



NOTICE OF MEETING
PLANNING AND ZONING COMMISSION
6:30 P.M. – January 16, 2020

30360 Cougar Bend, Bulverde, TX 78163

MEETING AGENDA

1) CALL TO ORDER, PLEDGE OF ALLEGIANCE AND ROLL CALL

2) APPROVAL OF MINUTES

- a. December 12, 2019 Planning and Zoning Commission meeting.

3) REGULAR AGENDA ITEMS

- a. VR-19-17 (Subdivision Variance): Reconsider a request by Moeller & Associates, on behalf of A Z Family, L.P., for approval of a variance to Sections 2.03(b)(i)(1) and 2.03(b)(iii) of the City of Bulverde Code of Ordinances, related to subdivision blocks, at 7055 FM 1863.
- b. PC-19-20 (Preliminary Plat): Reconsideration of a Preliminary Plat for the Cibolo Cliff Ranches subdivision, generally located at 7055 FM 1863.
- c. PC-19-24 (Preliminary Plat): Reconsideration of a Preliminary Plat for 4S Ranch Subdivision Unit 7B, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.
- d. PC-19-25 (Preliminary Plat): Reconsideration of a Preliminary Plat for 4S Ranch Subdivision Unit 7C, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.
- e. PC-19-26 (Preliminary Plat): Reconsideration of a Preliminary Plat for Mustang Vista Phase IV & Amenity Center #2, generally located 1.9 miles southeast of the intersection of Mustang Vista and Stahl Lane.
- f. PC-19-13 (Final Plat): Consideration of a Final Plat for 4S Ranch Subdivision Unit 6B, generally located 1.1 miles southeast of the intersection of Mustang Vista and Stahl Lane.

4) PUBLIC COMMENTS NOT RELATED TO POSTED AGENDA ITEMS

Persons desiring to address the Commission regarding issues not on the agenda will be received at this time. Those wishing to speak should present a completed comment form to the Chair prior to the meeting. Speakers are limited to 3 minutes and should conduct themselves in a civil manner. In accordance with the Texas Open Meetings Act, the Commission cannot take action on items not listed on the meeting agenda.

5) REPORT BY CITY OFFICIALS AND STAFF ON ITEMS OF COMMUNITY INTEREST

In accordance with Section 551.0415 of the Government Code, topics discussed under this item are limited to expressions of thanks, congratulations or condolence; information regarding holiday schedules; an honorary or salutary recognition of a public official, public employee or other citizen; a reminder about an upcoming event organized or sponsored by the governing body; information regarding a social, ceremonial or community event; and Announcements involving an imminent threat to the public health and safety of people in the political subdivision that has arisen after the posting of the agenda.

6) ADJOURNMENT

City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations must be made 48 hours prior to the meeting. Please contact the City Secretary at 830.980.8832 or FAX 830.438.4339 for information or assistance. I, the undersigned authority, do hereby certify that the above Notice of Meeting was posted on the bulletin board in front of Bulverde City Hall, which is readily accessible to the public at all times, by 5:00 pm on January 10, 2020.

Susana Ramos, Planning Director

These minutes have been prepared to satisfy the requirements of Section 551.021 of the Texas Government Code. Recordings of most City meetings are available at www.bulverdetx.gov

City of Bulverde Planning & Zoning Commission Minutes
Regular Commission Meeting: December 12, 2019

Meeting Duration: 6:31 p.m. to 7:48 p.m.

CALL TO ORDER

Commission Members Present: Dickie Lubel, Larry Sunn, Jim Binkley, Lindy Sisk, Tom Hackleman, Ashley Orndorff, Mike Romans

Commission Members Absent: Rhianna Stewart

City Staff Present: Susana Ramos (Director), Adrian Garcia (City Engineer), Jason Rammel (City Attorney), Miguel Inclan (Planner I)

Approval of Minutes

- a. Commissioner Sunn moved, seconded by Commissioner Hackleman to approve the minutes of the November 14, 2019 meeting. Motion passed unanimously.

EXECUTIVE SESSION

None

REGULAR AGENDA ITEMS

- A. VR-19-17 (Subdivision Variance): Consider a request by Moeller & Associates, on behalf of A Z Family, L.P., for approval of a variance to Sections 2.03(b)(i)(1) and 2.03(b)(iii) of the City of Bulverde Code of Ordinances, related to subdivision blocks, at 7055 FM 1863.
Commissioner Sunn moved, seconded by Commissioner Hackleman, to table the item. Motion passed unanimously.
- B. PC-19-20 (Preliminary Plat): Reconsideration of a Preliminary Plat for the Cibolo Cliff Ranches subdivision, generally located at 7055 FM 1863.
Commissioner Hackleman moved, seconded by Commissioner Sisk, to DENY the preliminary plat. Motion passed unanimously.
- C. PC-19-24 (Preliminary Plat): Consideration of a Preliminary Plat for 4S Ranch Subdivision Unit 7B, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.
After discussion, Commissioner Sunn moved, seconded by Commissioner Lubel to DENY the preliminary plat and add a comment from Chairman Romans to add a Right-Of-Way dedication along Smithson Valley Road. Motion passed unanimously.
- D. PC-19-25 (Preliminary Plat): Consideration of a Preliminary Plat for 4S Ranch Subdivision Unit 7C, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.
After discussion, Commissioner Sunn moved, seconded by Commissioner Hackleman to DENY the preliminary plat and add a comment from Chairman Romans to add a Right-Of-Way dedication along Smithson Valley Road. Motion passed unanimously.
- E. PC-19-26 (Preliminary Plat): Consideration of a Preliminary Plat for Mustang Vista Phase IV & Amenity Center #2, generally located 1.9 miles southeast of the intersection of Mustang Vista and Stahl Lane.
Commissioner Lubel moved, seconded by Commissioner Hackleman to DENY the preliminary plat. Motion passed unanimously.

- F. VR-19-30 (Tree Variance): Consider a request by Norman Trail, on behalf of Sanctuary of Hope, for a variance to Section 17.06.009 of the City of Bulverde Code of Ordinances, pertaining to tree removal and mitigation requirements.
Resident David Bullock spoke in opposition to the variance request. After considerable discussion, Commissioner Sunn moved, seconded by Commissioner Lubel, to recommend approval of the variance as requested.

PUBLIC COMMENTS

None.

ADJOURNMENT

There being no further business to come before the Commission, the meeting adjourned at 7:48 pm. I certify that the above minutes were approved by the Commission on January 16, 2020.

