principal executive officer as required by the administrative code. Documentation demonstrating your position as a ranking elected official or principal executive officer may be requested by the TCEQ.

If you have any questions or need additional information concerning the signatory requirements discussed above, please contact the TCEQ's Environmental Law Division at 512-239-0600.

30 Texas Administrative Code

§305.44. Signatories to Applications

(a) All applications shall be signed as follows.

(1) For a corporation, the application shall be signed by a responsible corporate officer. For purposes of this paragraph, a responsible corporate officer means a president, secretary, treasurer, or vice-president of the corporation in charge of a principal business function, or any other person who performs similar policy or decision-making functions for the

corporation; or the manager of one or more manufacturing, production, or operating facilities employing more than 250 persons or having gross annual sales or expenditures exceeding \$25 million (in second-quarter 1980 dollars), if authority to sign documents has been assigned or delegated to the manager in accordance with corporate procedures. Corporate procedures governing authority to sign permit or post-closure order applications may provide for assignment or delegation to applicable corporate positions rather than to specific individuals.

(2) For a partnership or sole proprietorship, the application shall be signed by a general partner or the proprietor, respectively.

(3) For a municipality, state, federal, or other public agency, the application shall be signed by either a principal executive officer or a ranking elected official. For purposes of this paragraph, a principal executive officer of a federal agency includes the chief executive officer of the agency, or a senior executive officer having responsibility for the overall operations of a principal geographic unit of the agency (e.g., regional administrator of the EPA).

Texas Commission on Environmental Quality General Permit Payment Submittal Form

Use this form to submit your Application Fee only if you are mailing your payment.

Instructions:

- Complete items 1 through 5 below:
- Staple your check in the space provided at the bottom of this document.
- *Do not mail this form with your NOI form.*
- *Do not mail this form to the same address as your NOI.*

Mail this form and your check to either of the following:

By Regular U.S. Mail

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
P.O. Box 13088
Austin, TX 78711-3088

By Overnight or Express Mail

Texas Commission on Environmental Quality
Financial Administration Division
Cashier's Office, MC-214
12100 Park 35 Circle
Austin, TX 78753

Fee Code: GPA General Permit: TXR150000

1. Check or Money Order No:
2. Amount of Check/Money Order:
3. Date of Check or Money Order:
4. Name on Check or Money Order:
5. NOI Information:

If the check is for more than one NOI, list each Project or Site (RE) Name and Physical Address exactly as provided on the NOI. **Do not submit a copy of the NOI with this form, as it could cause duplicate permit application entries!**

If there is not enough space on the form to list all of the projects or sites the authorization will cover, then attach a list of the additional sites.

Project/Site (RE) Name: 4S Ranch Phase 4

Project/Site (RE) Physical Address: Approx. 1.5 miles east of Mustang Vista and Stahl Lane intersection, Bulverde, TX 78163

Staple the check or money order to this form in this space.

**AGENT
AUTHORIZATION
FORM**

**APPLICATION
FEE FORM**

Application Fee Form

Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Descending Dove Hills Commercial
 Regulated Entity Location: Approx. 0.15 miles East of US Hwy 281 and SH-46
 Name of Customer: H-E-B, LP.
 Contact Person: Ben Scott Phone: (210) 938-8697
 Customer Reference Number (if issued): CN 600282156
 Regulated Entity Reference Number (if issued): RN 103117438
Austin Regional Office (3373)

- Hays Travis Williamson

San Antonio Regional Office (3362)

- Bexar Medina Uvalde
 Comal Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

- Austin Regional Office San Antonio Regional Office
 Mailed to: TCEQ - Cashier Overnight Delivery to: TCEQ - Cashier
 Revenues Section 12100 Park 35 Circle
 Mail Code 214 Building A, 3rd Floor
 P.O. Box 13088 Austin, TX 78753
 Austin, TX 78711-3088 (512)239-0357

Site Location (Check All That Apply):

- Recharge Zone Contributing Zone Transition Zone

Type of Plan	Size	Fee Due
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	24.85 Acres	\$ 6,500
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: Shauna L. Weaver

Date: 4/7/20

Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

Water Pollution Abatement Plans and Modifications

Contributing Zone Plans and Modifications

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

Organized Sewage Collection Systems and Modifications

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

Underground and Aboveground Storage Tank System Facility Plans and Modifications

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

Exception Requests

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

Extension of Time Requests

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150

CORE DATA FORM



TCEQ Use Only

TCEQ Core Data Form

For detailed instructions regarding completion of this form, please read the Core Data Form Instructions or call 512-239-5175.

SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)	<input type="checkbox"/> Other	
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in Central Registry**	3. Regulated Entity Reference Number (if issued)
CN		RN

SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)	
<input type="checkbox"/> New Customer		<input type="checkbox"/> Update to Customer Information	
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)		<input type="checkbox"/> Change in Regulated Entity Ownership	
The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).			
6. Customer Legal Name (If an individual, print last name first: eg: Doe, John)		If new Customer, enter previous Customer below:	
7. TX SOS/CPA Filing Number	8. TX State Tax ID (11 digits)	9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)
11. Type of Customer:	<input type="checkbox"/> Corporation	<input type="checkbox"/> Individual	Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> Other	<input type="checkbox"/> Sole Proprietorship	<input type="checkbox"/> Other:	
12. Number of Employees		13. Independently Owned and Operated?	
<input type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input type="checkbox"/> No	
14. Customer Role (Proposed or Actual) – as it relates to the Regulated Entity listed on this form. Please check one of the following:			
<input type="checkbox"/> Owner <input type="checkbox"/> Operator <input type="checkbox"/> Owner & Operator			
<input type="checkbox"/> Occupational Licensee <input type="checkbox"/> Responsible Party <input type="checkbox"/> Voluntary Cleanup Applicant <input type="checkbox"/> Other:			
15. Mailing Address:			
	City	State	ZIP
16. Country Mailing Information (if outside USA)		17. E-Mail Address (if applicable)	
18. Telephone Number		19. Extension or Code	20. Fax Number (if applicable)
() -			() -

SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If "New Regulated Entity" is selected below this form should be accompanied by a permit application)		
<input type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input type="checkbox"/> Update to Regulated Entity Information		
The Regulated Entity Name submitted may be updated in order to meet TCEQ Agency Data Standards (removal of organizational endings such as Inc, LP, or LLC.)		
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)		

23. Street Address of the Regulated Entity: <i>(No PO Boxes)</i>							
	City		State		ZIP		ZIP + 4
24. County							

Enter Physical Location Description if no street address is provided.

25. Description to Physical Location:							
---------------------------------------	--	--	--	--	--	--	--

26. Nearest City					State	Nearest ZIP Code	

27. Latitude (N) In Decimal:				28. Longitude (W) In Decimal:			
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds	Seconds	

29. Primary SIC Code (4 digits)	30. Secondary SIC Code (4 digits)	31. Primary NAICS Code (5 or 6 digits)	32. Secondary NAICS Code (5 or 6 digits)

33. What is the Primary Business of this entity? <i>(Do not repeat the SIC or NAICS description.)</i>

34. Mailing Address:							
	City		State		ZIP		ZIP + 4

35. E-Mail Address:							
36. Telephone Number	37. Extension or Code			38. Fax Number <i>(if applicable)</i>			
() -				() -			

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Waste Water	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

SECTION IV: Preparer Information

40. Name:				41. Title:			
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address				
() -		() -					

SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:				Job Title:			
Name <i>(In Print)</i> :					Phone:	() -	
Signature:	<i>Shauna L. Weaver</i>				Date:		

POLLUTANT LOAD AND REMOVAL CALCULATIONS

Texas Commission on Environmental Quality

TSS Removal Calculations 04-20-2009

Project Name: **HEB Bulverde**

Date Prepared: **4/6/2020**

Additional information is provided for cells with a red triangle in the upper right corner. Place the cursor over the cell.

Text shown in blue indicate location of instructions in the Technical Guidance Manual - RG-348.

Characters shown in red are data entry fields.

Characters shown in black (Bold) are calculated fields. Changes to these fields will remove the equations used in the spr

1. The Required Load Reduction for the total project:

Calculations from RG-348

Pages 3-27 to 3-30

Page 3-29 Equation 3.3: $L_M = 27.2(A_N \times P)$

where:

$L_{M \text{ TOTAL PROJECT}}$ = Required TSS removal resulting from the proposed development = 80% of i

A_N = Net increase in impervious area for the project

P = Average annual precipitation, inches

Site Data: Determine Required Load Removal Based on the Entire Project

County =	Comal	
Total project area included in plan * =	24.85	acres
Predevelopment impervious area within the limits of the plan * =	0.00	acres
Total post-development impervious area within the limits of the plan* =	17.54	acres
Total post-development impervious cover fraction * =	0.71	
P =	33	inches

$L_{M \text{ TOTAL PROJECT}}$ = **15744** lbs.

* The values entered in these fields should be for the total project area.

Number of drainage basins / outfalls areas leaving the plan area = **1**

4/7/20



Shauna L. Weaver

2. Drainage Basin Parameters (This information should be provided for each basin):

Drainage Basin/Outfall Area No. = **Basin 1**

Total drainage basin/outfall area = **22.48** acres

Predevelopment impervious area within drainage basin/outfall area = **0.00** acres

Post-development impervious area within drainage basin/outfall area = **17.54** acres

Post-development impervious fraction within drainage basin/outfall area = **0.78**

L_M THIS BASIN = **15744** lbs.

3. Indicate the proposed BMP Code for this basin.

Proposed BMP = **Extended Detention**

Removal efficiency = **91** percent

- Aqualogic Cartridge Filter
- Bioretention
- Contech StormFilter
- Constructed Wetland
- Extended Detention
- Grassy Swale
- Retention / Irrigation
- Sand Filter
- Stormceptor
- Vegetated Filter Strips
- Vortechs
- Wet Basin
- Wet Vault

4. Calculate Maximum TSS Load Removed (L_R) for this Drainage Basin by the selected BMP Type.

RG-348 Page 3-33 Equation 3.7: $L_R = (\text{BMP efficiency}) \times P \times (A_I \times 34.6 + A_P \times 0.54)$

where:

- A_C = Total On-Site drainage area in the BMP catchment area
- A_I = Impervious area proposed in the BMP catchment area
- A_P = Pervious area remaining in the BMP catchment area
- L_R = TSS Load removed from this catchment area by the proposed BMP

$A_C = 22.48$ acres
 $A_I = 17.54$ acres
 $A_P = 4.94$ acres
 $L_R = 18305$ lbs

5. Calculate Fraction of Annual Runoff to Treat the drainage basin / outfall area

Desired $L_{M \text{ THIS BASIN}} = 15744$ lbs.
 $F = 0.86$

6. Calculate Capture Volume required by the BMP Type for this drainage basin / outfall area.

Calculations from RG-348

Pages 3-6

Rainfall Depth = 1.38 inches
 Post Development Runoff Coefficient = 0.60
 On-site Water Quality Volume = 67274 cubic feet

Calculations from RG-348 Pages 3-36 to 3-37

Off-site area draining to BMP = 0.00 acres
 Off-site Impervious cover draining to BMP = 0.00 acres
 Impervious fraction of off-site area = 0
 Off-site Runoff Coefficient = 0.00
 Off-site Water Quality Volume = 0 cubic feet

Storage for Sediment = 13455
Total Capture Volume (required water quality volume(s) x 1.20) = 80729 cubic feet

The following sections are used to calculate the required water quality volume(s) for the selected BMP.
 The values for BMP Types not selected in cell C45 will show NA.