Maria Franco, City Secretary



PLANNING & ZONING COMMISSION ITEM:
VR-19-17
VARIANCE
CIBOLO CLIFF RANCHES

MEETING DATE: January 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Director

REQUEST:

Consider a request by Moeller & Associates, on behalf of A Z Family, L.P., for approval of a variance to Sections 2.03(b)(i)(1) and 2.03(b)(iii) of the City of Bulverde Code of Ordinances, related to subdivision blocks, at 7055 FM 1863.

OWNER/APPLICANT:

A Z Family, L.P. attn: Phil Zaccaria
21620 Gathering Oak #106
San Antonio, TX 78260

Moeller & Associates attn: James Ingalls, P.E.
2021 SH 46W, Ste 105
New Braunfels, TX 78132

PROPERTY INFORMATION:

Address: 7055 FM 1863, Bulverde, TX 78163
Legal Description: Survey Doc No. 201606038940, OPRCCT, dated Nov. 5, 2018
Existing Land Use: Undeveloped
Existing Zoning: ETJ

SUMMARY/ANALYSIS:

This variance request has been submitted concurrently with the preliminary plat application for the proposed Cibolo Cliff Ranches subdivision in the Extra Territorial Jurisdiction of the City of Bulverde.

The applicant is requesting variances from the block length requirements and the stub out requirement. The applicant is proposing the entire plat as one block with 20 single-family residential lots of at least 5.01 acres in size. The applicant is also requesting a variance to the requirement for stub outs to the subdivision perimeter at ½ mile intervals, proposing only one stub out to the property to the east of the side.

The City of Bulverde Code of Ordinances states the following:

Section 2.03(b)(i)(1): Low Density: maximum of 2,640 feet, minimum of 800 feet.

Section 2.03(b)(iii): Provide road extension stub outs to the perimeter of the subdivision at a minimum of one-half mile intervals.

CRITERIA FOR EVALUATION:

The City Code has established criteria for approval of this Variance. Section 1.07 states:

(ii) In making the findings required herein, the City Council shall take into account the nature of the proposed land use, existing uses of land in the vicinity, the number of persons who will reside or work in the proposed subdivision, and the probable effect of such variance upon traffic conditions and upon the public health, safety, convenience and welfare in the vicinity. No variance shall be granted unless the City Council makes affirmative findings as to all of the following:

- 1) That there are special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the applicant of the reasonable use of the land;*
- 2) That the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant;*
- 3) That granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area; and*
- 4) That granting of the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this ordinance.*

PREVIOUS ACTION:

At their December 12, 2019 meeting, the Planning & Zoning Commission voted to TABLE the item until the December meeting.

ATTACHMENTS:

Application
Map
Plat



Application for Variance

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax. 830-438-4339
www.ci.bulverde.tx.us

Date: 9-30-2019

Case No. _____

Applicant Information:

Moeller & Associates attn: James Ingalls, P.E. (830) 358-7127
Name Phone Fax
2021 Sh 46W, Ste. 105, New Braunfels, TX 78132 plats@ma-tx.com
Address Email

Property Owner Information:

A Z Family, L.P. Attn: Mr. Phil Zaccaria
Name Phone Fax
21260 Gathering Oak #106, San Antonio, Texas, 78260
Address Email

** If property owner is not the applicant, a letter of authorization from the owner is required with application submittal.*

Property Identification:

Street Address: 7055 FM 1863, Bulverde, Texas, 78163
Legal Description: Survey Doc. No. 201606038940, OPRCCT, dated Nov. 5, 2018
Zoning District Classification: ETJ, no zoning

Description of Request:

- Variance to Section 2.03 (b) i of the City of Bulverde Code of Ordinances, which requires:
Blocks: Low Density: maximum 2,640 feet and minimum of 800 feet
- Variance to Section 2.03 (b) iii of the City of Bulverde Code of Ordinances, which requires:
Blocks: Road extension stub outs to the subdivision perimeter at 1/2 mile intervals
- Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

- Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

- Variance to Section _____ of the City of Bulverde Code of Ordinances, which requires:

The undersigned agrees to pay the **non refundable** application fee and any other applicable fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required. The undersigned also acknowledges the City Staff may require additional appropriate information be submitted to aid in the review.

 9-30-19
Signature of Owner/Applicant Date

Fees:

- Zoning and Plat Variance Review Fee - \$750.00 (per Section/Provision of the Code)
- Variance Review Fee (all other Variances)- \$500.00 (per Section/Provision of the Code)

VARIANCE CRITERIA EXPLANATION FORM
(for Subdivision Code Variances Only)

(This Form is required with submittal of a Variance Application. If more than one variance is requested in an application, a separate Variance Criteria Explanation Form shall be required for each Variance. Please include additional pages as necessary.)

- 1) Describe the special circumstances or conditions affecting the land involved such that strict application of the provisions of this ordinance would deprive the reasonable use of the land.
This subdivision is proposed for low density lots of 5.01 acres or greater. The property itself is 3x as long as it is wide. More street stubs outs would be heavily impacted by the steep grades of terrain increasing excavation costs and negatively impacting current drainage patterns.

- 2) Describe how the variance is necessary for the preservation and enjoyment of a substantial property right of the applicant.
The subdivision is to have one gate, rural road. The proposed main road follows the gentlest slopes on the property. Any street stub outs, in addition to the single proposed street stub out would impact the subdivision of large single family lots and would be forced to placed on steep grades as the gentle slopes are further than 1/2 mile apart on this property. Furthermore, additional street stub outs increase impervious cover on this site, which is located on the Edwards Aquifer Recharge Zone.

- 3) Describe how granting the variance will not be detrimental to the public health, safety or welfare, or injurious to other property in the area.
The block length proposed would allow for one continuous main street for the subdivision to maximize the most acreage for the proposed lots to keep density low. This block length proposed also allows for the most gentle alignment for residents to drive. The subdivision does have two points of access proposed: one off of FM 1863 and one stub out for a future connection to the property to the east.

- 4) What effect, if any, would the variance have on the orderly subdivision of other land in the area in accordance with the City of Bulverde Code of Ordinances?
This will only affect the property to the east, should they ever subdivide, as it will only have one point of connection to subject property. This subject property cannot have a stub out to the west because existing residential lots block any connection points from the proposed subdivision to Cloud View Dr.

***Note for the Board / Commission:**

The following responses were provided by the applicant and may not be consistent with the Department staff report.