7. Retention/Irrigation System

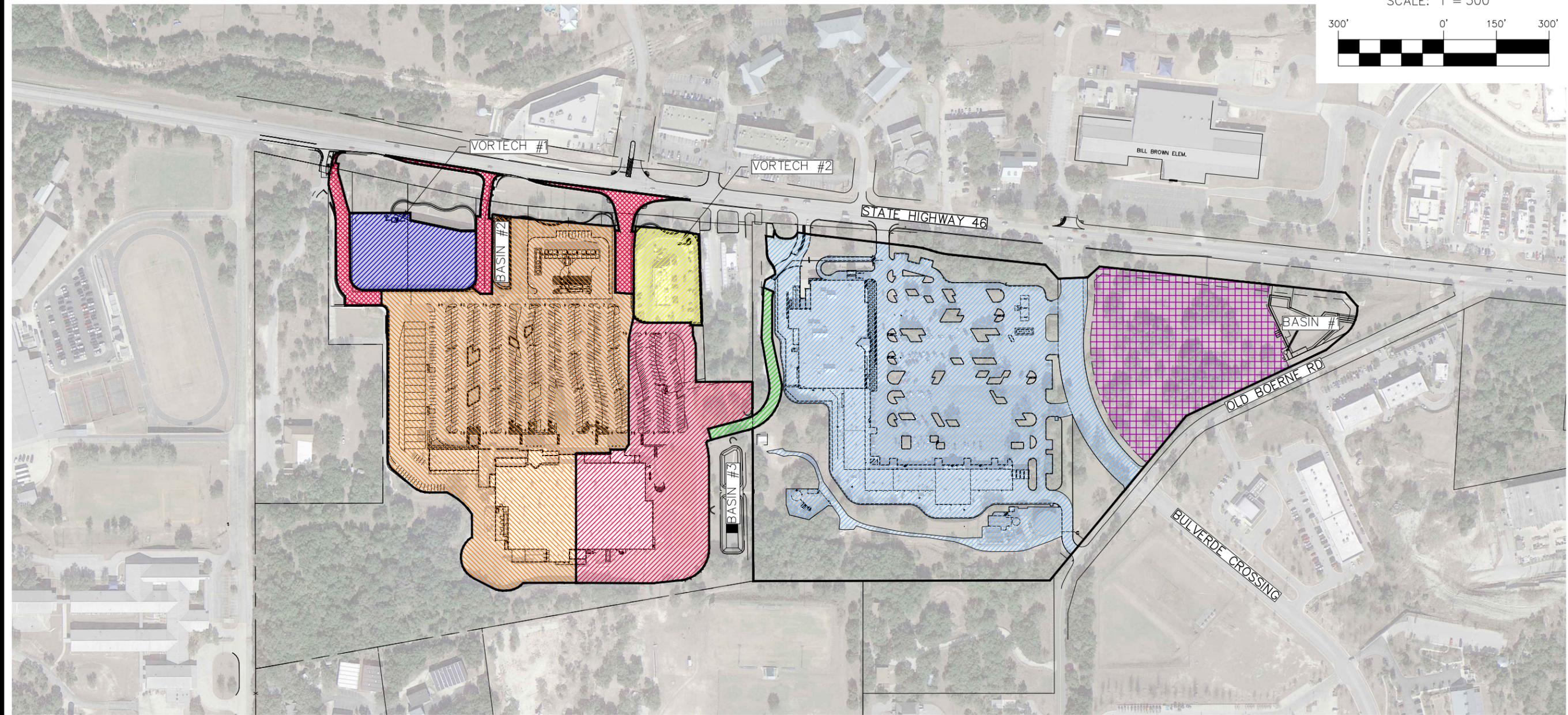
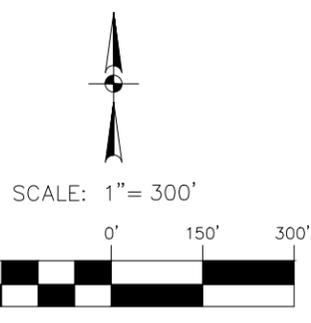
Designed as Required in RG-348

Pages 3-42 to 3-46

Required Water Quality Volume for retention basin = NA cubic feet

EXHIBITS

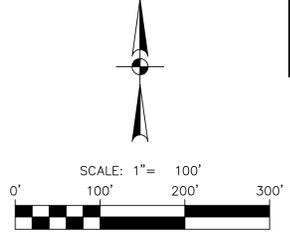
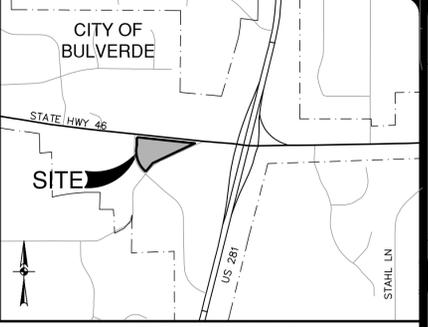
DESCENDING DOVE HILLS COMMERCIAL
 BULVERDE, TEXAS
 CZP MODIFICATION II SUMMARY



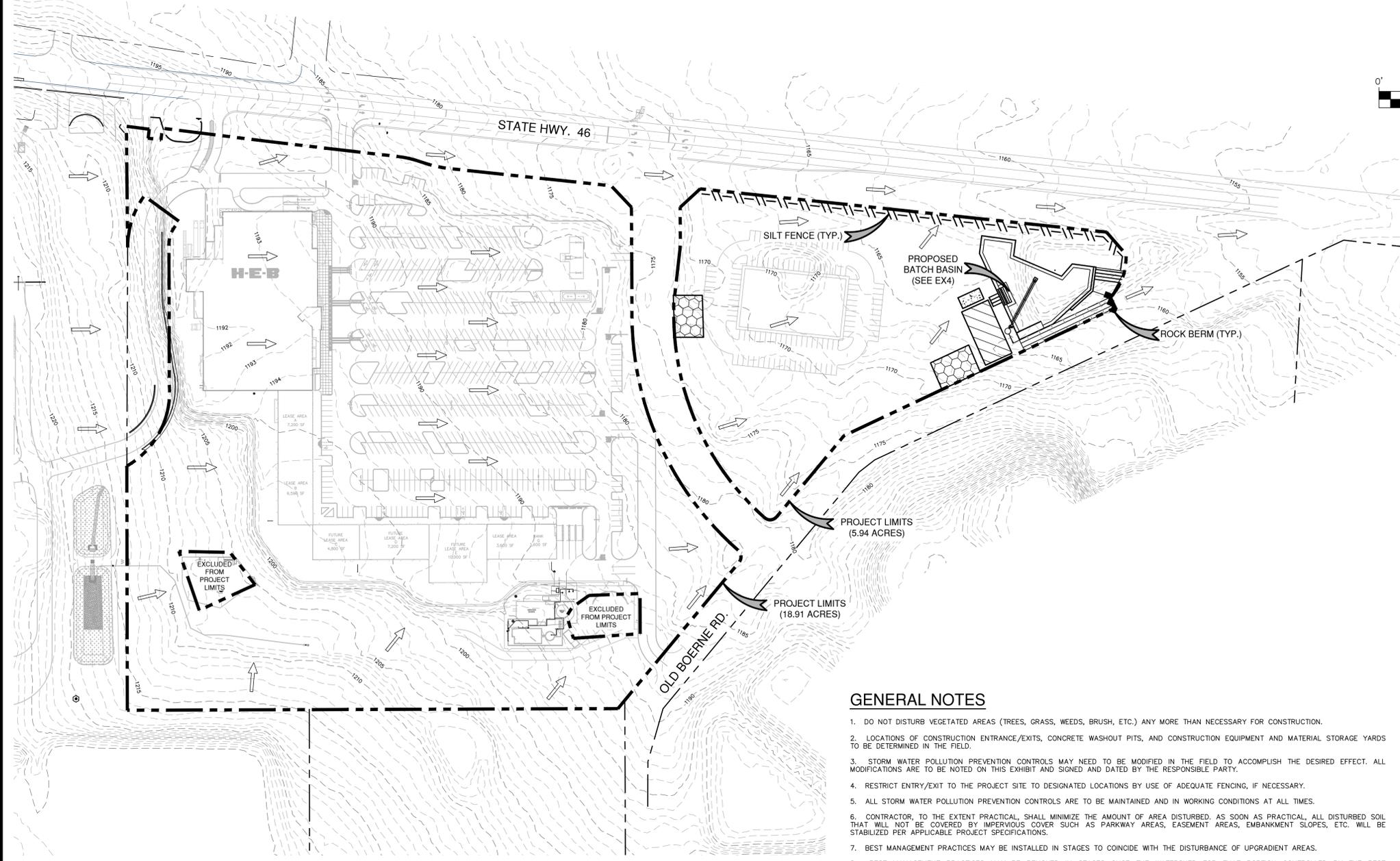
	ALLOWABLE 100% IMPERVIOUS COVER = ±4.73 AC (BASIN #1)		PROPOSED 95% IMPERVIOUS (BASIN #3)		PROPOSED UNCAPTURED 95% IMPERVIOUS (BASIN #3)		PROPOSED 95% IMPERVIOUS (VORTECH #2)
	EXISTING IMPERVIOUS COVER = ±12.42 AC (BASIN #1)		PROPOSED 95% IMPERVIOUS (BASIN #2)		PROPOSED 95% IMPERVIOUS (VORTECH #1)		EXISTING IMPERVIOUS COVER = 0.39 ACRES (BASIN #1)

TOTAL BASIN #1 IMPERVIOUS COVER = 17.54 ACRES

TEMPORARY BMP MODIFICATIONS		
DATE	SIGNATURE	DESCRIPTION



LEGEND	
PROJECT LIMITS	---
EXISTING CONTOUR	- - - - - 976
PROPOSED CONTOUR	- - - - - 970
FLOW ARROW (EXISTING)	→
FLOW ARROW (PROPOSED)	→
SILT FENCE	
ROCK BERM (BERMS ARE TO SPAN ACROSS ENTIRE CHANNEL WIDTHS)	◆◆◆
STABILIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)	▨
CONSTRUCTION EQUIPMENT, VEHICLE & MATERIALS STORAGE AREA (FIELD LOCATE)	▩
CONCRETE TRUCK WASH-OUT PIT (FIELD LOCATE)	▧