Legend

Major Roads

— Farm roads

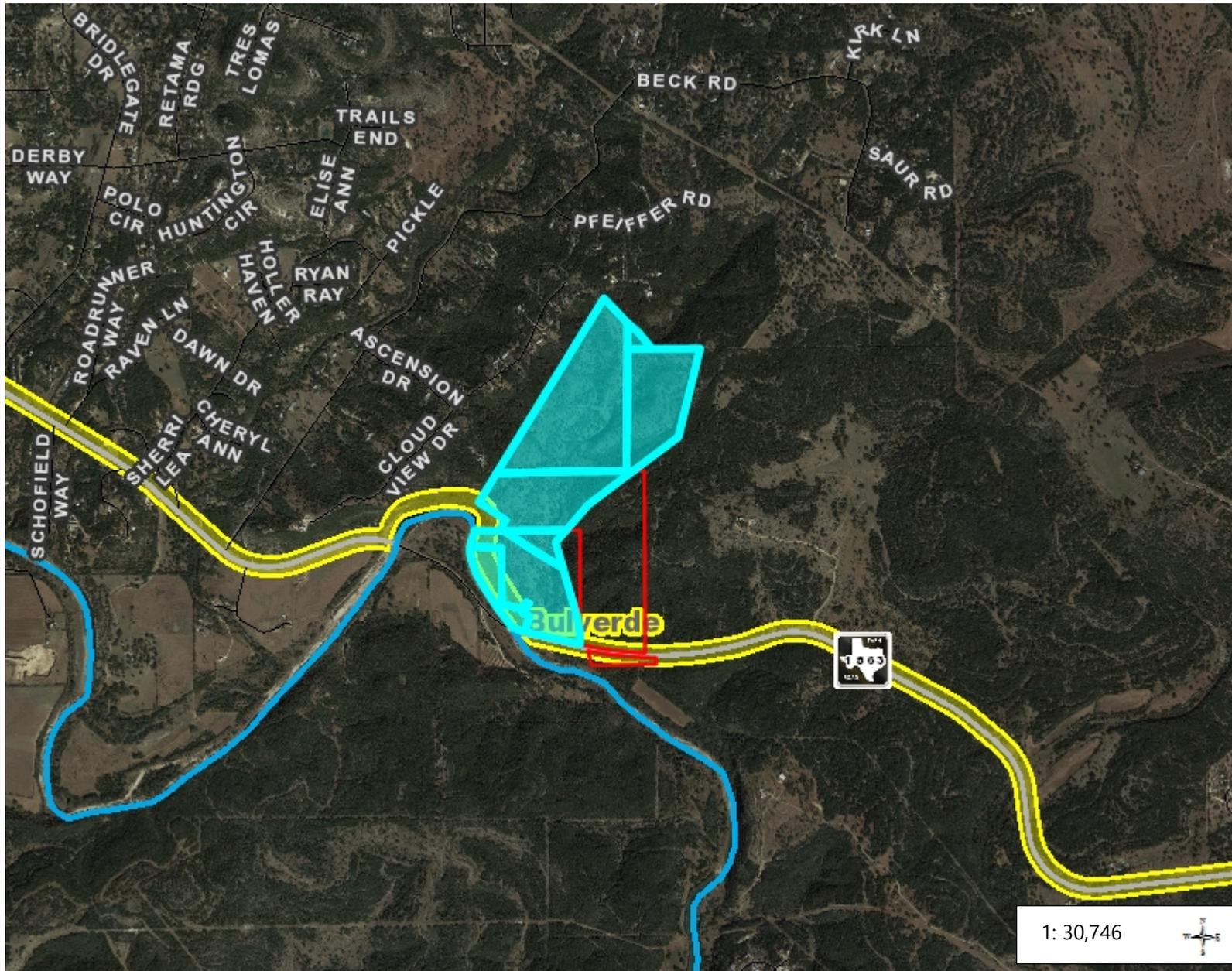
— Highways

Streets

■ Red: Band_1

■ Green: Band_2

■ Blue: Band_3



Notes

1.0 0 0.49 1.0 Miles

NAD_1983_StatePlane_Texas_South_Central_FIPS_4204_Feet
Comal County GIS

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

SUBDIVISION PLAT ESTABLISHING
CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OF LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.

NOTES:

1. ALL LOTS WITHIN THE SUBDIVISION WILL BE SERVED BY INDIVIDUAL ON-SITE SEWAGE SYSTEM FACILITIES AND PRIVATE WATER WELLS. THERE WILL BE NO GAS SERVICE PROVIDED.
2. ALL STREETS ARE PROPOSED AS RURAL LOCAL TYPE FUNCTIONAL CLASSIFICATION WITH 60' FOOT RIGHT-OF-WAYS UNLESS NOTED OTHERWISE.
3. NO SIDEWALKS ARE PROPOSED FOR THIS DEVELOPMENT AS THESE STREETS ARE PROPOSED TO BE RURAL-LOCAL STREETS, ONE-FAMILY LARGE LOT RESIDENTIAL (RURAL).
4. LOT 900, BLOCK 1 IS A PRIVATE ROW AND IS A NON-BUILDABLE LOT. THE LOT IS TO BE USED FOR A PRIVATE STREET, DRAINAGE CONVEYANCE, UTILITY EASEMENT, AND OPEN SPACE. LOT 901, BLOCK 1 IS A PROPERTY OWNERS ASSOCIATION LOT. THIS LOT WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION, THEIR SUCCESSOR'S OR ASSIGNS, AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF BULVERDE OR COMAL COUNTY.
5. THE SUBDIVISION IS WITHIN THE COMAL INDEPENDENT SCHOOL DISTRICT.
6. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE IN GRID BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. DISTANCES SHOWN HEREON ARE SURFACE USING COMBINED SCALE FACTOR OF 1.00015.
7. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND MARKERS WILL BE SET WITH 1/2" IRON PIN WITH PLASTIC CAP STAMPED "DAM #5348 PROP. COR." IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
8. CIBOLO CLIFF RANCHES, FALLS WITHIN THE CITY LIMITS AND THE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF BULVERDE.
9. THE PROPOSED USE OF THE SUBDIVISION IS FOR SINGLE FAMILY RESIDENTIAL.
10. CIBOLO CLIFF RANCHES, ESTABLISHING A TOTAL OF 22 LOTS, WITH 20 BEING BUILDABLE.
11. THIS SUBDIVISION IS SUBJECT TO THE CITY OF BULVERDE PARK LAND AND DEDICATION ORDINANCE. THIS PLAT IS APPROVED FOR ONE (1) DWELLING UNIT PER BUILDABLE LOT WITH A MAXIMUM OF 19 LOTS WHERE FEES ARE DUE AT THE TIME OF RECORDATION. AT SUCH TIME THAT ADDITIONAL DWELLING UNITS ARE CONSTRUCTED THE OWNER OF THE LOT SHALL CONTACT THE CITY AND COMPLY WITH THE ORDINANCE FOR EACH NEW DWELLING UNIT.
12. NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT, NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASES THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF BULVERDE AND COMAL COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
13. THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF TWO FEET ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
14. MAINTENANCE OF DRAINAGE EASEMENT DESIGNATED WITHIN A LOT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION.
15. THE SUBDIVISION IS LOCATED WITHIN THE EXISTING SPECIAL FLOOD HAZARD ZONE A, 100-YEAR FLOOD BOUNDARY, AS DEFINED BY THE COMAL COUNTY, TEXAS COMMUNITY PANEL NUMBER 48091C0405F, REVISED NOVEMBER 02, 2009 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
16. ANY DRIVEWAY CONSTRUCTION ON COUNTY ROADS WITHIN THE UNINCORPORATED AREAS OF COMAL COUNTY MUST BE PERMITTED BY THE COMAL COUNTY ROAD DEPARTMENT.
17. THIS PROPERTY IS WITHIN THE EDWARDS AQUIFER RECHARGE ZONE. PROPERTY OWNERS ARE REQUIRED TO FOLLOW THE APPROVED W.P.A.P. TEXAS EDWARDS AQUIFER PROGRAM FILE NO. _____ DATED _____.
18. BUILDING SET BACK LINES SHALL BE IN ACCORDANCE WITH SUBDIVISION CODE SECTION 2.03 OF THE CITY OF BULVERDE CODE OF ORDINANCES.