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
CONTRIBUTING ZONE PLAN
GENERAL CONSTRUCTION NOTES

- WRITTEN CONSTRUCTION NOTIFICATION SHOULD BE PROVIDED TO THE APPROPRIATE TCEQ REGIONAL OFFICE NO LATER THAN 48 HOURS PRIOR TO COMMENCEMENT OF THE REGULATED ACTIVITY. INFORMATION SHOULD INCLUDE THE DATE ON WHICH THE REGULATED ACTIVITY WILL COMMENCE, THE NAME OF THE APPROVED PLAN FOR THE REGULATED ACTIVITY, AND THE NAME OF THE PRIME CONTRACTOR WITH THE NAME AND TELEPHONE NUMBER OF THE CONTACT PERSON.
- ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT SHOULD BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED CONTRIBUTING ZONE PLAN AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTOR(S) SHOULD KEEP COPIES OF THE APPROVED PLAN AND APPROVAL LETTER ON-SITE.
- NO TEMPORARY ABOVEGROUND HYDROCARBON AND HAZARDOUS SUBSTANCE STORAGE TANK SYSTEM MAY BE INSTALLED WITHIN 150 FEET OF A DOMESTIC, INDUSTRIAL, IRRIGATION, OR PUBLIC WATER SUPPLY WELL.
- PRIOR TO COMMENCING CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES. CONTROLS SPECIFIED IN THE SWPPP SECTION OF THE APPROVED EDWARDS AQUIFER CONTRIBUTING ZONE PLAN ARE REQUIRED DURING CONSTRUCTION. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THE CONTROLS MUST REMAIN IN PLACE UNTIL DISTURBED AREAS ARE REVEGETATED AND THE AREAS HAVE BECOME PERMANENTLY STABILIZED.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED AT A FREQUENCY SUFFICIENT TO MINIMIZE OFFSITE IMPACTS TO WATER QUALITY (E.G., FUGITIVE SEDIMENT IN STREET BEING WASHED INTO SURFACE STREAMS OR SENSITIVE FEATURES BY THE NEXT RAIN).
- SEDIMENT MUST BE REMOVED FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS NOT LATER THAN WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%. A PERMANENT STAKE MUST BE PROVIDED THAT CAN INDICATE WHEN THE SEDIMENT OCCUPIES 50% OF THE BASIN VOLUME.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE FOR STORMWATER DISCHARGES (E.G., SCREENING OUTFALLS, PICKED UP DAILY).
- ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE AND STORED ON-SITE MUST HAVE PROPER E&S CONTROLS INSTALLED.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND CONSTRUCTION ACTIVITIES WILL NOT RESUME WITHIN 21 DAYS. WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY IS PRECLUDED BY WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
- THE FOLLOWING RECORDS SHOULD BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
- THE HOLDER OF ANY APPROVED CONTRIBUTING ZONE PLAN MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
 - ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY BEST MANAGEMENT PRACTICES OR STRUCTURE(S), INCLUDING BUT NOT LIMITED TO TEMPORARY OR PERMANENT PONDS, DAMS, BERMS, SILT FENCES, AND DIVERSIONARY STRUCTURES;
 - ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED;
 - ANY CHANGE THAT WOULD SIGNIFICANTLY IMPACT THE ABILITY TO PREVENT POLLUTION OF THE EDWARDS AQUIFER AND HYDROLOGICALLY CONNECTED SURFACE WATER; OR
 - ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED IN A CONTRIBUTING ZONE PLAN AS UNDEVELOPED.

GENERAL NOTES

- DO NOT DISTURB VEGETATED AREAS (TREES, GRASS, WEEDS, BRUSH, ETC.) ANY MORE THAN NECESSARY FOR CONSTRUCTION.
- LOCATIONS OF CONSTRUCTION ENTRANCE/EXITS, CONCRETE WASHOUT PITS, AND CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE YARDS TO BE DETERMINED IN THE FIELD.
- STORM WATER POLLUTION PREVENTION CONTROLS MAY NEED TO BE MODIFIED IN THE FIELD TO ACCOMPLISH THE DESIRED EFFECT. ALL MODIFICATIONS ARE TO BE NOTED ON THIS EXHIBIT AND SIGNED AND DATED BY THE RESPONSIBLE PARTY.
- RESTRICT ENTRY/EXIT TO THE PROJECT SITE TO DESIGNATED LOCATIONS BY USE OF ADEQUATE FENCING, IF NECESSARY.
- ALL STORM WATER POLLUTION PREVENTION CONTROLS ARE TO BE MAINTAINED AND IN WORKING CONDITIONS AT ALL TIMES.
- CONTRACTOR, TO THE EXTENT PRACTICAL, SHALL MINIMIZE THE AMOUNT OF AREA DISTURBED. AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SUCH AS PARKWAY AREAS, EASEMENT AREAS, EMBANKMENT SLOPES, ETC. WILL BE STABILIZED PER APPLICABLE PROJECT SPECIFICATIONS.
- BEST MANAGEMENT PRACTICES MAY BE INSTALLED IN STAGES TO COINCIDE WITH THE DISTURBANCE OF UPGRADE AREAS.
- BEST MANAGEMENT PRACTICES MAY BE REMOVED IN STAGES ONCE THE WATERSHED FOR THAT PORTION CONTROLLED BY THE BEST MANAGEMENT PRACTICES HAS BEEN STABILIZED.
- ALL TEMPORARY BMPs WILL BE REMOVED ONCE WATERSHED IS STABILIZED.
- MUD OR DIRT INADVERTENTLY TRACKED OFF-SITE AND ONTO EXISTING STREETS SHALL BE REMOVED IMMEDIATELY BY HAND OR MECHANICAL BROOM SWEEPING.
- PRIOR TO INITIATION OF SUBSEQUENT PHASES OF CONSTRUCTION, TEMPORARY BMPs INCLUDING SILT FENCING, CONSTRUCTION ENTRANCE/EXIT, CONCRETE WASHOUT PIT, AND CONSTRUCTION STAGING AREA SHALL BE FIELD LOCATED AS APPROPRIATE FOR THE AREA OF CONSTRUCTION.
- TEMPORARY POLLUTION ABATEMENT MEASURES SHOWN ON THE PLAN ARE FOR THE OVERALL DEVELOPMENT. TEMPORARY BMPs MAY REQUIRE ADJUSTMENT BASED ON PHASING OF CONSTRUCTION OF THE DEVELOPMENT. RECORDS OF ADJUSTMENTS AND REVISIONS SHALL BE MAINTAINED AS APPROPRIATE.
- TEMPORARY BMPs SHOWN ON THIS SHEET ARE FOR GRAPHICAL PURPOSES AND MAY NOT BE TO SCALE. BMPs SHALL BE LOCATED WITHIN THE PROJECT LIMITS.
- UPON COMPLETION OF THE PROJECT AND BEFORE FINAL PAYMENT IS ISSUED, CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL MEASURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SEQUENCING AND REMOVAL OF TEMPORARY POLLUTION ABATEMENT MEASURES THAT CONFLICT WITH SITE IMPROVEMENTS SUCH AS LANDSCAPING AND FENCES SO AS TO PREVENT SEDIMENT FROM ESCAPING THE PROJECT SITE.
- BEST MANAGEMENT PRACTICES (BMPs) AND CALCULATIONS DEPICTED ON THIS PLAN ARE FOR TEMPORARY MEASURES ONLY. REFERENCE THE 4S RANCH, UNIT-7B, UNIT-7C, UNIT-9A, MUSTANG VISTA PHASE 4 AND AMENITY CENTER #2 CIVIL CONSTRUCTION PLANS FOR PERMANENT BATCH DETENTION BASIN DETAILS AND CALCULATIONS.

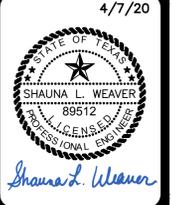
SAN ANTONIO REGIONAL OFFICE
14250 JUDSON ROAD
SAN ANTONIO, TEXAS 78233-4480
PHONE (210) 490-3096
FAX (210) 545-4329

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE POLLUTION ABATEMENT SIZING AND TREATMENT REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S EDWARDS AQUIFER TECHNICAL GUIDANCE MANUAL.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF POLLUTION ABATEMENT ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 1

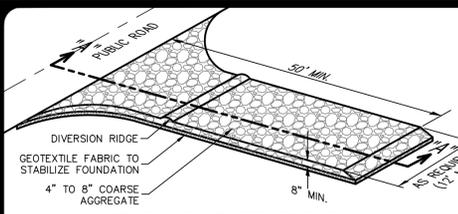
NO.	REVISION	DATE



PAPE-DAWSON ENGINEERS
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBP# FIRM REGISTRATION #470 | TBP#S FIRM REGISTRATION #1008880

DESCENDING DOVE HILLS COMMERCIAL
BULVERDE, TEXAS
CONTRIBUTING ZONE PLAN MODIFICATION II
TEMPORARY POLLUTION ABATEMENT PLAN

PLAT NO.	--
JOB NO.	11898-00
DATE	APRIL 2020
DESIGNER	EK
CHECKED	DRAWN DD/EK
SHEET	EX1



SCHEMATIC OF TEMPORARY CONSTRUCTION ENTRANCE/EXIT

MATERIALS

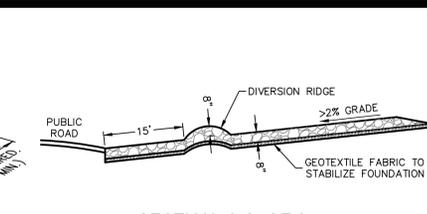
1. THE AGGREGATE SHOULD CONSIST OF 4-INCH TO 8-INCH WASHED STONE OVER A STABLE FOUNDATION AS SPECIFIED IN THE PLAN.
2. THE AGGREGATE SHOULD BE PLACED WITH A MINIMUM THICKNESS OF 8-INCHES.
3. THE GEOTEXTILE FABRIC SHOULD BE DESIGNED SPECIFICALLY FOR USE AS A SOIL FILTRATION MEDIA WITH AN APPROXIMATE HEIGHT OF 6 OZ/YD². A MULLEN BURST RATING OF 140 LB/IN², AND AN EQUIVALENT OPENING SIZE GREATER THAN A NUMBER 50 SIEVE.
4. IF A WASHING FACILITY IS REQUIRED, A LEVEL AREA WITH A MINIMUM OF 4-INCH DIAMETER WASHED STONE OR COMMERCIAL ROCK SHOULD BE INCLUDED IN THE PLANS. DIVERT WASTEWATER TO A SEDIMENT TRAP OR BASIN.

INSTALLATION

1. AVOID CURVES ON PUBLIC ROADS AND STEEP SLOPES. REMOVE VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM THE FOUNDATION AREA. GRADE CROWN FOUNDATION FOR POSITIVE DRAINAGE.
2. THE MINIMUM WIDTH OF THE ENTRANCE/EXIT SHOULD BE 12 FEET OR THE FULL WIDTH OF EXIT ROADWAY, WHICHEVER IS GREATER.
3. THE CONSTRUCTION ENTRANCE SHOULD BE AT LEAST 50 FEET LONG.
4. IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6-INCHES TO 8-INCHES HIGH WITH 3:1 (H:V) SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FEET FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
5. PLACE GEOTEXTILE FABRIC AND GRADE FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
6. PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPE FOR DRAINAGE.
7. DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE STONE PAD TO A SEDIMENT TRAP OR BASIN.
8. INSTALL PIPE UNDER PAD AS NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.

STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL

NOT-TO-SCALE



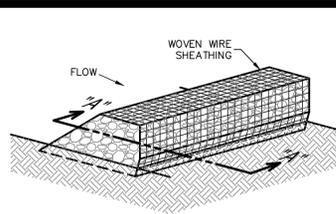
SECTION "A-A" OF A CONSTRUCTION ENTRANCE/EXIT

COMMON TROUBLE POINTS

1. INADEQUATE RUNOFF CONTROL—SEDIMENT WASHES ONTO PUBLIC ROAD.
2. STONE TOO SMALL OR GEOTEXTILE FABRIC ABSENT, RESULTS IN MUDDY CONDITION AS STONE IS PRESSED INTO SOIL.
3. PAD TOO SHORT FOR HEAVY CONSTRUCTION TRAFFIC—EXTEND PAD BEYOND THE MINIMUM 50-FOOT LENGTH AS NECESSARY.
4. PAD NOT FLARED SUFFICIENTLY AT ROAD SURFACE, RESULTS IN MUD BEING TRACKED ON TO ROAD AND POSSIBLE DAMAGE TO ROAD.
5. UNSTABLE FOUNDATION — USE GEOTEXTILE FABRIC UNDER PAD AND/OR IMPROVE FOUNDATION DRAINAGE.

INSPECTION AND MAINTENANCE GUIDELINES

1. THE ENTRANCE SHOULD BE MAINTAINED IN A CONDITION, WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHOULD BE REMOVED IMMEDIATELY BY CONTRACTOR.
3. WHEN NECESSARY, WHEELS SHOULD BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
4. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
5. ALL SEDIMENT SHOULD BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATER COURSE BY USING APPROVED METHODS.



ISOMETRIC PLAN VIEW

ROCK BERMS

THE PURPOSE OF A ROCK BERM IS TO SERVE AS A CHECK DAM IN AREAS OF CONCENTRATED FLOW, TO INTERCEPT SEDIMENT-LADEN RUNOFF, DETAIN THE SEDIMENT AND RELEASE THE WATER IN SHEET FLOW. THE ROCK BERM SHOULD BE USED WHEN THE CONTRIBUTING DRAINAGE AREA IS LESS THAN 5 ACRES. ROCK BERMS ARE USED IN AREAS WHERE THE VOLUME OF RUNOFF IS TOO GREAT FOR A SILT FENCE TO CONTAIN. THEY ARE LESS EFFECTIVE FOR SEDIMENT REMOVAL THAN SILT FENCES, PARTICULARLY FOR FINE PARTICLES, BUT ARE ABLE TO WITHSTAND HIGHER FLOWS THAN A SILT FENCE. AS SUCH, ROCK BERMS ARE OFTEN USED IN AREAS OF CHANNEL FLOWS (DITCHES, GULLIES, ETC.). ROCK BERMS ARE MOST EFFECTIVE AT REDUCING BED LOAD IN CHANNELS AND SHOULD NOT BE SUBSTITUTED FOR OTHER EROSION AND SEDIMENT CONTROL MEASURES FARTHER UP THE WATERSHED.

INSPECTION AND MAINTENANCE GUIDELINES

1. INSPECTION SHOULD BE MADE WEEKLY AND AFTER EACH RAINFALL BY THE RESPONSIBLE PARTY. FOR INSTALLATIONS IN STREAMBEDS, ADDITIONAL DAILY INSPECTIONS SHOULD BE MADE.
2. REMOVE SEDIMENT AND OTHER DEBRIS WHEN BUILDUP REACHES 6 INCHES AND DISPOSE OF THE ACCUMULATED SILT IN AN APPROVED MANNER THAT WILL NOT CAUSE ANY ADDITIONAL SILTATION.
3. REPAIR ANY LOOSE WIRE SHEATHING.
4. THE BERM SHOULD BE RESHAPED AS NEEDED DURING INSPECTION.
5. THE BERM SHOULD BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
6. THE ROCK BERM SHOULD BE LEFT IN PLACE UNTIL ALL UPSTREAM AREAS ARE STABILIZED AND ACCUMULATED SILT REMOVED.

MATERIALS

1. THE BERM STRUCTURE SHOULD BE SECURED WITH A WOVEN WIRE SHEATHING HAVING MAXIMUM OPENING OF 1 INCH AND A MINIMUM WIRE DIAMETER OF 20 GAUGE GALVANIZED AND SHOULD BE SECURED WITH SHOAT RINGS.
2. CLEAN, OPEN GRADED 3-INCH TO 5-INCH DIAMETER ROCK SHOULD BE USED, EXCEPT IN AREAS WHERE HIGH VELOCITIES OR LARGE VOLUMES OF FLOW ARE EXPECTED, WHERE 5-INCH TO 8-INCH DIAMETER ROCKS MAY BE USED.

INSTALLATION

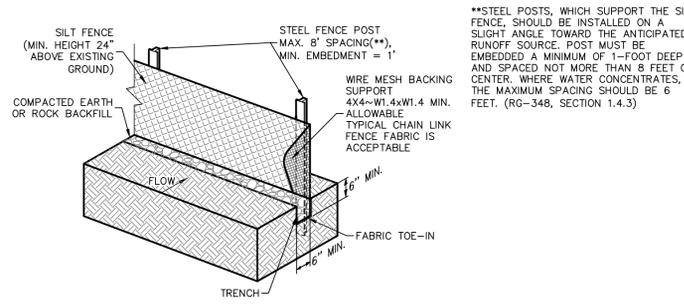
1. LAY OUT THE WOVEN WIRE SHEATHING PERPENDICULAR TO THE FLOW LINE. THE SHEATHING SHOULD BE 20 GAUGE WOVEN WIRE MESH WITH 1 INCH OPENINGS.
2. BERM SHOULD HAVE A TOP WIDTH OF 2 FEET MINIMUM WITH SIDE SLOPES BEING 2:1 (H:V) OR FLATTER.
3. PLACE THE ROCK ALONG THE SHEATHING AS SHOWN IN THE DIAGRAM TO A HEIGHT NOT LESS THAN 18".
4. WRAP THE WIRE SHEATHING AROUND THE ROCK AND SECURE WITH THE WIRE SO THAT THE ENDS OF THE SHEATHING OVERLAP AT LEAST 2 INCHES, AND THE BERM RETAINS ITS SHAPE WHEN WALKED UPON.
5. BERM SHOULD BE BUILT ALONG THE CONTOUR AT ZERO PERCENT GRADE OR AS NEAR AS POSSIBLE.
6. THE ENDS OF THE BERM SHOULD BE TIED INTO EXISTING UPSLOPE GRADE AND THE BERM SHOULD BE BURIED IN A TRENCH APPROXIMATELY 3 TO 4 INCHES DEEP TO PREVENT FAILURE OF THE CONTROL.

COMMON TROUBLE POINTS

1. INSUFFICIENT BERM HEIGHT OR LENGTH (RUNOFF QUICKLY ESCAPES OVER THE TOP OR AROUND THE SIDES OF BERM).
2. BERM NOT INSTALLED PERPENDICULAR TO FLOW LINE (RUNOFF ESCAPING AROUND ONE SIDE).

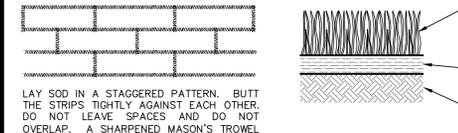
ROCK BERM DETAIL

NOT-TO-SCALE



ISOMETRIC PLAN VIEW

**STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 1-FOOT DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER, WHERE WATER CONCENTRATES, THE MAXIMUM SPACING SHOULD BE 6 FEET. (RG-348, SECTION 1.4.3)



APPEARANCE OF GOOD SOD

NOTES:

1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.
2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAID.
3. MOW WHEN THE SOD IS ESTABLISHED — IN 2-3 WEEKS. SET THE MOWER HIGH (2"-3").

GENERAL INSTALLATION (VA. DEPT. OF CONSERVATION, 1992)

1. SOD SHOULD NOT BE CUT OR LAID IN EXCESSIVELY WET OR DRY WEATHER. SOIL ALSO SHOULD NOT BE LAID ON SOIL SURFACES THAT ARE FROZEN.
2. DURING PERIODS OF HIGH TEMPERATURE, THE SOIL SHOULD BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING THE SOD, TO COOL THE SOIL AND REDUCE ROOT BURNING AND DIEBACK.
3. THE FIRST ROW OF SOD SHOULD BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND BUTTING TIGHTLY AGAINST EACH OTHER. LATERAL JOINTS SHOULD BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. CARE SHOULD BE EXERCISED TO ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE ROOTS (SEE FIGURE ABOVE).
4. ON SLOPES 3:1 OR GREATER, OR WHEREVER EROSION MAY BE A PROBLEM, SOD SHOULD BE LAID WITH STAGGERED JOINTS AND SECURED BY STAPLING OR OTHER APPROVED METHODS. SOD SHOULD BE INSTALLED WITH THE LENGTH PERPENDICULAR TO THE SLOPE (ON CONTOUR).
5. AS SODDING OF CLEARLY DEFINED AREAS IS COMPLETED, SOD SHOULD BE ROLLED OR TAMPED TO PROVIDE FIRM CONTACT BETWEEN ROOTS AND SOIL.
6. AFTER ROLLING, SOD SHOULD BE IRRIGATED TO A DEPTH SUFFICIENT THAT THE UNDERSIDE OF THE SOD PAD AND THE SOIL 4 INCHES BELOW THE SOD IS THOROUGHLY WET.
7. UNTIL SUCH TIME A GOOD ROOT SYSTEM BECOMES DEVELOPED, IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHOULD BE PERFORMED AS OFTEN AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF AT LEAST 4 INCHES.
8. THE FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL THE SOD IS FIRMLY ROOTED, USUALLY 2-3 WEEKS. NOT MORE THAN ONE THIRD OF THE GRASS LEAF SHOULD BE REMOVED AT ANY ONE CUTTING.