TXDOT NOTES:

1. FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
2. OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY.
3. MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY TXDOT'S, "ACCESS MANAGEMENT MANUAL". THE PROPERTY IS ELIGIBLE FOR MAXIMUM COMBINED TOTAL OF 1 (ONE) ACCESS POINT, BASED ON AN OVERALL PLATTED HIGHWAY FRONTAGE OF APPROXIMATELY 2230.99 FEET. WHERE TOPOGRAPHY OR OTHER EXISTING CONDITIONS MAKE IT INAPPROPRIATE OR NOT FEASIBLE TO CONFORM TO THE CONNECTION SPACING INTERVALS, THE LOCATION OF REASONABLE ACCESS WILL BE DETERMINED WITH CONSIDERATION GIVEN TO TOPOGRAPHY, ESTABLISHED PROPERTY OWNERSHIPS, UNIQUE PHYSICAL LIMITATIONS, AND/OR PHYSICAL DESIGN CONSTRAINTS. THE SELECTED LOCATION SHOULD SERVE AS MANY PROPERTIES AND INTERESTS AS POSSIBLE TO REDUCE THE NEED FOR ADDITIONAL DIRECT ACCESS TO THE HIGHWAY. IN SELECTING LOCATIONS FOR FULL MOVEMENT INTERSECTIONS, PREFERENCE WILL BE GIVEN TO PUBLIC ROADWAYS THAT ARE ON LOCAL THOROUGHFARE PLANS.
4. IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TXDOT, PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE AS DIRECTED BY TXDOT.
5. ANY TRAFFIC CONTROL MEASURE (LEFT TURN LANE, RIGHT TURN LANE, SIGNAL, ETC.) FOR ANY ACCESS FRONTING A STATE MAINTAINED ROADWAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

SLOPE:

FOR THE PURPOSE OF PRESERVING AREAS HAVING A SLOPE GREATER THAN 25%, THE EASEMENTS DESIGNATED ON THIS PLAT AS "SLOPE EASEMENT" ARE DEDICATED TO THE PUBLIC. WITHIN SUCH SLOPE EASEMENTS THE FOLLOWING ACTIVITIES ARE PROHIBITED:

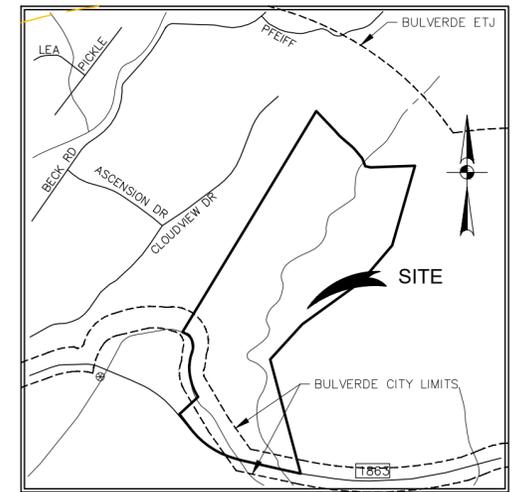
- (A) DEVELOPMENT;
- (B) DISTURBANCE; AND
- (C) THE REMOVAL OF PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES

NOT WITHSTANDING THE FOREGOING, AND PROVIDED THAT NO PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES ARE REMOVED, THE FOLLOWING ACTIVITIES AND IMPROVEMENTS ARE PERMITTED:

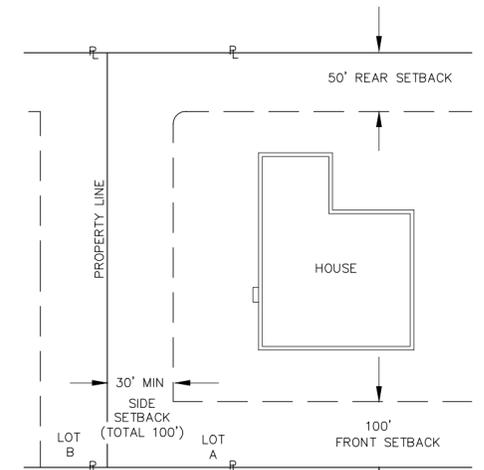
- (A) ROADWAYS OR UTILITY CONSTRUCTION WHEN THE ROADWAY OR UTILITY IMPROVEMENTS ARE NECESSARY IN THE SLOPE AREA FOR A LAWFULLY CONSTRUCTED IMPROVEMENT OUTSIDE OF SUCH SLOPE AREA TO EXIST AND THERE IS NO PRACTICAL ALTERNATIVE TO CONSTRUCTION WITHIN SUCH SLOPE AREA.
- (B) CANTILEVERING OF STRUCTURES OVER A STEEP SLOPE PROVIDED THAT SUCH CANTILEVERING WILL NOT ALTER NATURAL STORMWATER DRAINAGE OR JEOPARDIZE SLOPE STABILITY.
- (C) RETAINING WALLS AND OTHER STRUCTURES THAT ARE NECESSARY FOR SLOPE STABILIZATION PROVIDED THE FOLLOWING CONDITIONS ARE MET:
 - I) RETAINING WALLS SHALL NOT BE USED TO INCREASE TABLE LAND.
 - II) BACKFILLING OF A RETAINING WALL IS PERFORMED ONLY A NECESSARY FOR SLOPE STABILIZATION.
- (A) RECONSTRUCTION ON THE EXACT FOUNDATION OF A PREVIOUSLY EXISTING STRUCTURE.
- (B) BRIDGES, WALKWAYS, STAIRS, AND FENCES PROVIDED THAT SUCH BRIDGES, WALKWAYS, STAIRS, AND FENCES WILL NOT ALTER NATURAL STORMWATER DRAINAGE OR JEOPARDIZE SLOPE STABILITY.
- (F) REMOVAL OF TREES NOT DEFINED BY THE CODE OF ORDINANCES OF THE CITY OF BULVERDE, TEXAS AS PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES.