INSPECTION AND MAINTENANCE GUIDELINES

1. SOD SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAIN EVENT TO LOCATE AND REPAIR ANY DAMAGE.
2. DAMAGE FROM STORMS OR NORMAL CONSTRUCTION ACTIVITIES SUCH AS TIRE RUTS OR DISTURBANCE OF SWALE STABILIZATION SHOULD BE REPAIRED AS SOON AS PRACTICAL.

SOD INSTALLATION DETAIL

NOT-TO-SCALE

MATERIALS

1. SOD SHOULD BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4" INCH (± 1/4" INCH) AT THE TIME OF CUTTING. THIS THICKNESS SHOULD EXCLUDE SHOOT GROWTH AND THATCH.
2. PIECES OF SOD SHOULD BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH, WITH A MAXIMUM ALLOWABLE DEVIATION IN ANY DIMENSION OF 5% TORN OR UNEVEN PADS SHOULD NOT BE ACCEPTABLE.
3. STANDARD SIZE SECTIONS OF SOD SHOULD BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED FROM A FIRM GRASP ON ONE END OF THE SECTION.
4. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

SITE PREPARATION

1. PRIOR TO SOIL PREPARATION, AREAS TO BE SODDED SHOULD BE BROUGHT TO FINAL GRADE IN ACCORDANCE WITH THE APPROVED PLAN.
2. THE SURFACE SHOULD BE CLEARED OF ALL TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
3. FERTILIZE ACCORDING TO SOIL TESTS. FERTILIZER NEEDS CAN BE DETERMINED BY A SOIL TESTING LABORATORY OR REGIONAL RECOMMENDATIONS CAN BE MADE BY COUNTY AGRICULTURAL EXTENSION AGENTS. FERTILIZER SHOULD BE WORKED INTO THE SOIL TO A DEPTH OF 3 INCHES WITH A DISC, SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT, ON SLOPING LAND, THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE CONTOUR.

INSTALLATION IN CHANNELS

1. SOD STRIPS IN WATERWAYS SHOULD BE LAID PERPENDICULAR TO THE DIRECTION OF FLOW. CARE SHOULD BE TAKEN TO BUTT ENDS OF STRIPS TIGHTLY (SEE FIGURE ABOVE).
2. AFTER ROLLING OR TAMPING, SOD SHOULD BE PEGGED OR STAPLED TO RESIST WASHOUT DURING THE ESTABLISHMENT PERIOD. MESH OR OTHER NETTING MAY BE PEGGED OVER THE SOD FOR EXTRA PROTECTION IN CRITICAL AREAS.

SILT FENCE

A SILT FENCE IS A BARRIER CONSISTING OF GEOTEXTILE FABRIC SUPPORTED BY METAL POSTS TO PREVENT SOIL AND SEDIMENT LOSS FROM A SITE. WHEN PROPERLY USED, SILT FENCES CAN BE HIGHLY EFFECTIVE AT CONTROLLING SEDIMENT FROM DISTURBED AREAS. THEY CAUSE RUNOFF TO POND, ALLOWING HEAVIER SOLIDS TO SETTLE OUT. IF NOT PROPERLY INSTALLED, SILT FENCES ARE NOT LIKELY TO BE EFFECTIVE.

THE PURPOSE OF A SILT FENCE IS TO INTERCEPT AND DETAIN WATER-BORN SEDIMENT FROM UNPROTECTED AREAS OF A LIMITED EXTENT. SILT FENCE IS USED DURING THE PERIOD OF CONSTRUCTION NEAR THE PERIMETER OF A DISTURBED AREA TO INTERCEPT SEDIMENT WHILE ALLOWING WATER TO PERCOLATE THROUGH. THIS FENCE SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS PERMANENTLY STABILIZED. SILT FENCE SHOULD NOT BE USED WHERE THERE IS A CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY. IF CONCENTRATED FLOW OCCURS AFTER INSTALLATION, CORRECTIVE ACTION MUST BE TAKEN SUCH AS PLACING A ROCK BERM IN THE AREAS OF CONCENTRATED FLOW.

SILT FENCING WITHIN THE SITE MAY BE TEMPORARILY MOVED DURING THE DAY TO ALLOW CONSTRUCTION ACTIVITY PROVIDED IT IS REPLACED AND PROPERLY ANCHORED TO THE GROUND AT THE END OF THE DAY. SILT FENCES ON THE PERIMETER OF THE SITE OR AROUND DRAINAGE WAYS SHOULD NOT BE MOVED AT ANY TIME.

MATERIALS

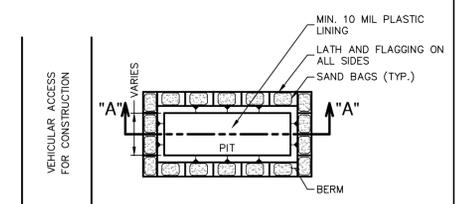
1. SILT FENCE MATERIAL SHOULD BE POLYPROPYLENE, POLYETHYLENE, OR POLYAMIDE WOVEN OR NONWOVEN FABRIC. THE FABRIC SHOULD BE 36 INCHES, WITH A MINIMUM UNIT WEIGHT OF 4.5 OZ/YD, MULLEN BURST STRENGTH EXCEEDING 190 LB/IN², ULTRAVIOLET STABILITY EXCEEDING 70%, AND MINIMUM APPARENT OPENING SIZE OF U.S. SIEVE NUMBER 30.
2. FENCE POSTS SHOULD BE MADE OF HOT ROLLED STEEL, AT LEAST 4 FEET LONG WITH TEE OR T-BAR CROSS SECTION, SURFACE PAINTED OR GALVANIZED, MINIMUM WEIGHT 1.25 LB/FT, AND BRINELL HARDNESS EXCEEDING 140.
3. WOVEN WIRE BACKING TO SUPPORT THE FABRIC SHOULD BE GALVANIZED 2" X 4" WELDED WIRE, 12 GAUGE MINIMUM.

INSTALLATION

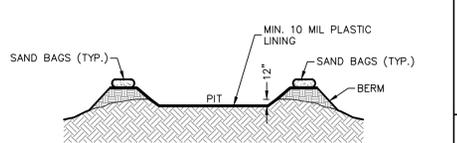
1. STEEL POSTS, WHICH SUPPORT THE SILT FENCE, SHOULD BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POSTS MUST BE EMBEDDED A MINIMUM OF 1-FOOT DEEP AND SPACED NOT MORE THAN 8 FEET ON CENTER, WHERE WATER CONCENTRATES, THE MAXIMUM SPACING SHOULD BE 6 FEET.
2. LAY OUT FENCING DOWN-SLOPE OF DISTURBED AREA, FOLLOWING THE CONTOUR AS CLOSELY AS POSSIBLE. THE FENCE SHOULD BE SITED SO THAT THE MAXIMUM DRAINAGE AREA IS 1/4 ACRE/100 FEET OF FENCE.

SILT FENCE DETAIL

NOT-TO-SCALE



PLAN VIEW



SECTION "A-A"

GENERAL NOTES

1. DETAIL ABOVE ILLUSTRATES MINIMUM DIMENSIONS. PIT CAN BE INCREASED IN SIZE DEPENDING ON EXPECTED FREQUENCY OF USE.
2. WASHOUT PIT SHALL NOT BE LOCATED IN AN AREA EASILY ACCESSIBLE TO CONSTRUCTION TRAFFIC.
3. WASHOUT PIT SHALL NOT BE LOCATED IN AREAS SUBJECT TO INUNDATION FROM STORM WATER RUNOFF.
4. LOCATE WASHOUT AREA AT LEAST 50 FEET FROM SENSITIVE FEATURES, STORM DRAINS, OPEN DITCHES OR WATER BODIES.
5. TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE CONSTRUCTED WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.

MATERIALS

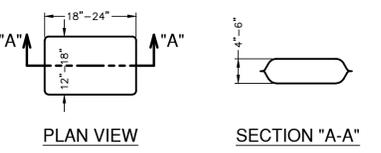
PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 10 MIL IN POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

MAINTENANCE

1. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHOULD BE REMOVED AND DISPOSED OF.
2. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.
3. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCES CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE BACKFILLED AND REPAIRED.

CONCRETE TRUCK WASHOUT PIT DETAIL

NOT-TO-SCALE

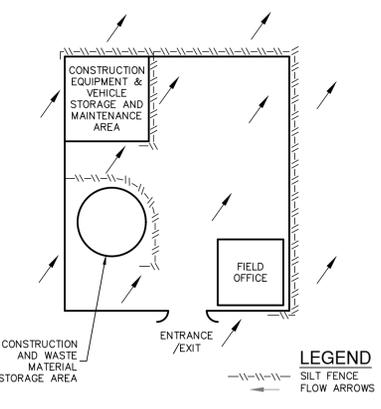


PLAN VIEW SECTION "A-A"

1. THE FILTER BAG MATERIAL SHALL BE MADE OF POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE WOVEN FABRIC, MIN. UNIT WEIGHT OF 4 OUNCES/SY, HAVE A MULLEN BURST STRENGTH EXCEEDING 300 PSI AND ULTRAVIOLET STABILITY EXCEEDING 70%.
2. THE FILTER BAG SHALL BE FILLED WITH CLEAN, MEDIUM WASHED PEA GRAVEL TO COARSE GRAVEL (0.31 TO 0.75 INCH DIAMETER).
3. SAND SHALL NOT BE USED TO FILL THE FILTER BAGS.

GRAVEL FILTER BAG DETAIL

NOT-TO-SCALE



CONSTRUCTION STAGING AREA

NOT-TO-SCALE

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE POLLUTION ABATEMENT SIZING AND TREATMENT REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S EDWARDS AQUIFER TECHNICAL GUIDANCE MANUAL.

THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF POLLUTION ABATEMENT ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

DATE	
NO.	
REVISION	

4/7/20

Shauna L. Weaver

PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TBPUS FIRM REGISTRATION #1008880

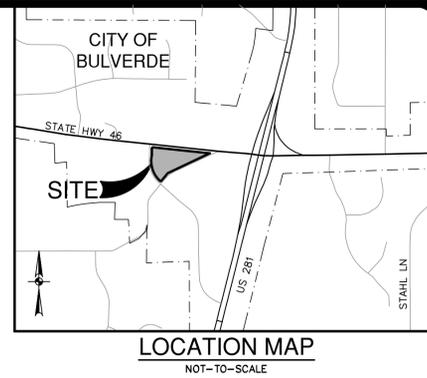
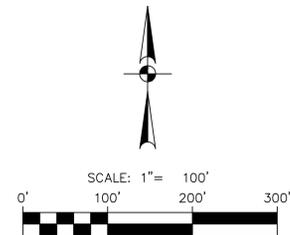
DESCENDING DOVE HILLS COMMERCIAL
 BULVERDE, TEXAS

CONTRIBUTING ZONE PLAN MODIFICATION II
 TEMPORARY POLLUTION ABATEMENT DETAILS

PLAT NO.	--
JOB NO.	11898-00
DATE	APRIL 2020
DESIGNER	EK
CHECKED	DRAWN DD/EK
SHEET	EX2

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Date: Apr 07, 2020, 11:36am User: E:\kasper\p1372.02 File: P:\18\98\100\Design\Environmental\EPAP\189800.dwg



LEGEND

PROJECT BOUNDARY	---
EXISTING 2' CONTOUR	--- (dashed)
EXISTING 10' CONTOUR	--- (long dashed)
PROPOSED 2' CONTOUR	--- (dashed)
PROPOSED 10' CONTOUR	--- (long dashed)
WATERSHED AREA	(A) (B)
EXISTING DIRECTION OF FLOW	→
PROPOSED DIRECTION OF FLOW	→ (thick)
WATERSHED BOUNDARY	---
PREVIOUSLY APPROVED IMPERVIOUS COVER	[Stippled pattern]
PREVIOUSLY APPROVED (NOT YET CONSTRUCTED) IMPERVIOUS COVER	[Cross-hatched pattern]

- PERMANENT POLLUTION ABATEMENT MEASURES:**
- PERMANENT BMP'S FOR THIS SITE INCLUDE ONE BATCH DETENTION BASIN. THIS PERMANENT BMP HAS BEEN DESIGNED TO REMOVE AT LEAST 80% OF THE INCREASED TOTAL SUSPENDED SOLIDS (TSS) FOR THE 24.85 ACRES IN ACCORDANCE WITH THE TCEQ'S TECHNICAL GUIDANCE MANUAL (TGM) RG-348 (2005).
 - SILT FENCING AND ROCK BERMS, WHERE APPROPRIATE, WILL BE MAINTAINED UNTIL THE BASIN MODIFICATION CONSTRUCTION IS COMPLETED.
 - ENERGY DISSIPATORS (TO HELP REDUCE EROSION) WILL BE PROVIDED AT POINTS OF CONCENTRATED DISCHARGE WHERE EXCESSIVE VELOCITIES MAY BE ENCOUNTERED.
- NOTES:**
- CONTRACTOR SHALL INSTALL AND ESTABLISH VEGETATION FOR SOIL STABILIZATION PRIOR TO SITE CLOSEOUT.
 - ALL PERMANENT BMP'S MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.

DESCENDING DOVE HILLS COMMERCIAL TSS TREATMENT SUMMARY

WATERSHED	WATERSHED AREA (ACRES)	PREVIOUSLY APPROVED IMPERVIOUS COVER (ACRES)	PREVIOUSLY APPROVED (NOT YET CONSTRUCTED) IMPERVIOUS COVER (ACRES)	TOTAL IMPERVIOUS COVER (ACRES)	BMP	REQUIRED TSS REMOVAL (LBS./YR)	DESIGNED TSS REMOVAL (LBS./YR)
A	17.26	12.81	0.00	12.81	PROPOSED BATCH DETENTION BASIN	11,498	11,498
B	5.22	0.00	4.73	4.73	PROPOSED BATCH DETENTION BASIN	4,246	4,246
TOTAL	22.48	12.81	4.73	17.54		15,744	15,744

- SUMMARY OF PERMANENT POLLUTION ABATEMENT MEASURES:**
- TEMPORARY BMP'S WILL BE MAINTAINED UNTIL THE SITE IMPROVEMENTS ARE COMPLETED AND THE SITE HAS BEEN STABILIZED, INCLUDING SUFFICIENT VEGETATION BEING ESTABLISHED.
 - DURING CONSTRUCTION, TO THE EXTENT PRACTICAL, CONTRACTOR SHALL MINIMIZE THE AREA OF SOIL DISTURBANCE. AREAS OF DISTURBED SOIL SHALL BE REVEGETATED TO STABILIZE SOIL USING SOLID SOD IN A STAGGERED PATTERN. SEE DETAIL ON TEMPORARY POLLUTION ABATEMENT DETAIL SHEET AND REFER TO SECTION 1.3.11 IN TCEQ'S TECHNICAL GUIDANCE MANUAL RG-348 (2005). SOD SHOULD BE USED IN CHANNELS AND ON SLOPES > 15%. THE CONTRACTOR MAY SUBSTITUTE THE USE OF SOD WITH THE PLACEMENT OF TOP SOIL AND A FRIABLE SEED BED WITH A PROTECTIVE MATTING OR HYDRAULIC MULCH ALONG WITH WATERING UNTIL VEGETATION IS ESTABLISHED. APPLICATIONS AND PRODUCTS SHALL BE THOSE APPROVED BY TXDOT AS OF FEBRUARY 2001 AND IN COMPLIANCE WITH THE TGM RG-348 (2005). SEED MIXTURE AND/OR GRASS TYPE TO BE DETERMINED BY OWNER AND SHOULD BE IN COMPLIANCE WITH TGM RG-348 (2005) GUIDELINES. IRRIGATION MAY BE REQUIRED IN ORDER TO ESTABLISH SUFFICIENT VEGETATION.
 - FOR DISTURBED AREAS WHERE INSUFFICIENT SOIL EXISTS TO ESTABLISH VEGETATION, CONTRACTOR SHALL PLACE A MINIMUM OF 6" OF TOPSOIL PRIOR TO REVEGETATION.
 - TYPICAL SLOPES ON THIS PROJECT RANGE FROM APPROXIMATELY 1% TO 15%.

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THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF POLLUTION ABATEMENT ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 3

DATE	
NO.	REVISION



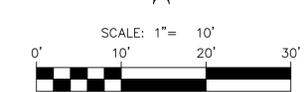
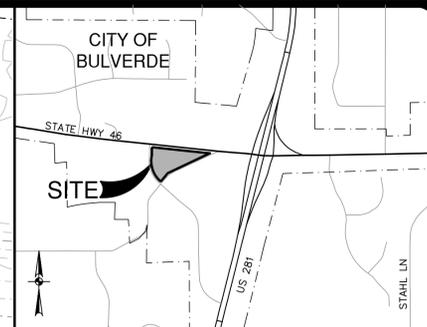
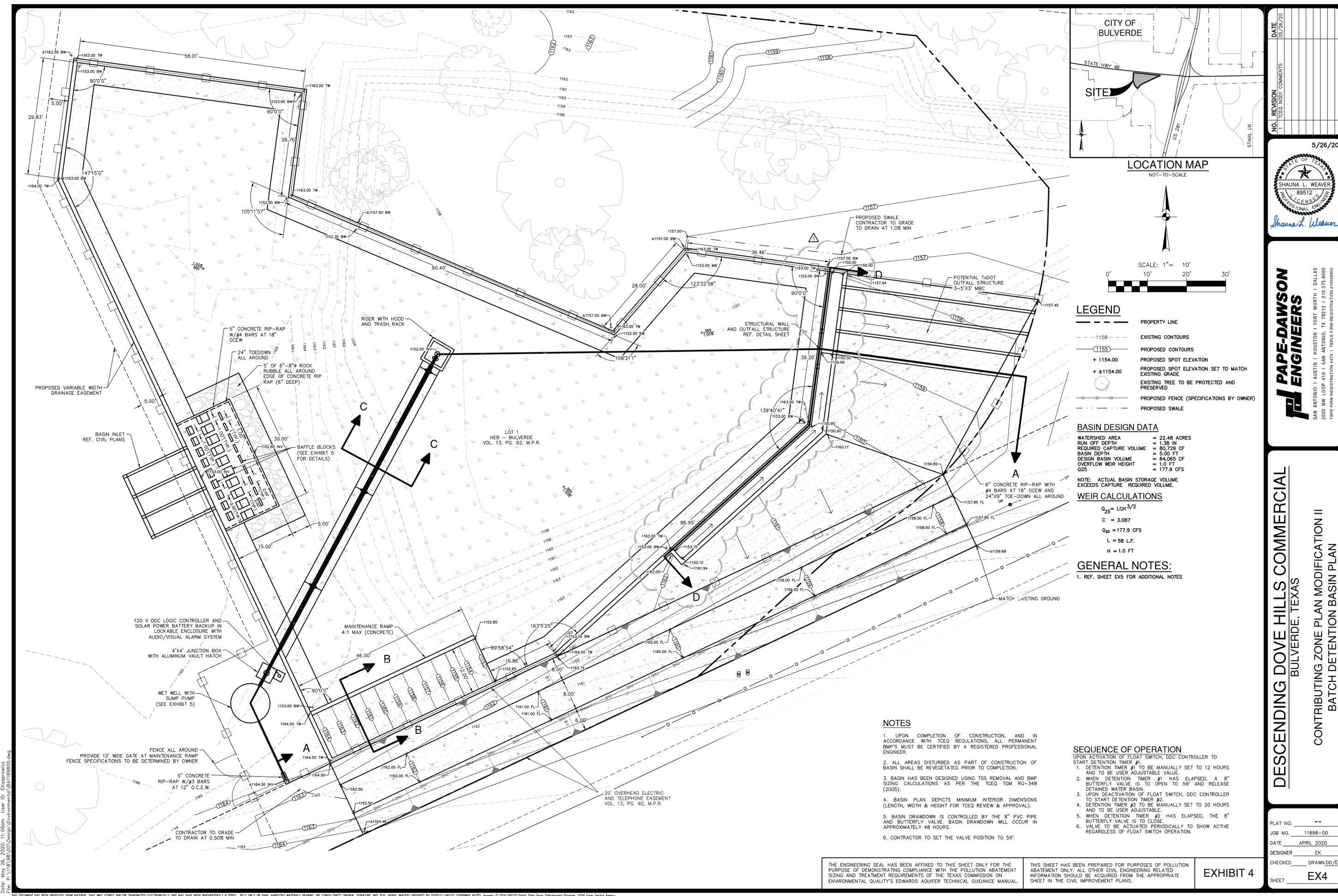
PAPE-DAWSON ENGINEERS

SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TPEE FIRM REGISTRATION #470 | TPEE FIRM REGISTRATION #1008880

DESCENDING DOVE HILLS COMMERCIAL
BULVERDE, TEXAS

CONTRIBUTING ZONE PLAN MODIFICATION II
PERMANENT POLLUTION ABATEMENT PLANS

PLAT NO.	--
JOB NO.	11898-00
DATE	APRIL 2020
DESIGNER	EK
CHECKED	DRAWN DD/EK
SHEET	EX3



LEGEND

- PROPERTY LINE
- - - - - 1158 EXISTING CONTOURS
- 1155 PROPOSED CONTOURS
- + 1154.00 PROPOSED SPOT ELEVATION
- + ±1154.00 PROPOSED SPOT ELEVATION SET TO MATCH EXISTING GRADE
- EXISTING TREE TO BE PROTECTED AND PRESERVED
- PROPOSED FENCE (SPECIFICATIONS BY OWNER)
- - - - - PROPOSED SWALE

BASIN DESIGN DATA

WATERSHED AREA	= 22.48 ACRES
RUN OFF DEPTH	= 1.38 IN
REQUIRED CAPTURE VOLUME	= 80,729 CF
BASIN DEPTH	= 5.00 FT
DESIGN BASIN VOLUME	= 84,065 CF
OVERFLOW WEIR HEIGHT	= 1.0 FT
Q25	= 177.9 CFS

NOTE: ACTUAL BASIN STORAGE VOLUME EXCEEDS CAPTURE REQUIRED VOLUME.