THE SLOPE EASEMENTS DEDICATED HEREIN ARE ENFORCEABLE BY THE CITY OF BULVERDE BY ANY ACTION AT LAW OR IN EQUITY. TO OBTAIN INJUNCTIVE RELIEF, THE CITY OF BULVERDE SHALL ONLY BE REQUIRED TO SHOW VIOLATION OF THE TERMS OF THE SLOPE EASEMENTS DEDICATED HEREIN; AND A SHOWING OF IMMINENT HARM OR IRREPARABLE INJURY SHALL NOT BE REQUIRED.

ALL TERMS, PHRASES, AND WORDS IN THIS INSTRUMENT THAT ARE NOT OTHERWISE DEFINED HEREIN SHALL HAVE THAT MEANING ASSIGNED TO THEM BY THE CODE OF ORDINANCES OF THE CITY OF BULVERDE, TEXAS ON THE DATE THAT THIS PLAT IS RECORDED.



LOCATION MAP
SCALE: 1"=2,000'



TYPICAL SETBACK ON INTERIOR PROPERTY LINE

STATE OF TEXAS
COUNTY OF COMAL

KNOW ALL MEN BY THESE PRESENTS

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER:
A Z FAMILY, L.P.
C/O PHIL ZACCARIA
21260 GATHERING OAK, #106
SAN ANTONIO, TX 78260

STATE OF TEXAS
COUNTY OF COMAL

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS ____DAY OF _____, 2020,

BY _____

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES: _____

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, DREW A. MAWYER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

DREW A. MAWYER
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5348
D.A. MAWYER LAND SURVEYING
5151 W. SH46
NEW BRAUNFELS, TEXAS 78132
FIRM #10191500

- LEGEND:**
- = POINT OF BEGINNING
 - = DRAINAGE EASEMENT
 - = UTILITY EASEMENT
 - = RIGHT-OF-WAY
 - = SLOPE EASEMENT
 - = ACCESS EASEMENT
 - = PAGE MATCH LINE
 - = 1/2" IRON PIN SET
 - = IRON PIN FOUND
 - = TXDOT MONUMENT FOUND
 - = SLOPE EASEMENT
 - = PROPERTY BOUNDARY LINE
 - = DRAINAGE EASEMENT
 - = PROPERTY LOT LINE
 - = STREET CENTERLINE
 - = 100-YR WSEL
 - = 100-YR FEMA FLOODPLAIN

MOELLER & ASSOCIATES
Engineering Solutions

2021 SH 46W, Ste. 105
New Braunfels, TX 78132
ph: (830) 358-7127
www.ma-tx.com TBPE FIRM F-13351

APPROVED THIS THE _____ DAY OF _____, 20____ BY THE
PLANNING COMMISSION OF THE CITY OF BULVERDE, TEXAS.

CHAIRMAN

APPROVED FOR ACCEPTANCE

____ DATE _____ PLANNING DIRECTOR _____

____ DATE _____ CITY ENGINEER _____

STATE OF TEXAS
COUNTY OF COMAL

I, _____ DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOCUMENT NO. _____ OF COMAL COUNTY THE ____ DAY OF _____, 20____, AT _____ M. WITNESS MY HAND AND OFFICIAL SEAL, THIS THE ____ DAY OF _____, A.D. 20____

COUNTY CLERK, COMAL COUNTY, TEXAS

DEPUTY

CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OR LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.

LINE	LENGTH	BEARING
L1	105.19'	N77°07'08"W
L2	93.47'	N64°02'17"W
L3	109.88'	S41°17'33"E
L4	111.90'	S49°02'23"E
L5	147.30'	S49°02'23"E
L6	75.89'	S46°47'44"E
L7	202.76'	S39°16'39"E
L8	104.12'	S23°38'19"E
L9	37.58'	S12°26'25"E
L10	92.02'	S76°42'43"E
L11	51.86'	N12°52'52"E
L12	51.92'	N12°52'52"E
L13	22.01'	N39°10'02"W
L14	22.01'	N39°10'02"W
L15	82.00'	N16°33'14"W
L16	82.00'	N16°33'14"W
L17	60.27'	N13°00'41"E
L18	40.91'	N11°37'31"E
L19	62.95'	N49°05'11"E
L20	87.46'	N01°59'40"E
L21	75.49'	N00°39'32"E
L22	88.02'	N00°39'32"E
L23	78.75'	N51°26'33"E
L24	65.60'	N18°34'53"E
L25	50.06'	N71°10'30"W
L26	60.82'	N56°55'11"W
L27	80.10'	N71°10'30"W
L28	69.16'	N43°41'40"E
L29	116.64'	N29°37'30"E

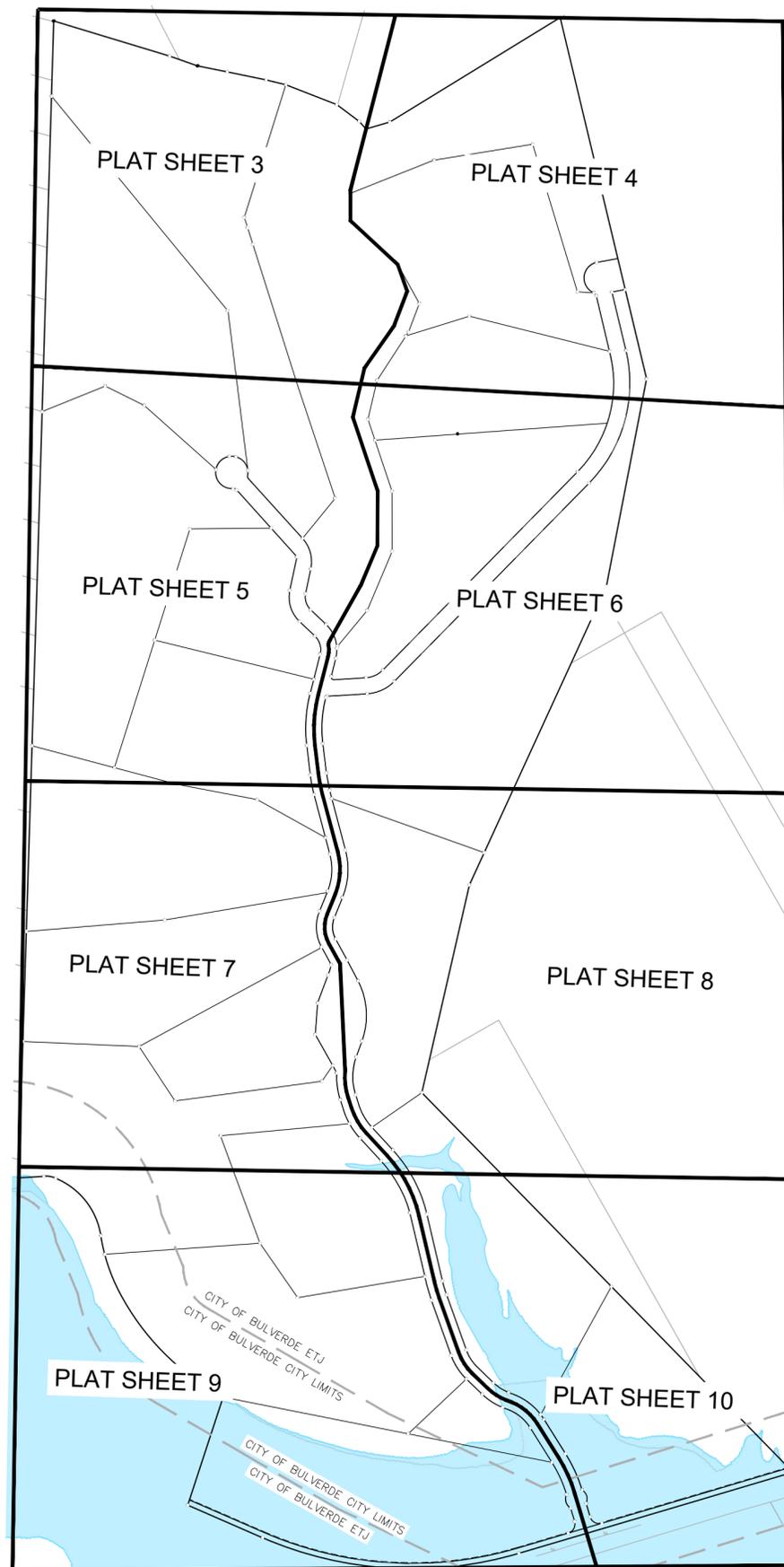
LINE	LENGTH	BEARING
L30	78.19'	N00°49'22"E
L31	77.39'	N00°49'22"E
L32	62.56'	N38°55'25"W
L33	44.79'	N38°55'25"W
L34	83.06'	N85°29'16"E
L35	78.46'	N85°29'16"E
L36	81.15'	N61°25'52"W
L37	90.63'	N61°25'52"W
L38	74.24'	N41°19'34"W
L39	84.50'	N41°19'34"W
L40	20.00'	N85°47'05"E
L41	105.78'	N21°48'17"W
L42	34.90'	N11°25'36"W
L43	35.36'	N13°21'16"E
L44	51.30'	N68°39'09"E
L45	98.03'	N68°39'09"E
L46	85.15'	N07°00'54"W
L47	63.10'	N71°09'52"W
L48	118.29'	N68°33'01"E
L49	107.51'	N22°34'23"E
L50	182.51'	N78°40'52"W
L51	175.76'	N49°07'46"E
L52	13.16'	N12°38'01"W
L53	54.97'	N18°36'29"W
L54	93.90'	N60°47'15"W
L55	49.25'	N39°06'36"E
L56	54.83'	N39°06'36"E
L57	75.05'	N33°31'50"W
L58	57.85'	N29°28'53"E
L59	89.95'	N25°45'28"E
L60	56.79'	N48°48'01"E
L61	38.74'	N23°35'13"W
L62	101.50'	N32°18'02"E
L63	81.00'	N46°45'03"W
L64	57.61'	N22°26'38"E
L65	71.45'	N24°32'12"W
L66	17.94'	N62°37'38"E
L67	70.92'	N63°30'56"E
L68	48.22'	N48°38'16"E
L69	101.58'	N23°30'27"W
L70	53.50'	N00°00'00"E
L71	13.47'	N30°54'12"W
L72	47.43'	N55°27'57"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	972.47'	1392.70'	40°00'27"	507.00'	952.83'	N57°06'55"W
C2	556.41'	934.10'	34°07'46"	286.74'	548.22'	N15°08'26"W
C3	221.64'	679.32'	18°41'37"	111.81'	220.66'	N11°16'16"E
C4	283.93'	276.38'	58°51'35"	155.92'	271.60'	N08°48'43"W
C5	45.02'	100.00'	25°47'46"	22.90'	44.64'	N51°08'24"W
C6	54.91'	35.00'	89°53'05"	34.93'	49.45'	N32°10'35"W
C7	54.98'	35.00'	90°00'00"	35.00'	49.50'	N57°52'52"E
C8	57.84'	40.00'	82°50'39"	35.29'	52.93'	N12°52'08"E
C9	57.80'	40.00'	82°47'30"	35.26'	52.90'	N12°52'03"E
C10	148.32'	560.00'	15°10'31"	74.60'	147.89'	N04°55'46"E
C11	132.08'	500.00'	15°08'05"	66.42'	131.69'	N04°54'33"E
C12	146.56'	230.00'	36°30'33"	75.86'	144.09'	N20°54'46"W
C13	108.33'	170.00'	36°30'33"	56.07'	106.50'	N20°54'46"W
C14	67.10'	170.00'	22°36'49"	33.99'	66.66'	N27°51'38"W
C15	90.78'	230.00'	22°36'49"	45.99'	90.19'	N27°51'38"W
C16	105.60'	230.00'	26°18'19"	53.75'	104.67'	N03°24'04"W
C17	78.05'	170.00'	26°18'19"	39.73'	77.37'	N03°24'04"W
C18	53.48'	470.00'	6°31'10"	26.77'	53.45'	N13°00'41"E
C19	163.35'	470.00'	19°54'50"	82.51'	162.53'	N03°53'59"E
C20	273.09'	530.00'	29°31'20"	139.65'	270.08'	N01°30'36"E
C21	95.52'	220.00'	24°52'35"	48.52'	94.77'	N00°48'47"W
C22	121.57'	280.00'	24°52'35"	61.76'	120.62'	N00°48'47"W
C23	143.84'	220.00'	37°27'41"	74.60'	141.29'	N30°21'21"E
C24	100.90'	280.00'	20°38'47"	51.00'	100.35'	N21°56'54"E
C25	230.14'	280.00'	47°05'32"	122.02'	223.71'	N25°32'26"E
C26	38.86'	95.00'	23°26'04"	19.70'	38.59'	N39°43'31"E
C27	138.69'	155.00'	51°15'54"	74.37'	134.11'	N26°17'29"E
C28	80.09'	4764.24'	0°57'47"	40.04'	80.08'	N51°26'33"E
C29	139.69'	220.00'	36°22'53"	72.29'	137.36'	N32°46'13"E
C30	180.15'	280.00'	36°51'47"	93.31'	177.06'	N33°00'40"E
C31	74.04'	530.00'	8°00'14"	37.08'	73.98'	N18°34'53"E
C32	173.18'	470.00'	21°06'40"	87.58'	172.20'	N33°08'20"E
C33	195.28'	530.00'	21°06'40"	98.76'	194.18'	N33°08'20"E
C34	6.30'	5.00'	72°11'32"	3.65'	5.89'	S79°47'26"W
C35	113.90'	155.00'	42°06'11"	59.66'	111.35'	N85°09'54"W
C36	69.81'	95.00'	42°06'11"	36.57'	68.25'	N85°09'54"W
C37	534.86'	530.00'	57°49'15"	292.70'	512.45'	N44°52'23"E
C38	474.31'	470.00'	57°49'15"	259.57'	454.44'	N44°52'23"E
C39	14.73'	16.00'	52°45'08"	7.93'	14.22'	N10°24'49"W
C40	18.82'	10.00'	107°48'28"	13.72'	16.16'	N10°12'34"W