WEIR CALCULATIONS

$Q_{25} = LCH^{3/2}$
 $C = 3.087$
 $Q_{25} = 177.9$ CFS
 $L = 58$ L.F.
 $H = 1.0$ FT

GENERAL NOTES:

1. REF. SHEET EXS FOR ADDITIONAL NOTES

- NOTES**
1. UPON COMPLETION OF CONSTRUCTION, AND IN ACCORDANCE WITH TCEQ REGULATIONS, ALL PERMANENT BMP'S MUST BE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER.
 2. ALL AREAS DISTURBED AS PART OF CONSTRUCTION OF BASIN SHALL BE REVEGETATED PRIOR TO COMPLETION.
 3. BASIN HAS BEEN DESIGNED USING TSS REMOVAL AND BMP SIZING CALCULATIONS AS PER THE TCEQ TGM RG-348 (2005).
 4. BASIN PLAN DEPICTS MINIMUM INTERIOR DIMENSIONS (LENGTH, WIDTH & HEIGHT FOR TCEQ REVIEW & APPROVAL).
 5. BASIN DRAWDOWN IS CONTROLLED BY THE 8" PVC PIPE AND BUTTERFLY VALVE. BASIN DRAWDOWN WILL OCCUR IN APPROXIMATELY 48 HOURS.
 6. CONTRACTOR TO SET THE VALVE POSITION TO 59°.

- SEQUENCE OF OPERATION**
- UPON ACTIVATION OF FLOAT SWITCH, DDC CONTROLLER TO START DETENTION TIMER #1.
1. DETENTION TIMER #1 TO BE MANUALLY SET TO 12 HOURS AND TO BE USER ADJUSTABLE VALUE.
 2. WHEN DETENTION TIMER #1 HAS ELAPSED, A 8" BUTTERFLY VALVE IS TO OPEN TO 59° AND RELEASE DETAINED WATER BASIN.
 3. UPON DEACTIVATION OF FLOAT SWITCH, DDC CONTROLLER TO START DETENTION TIMER #2.
 4. DETENTION TIMER #2 TO BE MANUALLY SET TO 20 HOURS AND TO BE USER ADJUSTABLE.
 5. WHEN DETENTION TIMER #2 HAS ELAPSED, THE 8" BUTTERFLY VALVE IS TO CLOSE.
 6. VALVE TO BE ACTUATED PERIODICALLY TO SHOW ACTIVE REGARDLESS OF FLOAT SWITCH OPERATION.

DATE: 05/26/20

NO.	REVISION	TCEQ NO/DOT COMMENTS
1		



PAPE-DAWSON ENGINEERS

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 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TBPES FIRM REGISTRATION #470 | TBPES FIRM REGISTRATION #1008880

DESCENDING DOVE HILLS COMMERCIAL
 BULVERDE, TEXAS

CONTRIBUTING ZONE PLAN MODIFICATION II
 BATCH DETENTION BASIN PLAN

PLAT NO.	--
JOB NO.	11898-00
DATE	APRIL 2020
DESIGNER	EK
CHECKED	DRAWN DD/EK
SHEET	EX4

THE ENGINEERING SEAL HAS BEEN AFFIXED TO THIS SHEET ONLY FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE WITH THE POLLUTION ABATEMENT SIZING AND TREATMENT REQUIREMENTS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY'S EDWARDS AQUIFER TECHNICAL GUIDANCE MANUAL.

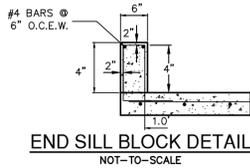
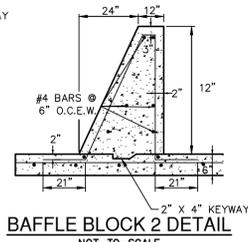
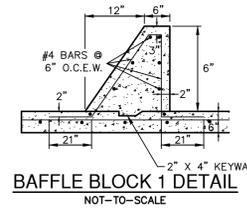
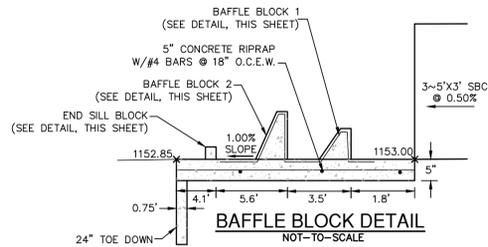
THIS SHEET HAS BEEN PREPARED FOR PURPOSES OF POLLUTION ABATEMENT ONLY. ALL OTHER CIVIL ENGINEERING RELATED INFORMATION SHOULD BE ACQUIRED FROM THE APPROPRIATE SHEET IN THE CIVIL IMPROVEMENT PLANS.

EXHIBIT 4

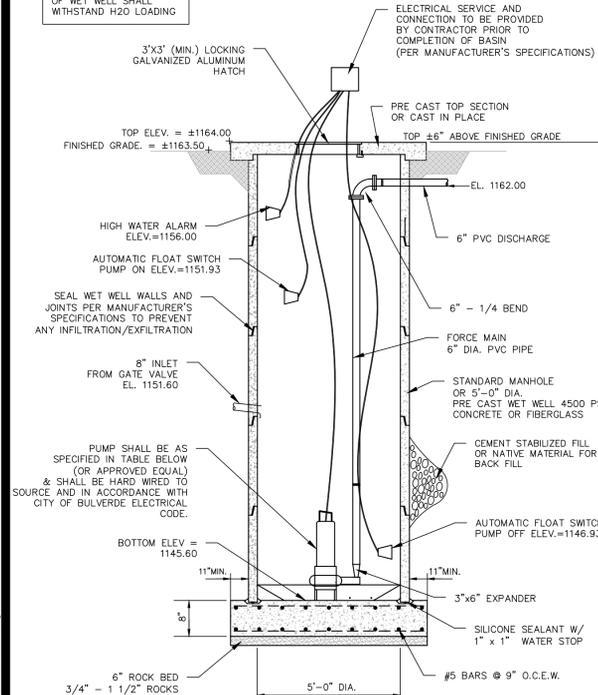
DATE: May 06, 2020, 11:09am, User: ID: Etkenshawicz, File: P:\1838\1838\00_Design\Enhancements\04\B41183830.dwg

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CULVERT BAFFLE BLOCKS:



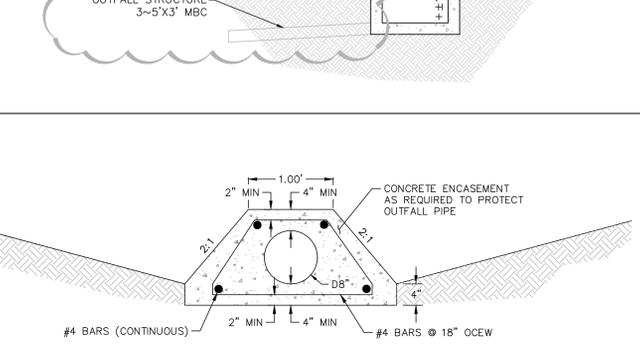
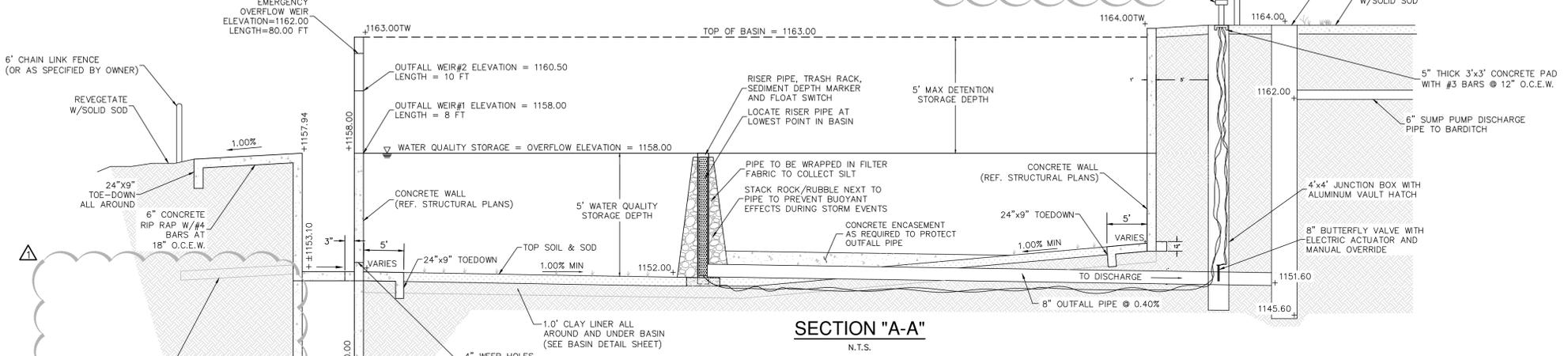
NOTE: HATCH & TOP SECTION OF WET WELL SHALL WITHSTAND H2O LOADING



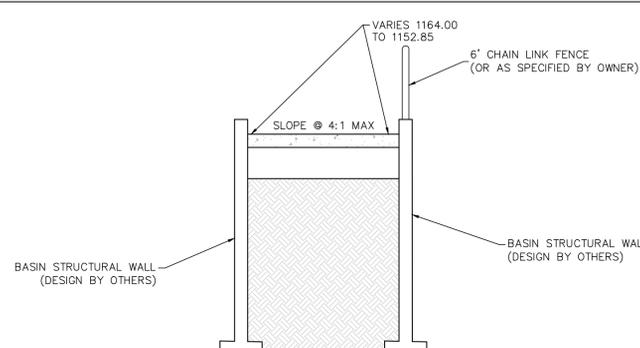
BASIN DISCHARGE LIFT STATION

APPROVED PUMP MODELS (OR AS APPROVED BY ENGINEER)

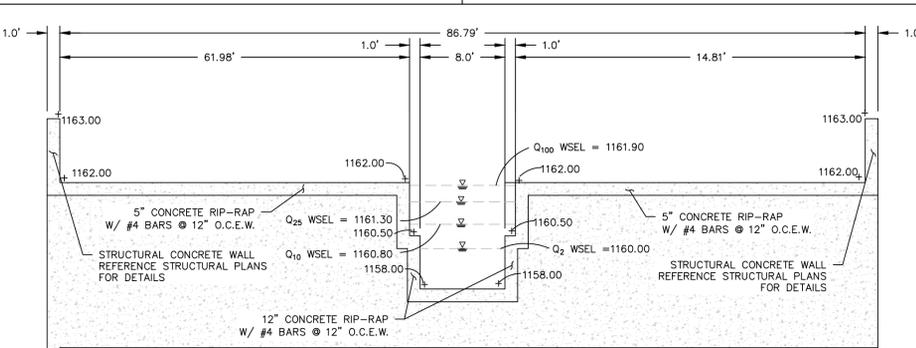
NUMBER REQUIRED	MANUFACTURER	HORSEPOWER	VOLTAGE	DISCHARGE	TOTAL DESIGN HEAD (FT)	FLOWRATE (GPM)	R.P.M.	IMPELLOR
1	PENTAIR HYDROMATIC 335	3	230	3"	22	225	1750	5.88"