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C41	99.40'	130.00'	43°48'34"	52.27'	97.00'	N04°56'51"E
C42	74.10'	70.00'	60°39'06"	40.95'	70.69'	N13°22'07"E
C43	66.01'	65.00'	58°10'58"	36.17'	63.21'	N12°08'03"E
C44	126.97'	125.00'	58°12'01"	69.57'	121.58'	N12°08'35"E
C45	122.38'	130.31'	53°48'41"	66.13'	117.94'	N14°14'04"E
C46	14.73'	16.00'	52°45'08"	7.93'	14.22'	N13°37'10"E
C47	298.41'	60.00'	284°57'52"	46.07'	73.08'	N77°30'48"E
C48	14.64'	16.00'	52°24'43"	7.88'	14.13'	N38°45'47"W
C49	24.25'	220.00'	6°18'56"	12.14'	24.24'	N48°11'22"E
C50	149.49'	60.00'	142°45'08"	178.04'	113.72'	N34°35'11"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C51	168.36'	181.38'	53°10'55"	90.79'	162.38'	N40°42'28"E
C52	187.97'	201.38'	53°28'46"	101.46'	181.22'	N39°57'51"E
C53	165.97'	558.85'	17°00'56"	83.60'	165.36'	N40°05'08"E
C54	159.54'	538.85'	16°57'51"	80.36'	158.96'	N39°58'52"E
C55	24.98'	21.00'	68°09'19"	14.21'	23.53'	N65°39'20"E
C56	329.86'	60.00'	314°59'33"	24.86'	45.93'	N57°45'47"W
C57	24.47'	21.00'	66°45'30"	13.84'	23.11'	N01°52'49"W

STREET NAME	STREET CL LENGTH LF
CIBOLO CLIFF RD	4461 LF
ZACCARIA PKWY	2087 LF



INDEX MAP DETAIL

SCALE: 1" = 400'