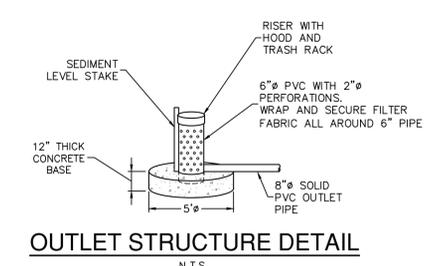
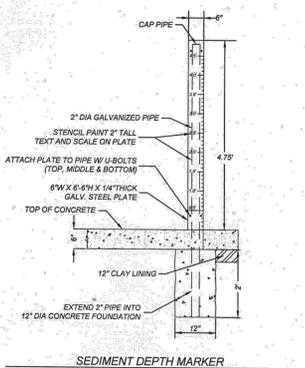
SECTION C-C



SECTION B-B BASIN MAINTENANCE RAMP



SECTION D-D



OUTLET STRUCTURE DETAIL

NOTES TO CONTRACTOR FOR EACH PHASE OF BASIN CONSTRUCTION

- CONTRACTOR IS ADVISED THAT TCEQ DOES NOT ALLOW CHANGES TO PERMANENT POLLUTION ABATEMENT MEASURES WITHOUT THEIR PRIOR APPROVAL.
- CONTRACTOR SHALL NOTIFY CERTIFYING ENGINEER WHEN BASIN CONSTRUCTION HAS PROCEEDED TO THE FOLLOWING MILESTONES:
 - a.) REINFORCING STEEL FOR BASIN OVERFLOW WALL OR RIP-RAP HAS BEEN SET, CONCRETE HAS NOT BEEN PLACED AND DRAIN PIPE IS IN PLACE. CONTRACTOR SHALL PROVIDE ENGINEER WITH SURVEY DATA WHICH DEMONSTRATES THE RISER PIPE HAS BEEN SET AT PROPER ELEVATION AND GRADE.
 - b.) BASIN HAS BEEN COMPLETELY FINISHED INCLUDING SOD OR SEED PLACEMENT ON SIDE SLOPES (WHERE APPLICABLE).
- WORK SHALL NOT CONTINUE ON THE BASIN UNTIL THE ENGINEER HAS HAD AN OPPORTUNITY TO OBSERVE THE STATUS OF CONSTRUCTION AT EACH STAGE. CONTRACTOR SHALL PROVIDE ENGINEER A MINIMUM OF 24 HOURS ADVANCE NOTICE PRIOR TO TIME THE BASIN WILL BE AT THE REQUIRED STAGE.
- UPON SUBSTANTIAL COMPLETION, OR AS REQUESTED BY ENGINEER, CONTRACTOR TO PROVIDE CERTIFYING ENGINEER WITH FIELD SHOTS VERIFYING ELEVATIONS OF THE FOLLOWING:
 - TOP OF BANK/WALL AT EACH CORNER OF BASIN
 - TOE OF SLOPE AT EACH CORNER OF BASIN (INSIDE BASIN TOE)
 - SPLASH PAD/INLET PIPES
 - OVERFLOW WEIR
- BEFORE FINAL ACCEPTANCE OF CONSTRUCTION BY THE OWNER, THE CONTRACTOR WILL REMOVE ALL TRASH, DEBRIS, AND ACCUMULATED SILT FROM THE BASINS AND REESTABLISH THEM TO THE PROPER OPERATING CONDITION.

CLAY LINER SPECIFICATIONS

PROPERTY	TEST METHOD	UNIT	SPECIFICATION
PERMEABILITY	ASTM D-2434	CM/SEC	1 X 10 ⁻⁶
PLASTICITY INDEX OF CLAY	ASTM D-423 & D-424	%	NOT LESS THAN 15
LIQUID LIMIT OF CLAY	ASTM D-2216	%	NOT LESS THAN 30
CLAY PARTICLES PASSING	ASTM D-422	%	NOT LESS THAN 30
CLAY COMPACTION	ASTM D-2216	%	95% OF STANDARD PROCTOR DENSITY

THE CLAY LINER SHALL HAVE A MINIMUM THICKNESS OF TWELVE (12) INCHES.
IF A GEOMEMBRANE LINER IS USED IT SHALL HAVE A MINIMUM THICKNESS OF FORTY (40) MILS. AND BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

NO.	REVISION	TCEQ MOD. COMMENTS
1		



PAPE-PAWSON ENGINEERS
 SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
 2000 HW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
 TYPE FIRM REGISTRATION #470 | TBPUS FIRM REGISTRATION #1008800

DESCENDING DOVE HILLS COMMERCIAL
 BULVERDE, TEXAS
 CONTRIBUTING ZONE PLAN MODIFICATION II
 BATCH DETENTION BASIN MODIFICATION DETAILS

PLAT NO.	--
JOB NO.	11898-00
DATE	APRIL 2020
DESIGNER	EK
CHECKED	DRAWN DD/EK
SHEET	EX5

Date: May 06, 2020, 11:09am, User: ID: Efk... File: P:\18388\1000\Design\Enhancement\B04D71838800.dwg

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

June 4, 2020

Mr. Ben Scott
HEB Grocery Company, LP
646 South Flores Street
San Antonio, Texas 78204

Re: Edwards Aquifer, Comal County

NAME OF PROJECT: Descending Dove Hills Commercial; Located approximately 0.15 miles East of Highway 281 and SH-46; Bulverde, Texas

TYPE OF PLAN: Request for Modification of an Approved Contributing Zone Plan (CZP); 30 Texas Administrative Code (TAC) Chapter 213 Subchapter B Edwards Aquifer

Regulated Entity No. RN103117438; Additional ID No. 13001118;

Dear Mr. Scott:

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the CZP Modification for the above-referenced project submitted to the San Antonio Regional Office by Pape-Dawson Engineers, Inc. on behalf of HEB Grocery Company, LP on April 14, 2020. Final review of the CZP was completed after additional material was received on May 26, 2020. As presented to the TCEQ, the Temporary and Permanent Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby approved subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

BACKGROUND

The first Contributing Zone Plan (CZP) for this site was approved December 21, 1999 for the HEB Bulverde CZP with stormwater treatment provided by a single chamber sedimentation filtration basin. This plan was modified June 11, 2010 as the Descending Dove Hills Commercial CZP Modification.

PROJECT DESCRIPTION

The proposed commercial project will have an area of approximately 24.85 acres. It will include clearing, grading, excavation, installation of drainage improvements and replacement of the existing sedimentation filtration basin with one batch detention basin. The impervious cover will be 17.54-acres (70.58 percent). Project wastewater will be disposed of by conveyance to the existing SJWTX, Inc. Water Recycling Center owned by SJWTX, Inc.

PERMANENT POLLUTION ABATEMENT MEASURES

To prevent the pollution of stormwater runoff originating on-site or upgradient of the site and potentially flowing across and off the site after construction, one batch detention basin, designed using the TCEQ technical guidance document, Complying with the Edwards Aquifer Rules: Technical Guidance on Best Management Practices (2005), will be constructed to treat stormwater runoff. The required total suspended solids (TSS) treatment for this project is 15,744 pounds of TSS generated from the 17.54-acres of impervious cover. The approved measures meet the required 80 percent removal of the increased load in TSS caused by the project.

SPECIAL CONDITIONS

- I. This modification is subject to all Special and Standard Conditions listed in the CZP approval letters dated December 21, 1999 and June 11, 2010.
- II. All sediment and/or media removed from the water quality basin during maintenance activities shall be properly disposed of according to 30 TAC 330 or 30 TAC 335, as applicable.

STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

Prior to Commencement of Construction:

4. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved Contributing Zone Plan and this notice of approval shall be maintained at the project location until all regulated activities are completed.
5. Any modification to the activities described in the referenced CZP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
6. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the name of the approved plan and file

number for the regulated activity, the date on which the regulated activity will commence, and the name of the prime contractor with the name and telephone number of the contact person.

7. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved Storm Water Pollution Prevention Plan (SWPPP) must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.

During Construction:

8. During the course of regulated activities related to this project, the applicant or his agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
9. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been significantly reduced. Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).
10. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
11. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
12. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.
13. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 5, above.

After Completion of Construction:

14. Owners of permanent BMPs and measures must ensure that the BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.
15. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of

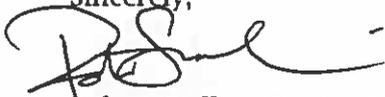
Mr. Ben Scott
Page 4
June 4, 2020

the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the executive director through the San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.

16. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Contributing Zone Plan. If the new owner intends to commence any new regulated activity on the site, a new Contributing Zone Plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
17. A Contributing Zone Plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Contributing Zone Plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
18. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Don Vandertulip, PE, BCEE of the Edwards Aquifer Protection Program of the San Antonio Regional Office at (210) 403-4057.

Sincerely,



Robert Sadlier, Section Manager
Edwards Aquifer Protection Program
Texas Commission on Environmental Quality

RCS/dv

Enclosures: Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Ms. Shauna Weaver, PE, Pape-Dawson Engineers, Inc.
Mr. Thomas H. Hornseth, PE, Comal County
Mr. Roland Ruiz, Edwards Aquifer Authority
The Honorable Bill Krawietz, City of Bulverde

**Change in Responsibility for Maintenance
on Permanent Best Management Practices and Measures**

The applicant is no longer responsible for maintaining the permanent best management practice (BMP) and other measures. The project information and the new entity responsible for maintenance is listed below.

Customer: _____

Regulated Entity Name: _____

Site Address: _____

City, Texas, Zip: _____

County: _____

Approval Letter Date: _____

BMPs for the project: _____

New Responsible Party: _____

Name of contact: _____

Mailing Address: _____

City, State: _____ Zip: _____

Telephone: _____ FAX: _____

Signature of New Responsible Party Date

I acknowledge and understand that I am assuming full responsibility for maintaining all permanent best management practices and measures approved by the TCEQ for the site, until another entity assumes such obligations in writing or ownership is transferred.

If you have questions on how to fill out this form or about the Edwards Aquifer protection program, please contact us at 210/490-3096 for projects located in the San Antonio Region or 512/339-2929 for projects located in the Austin Region.

Individuals are entitled to request and review their personal information that the agency gathers on its forms. They may also have any errors in their information corrected. To review such information, contact us at 512/239-3282.