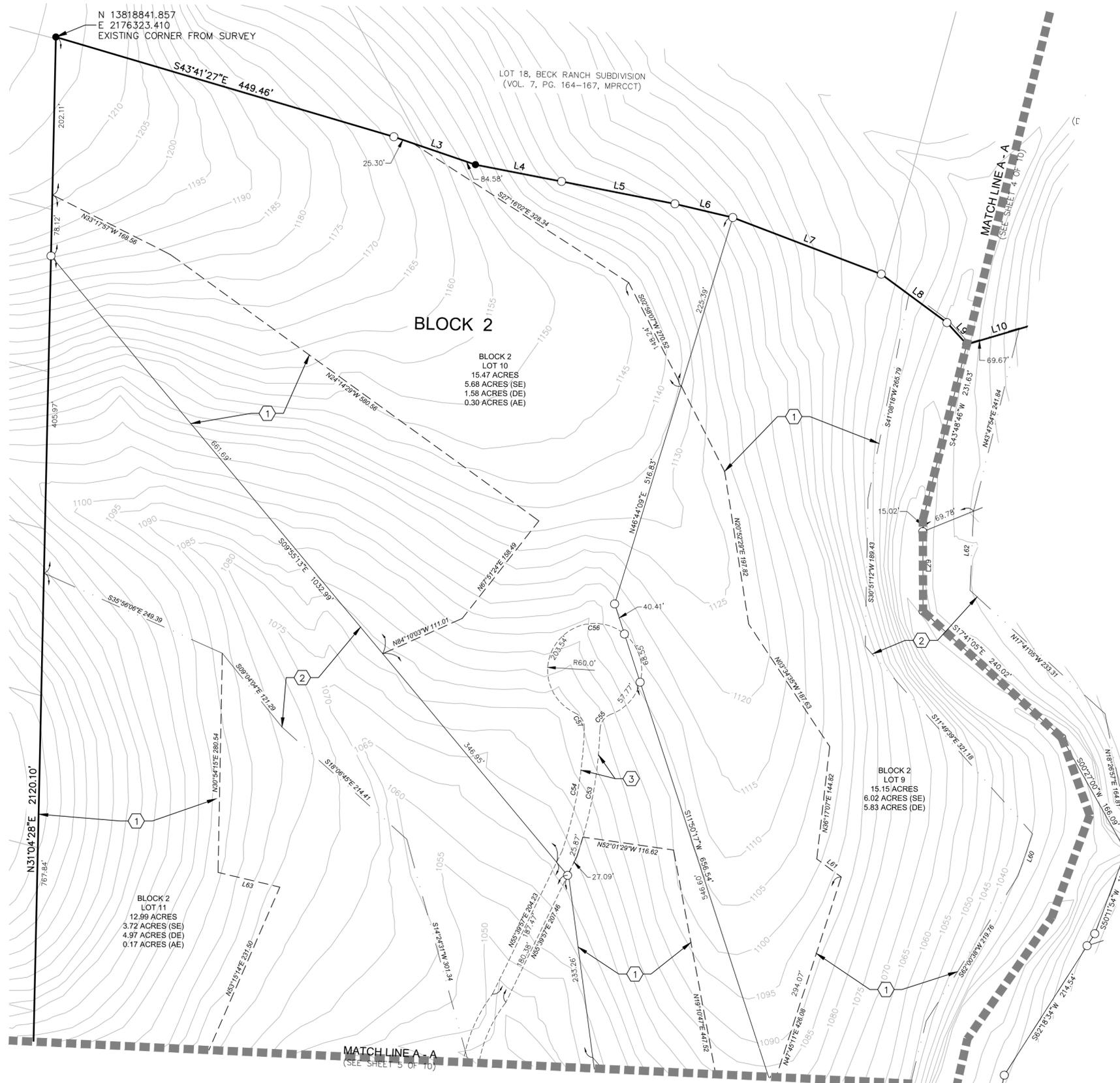
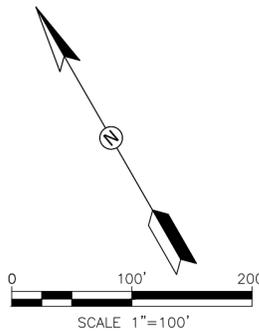
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PLAT KEYNOTES	
ITEM	DESCRIPTION
①	VARIABLE WIDTH SLOPE EASEMENT
②	VARIABLE WIDTH DRAINAGE EASEMENT
③	20' ACCESS EASEMENT
④	100 YEAR FEMA FLOODPLAIN

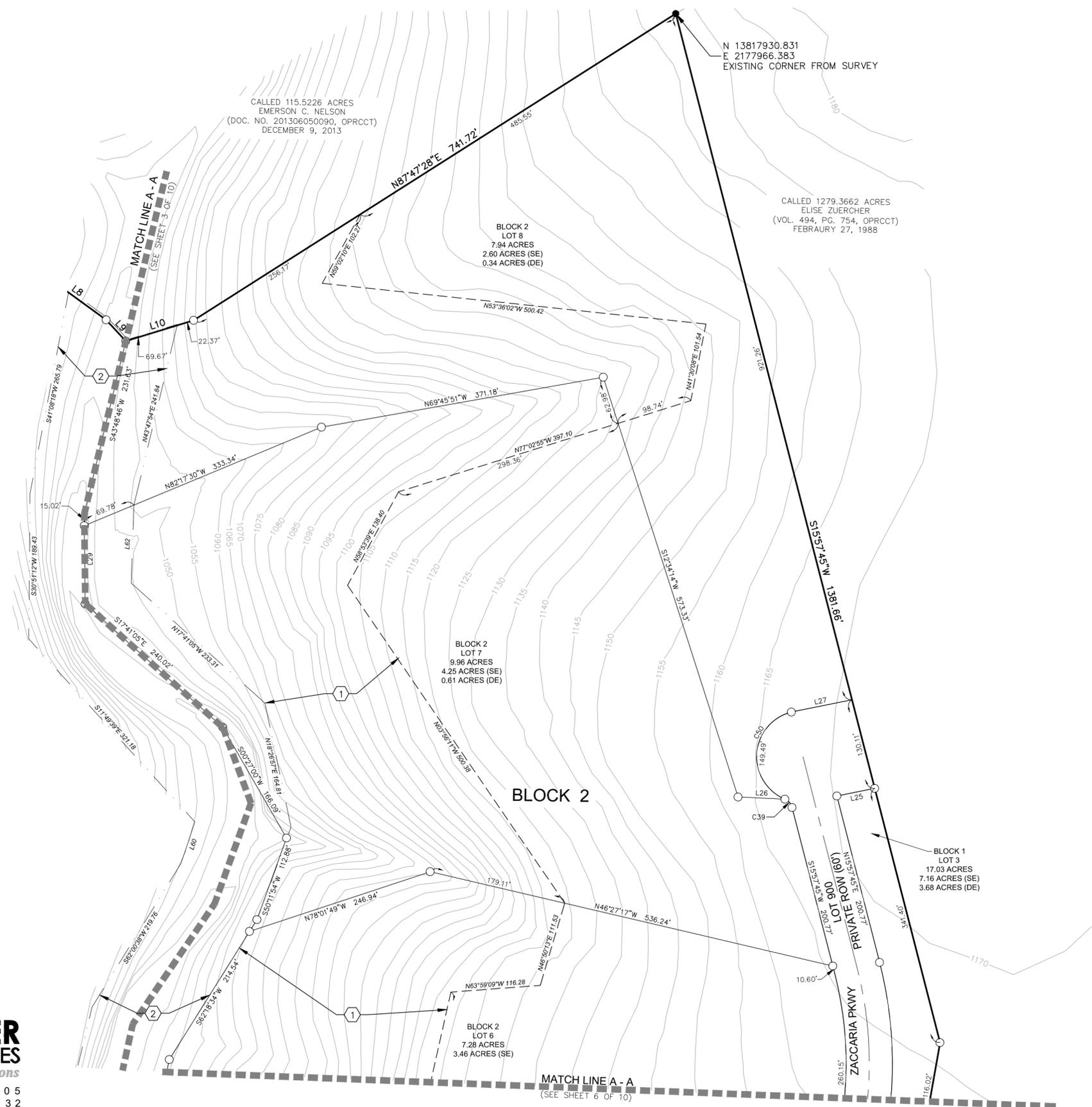
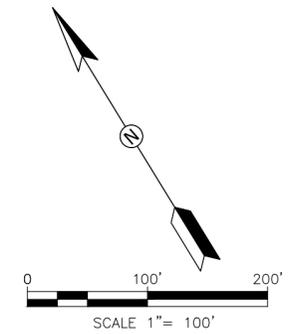
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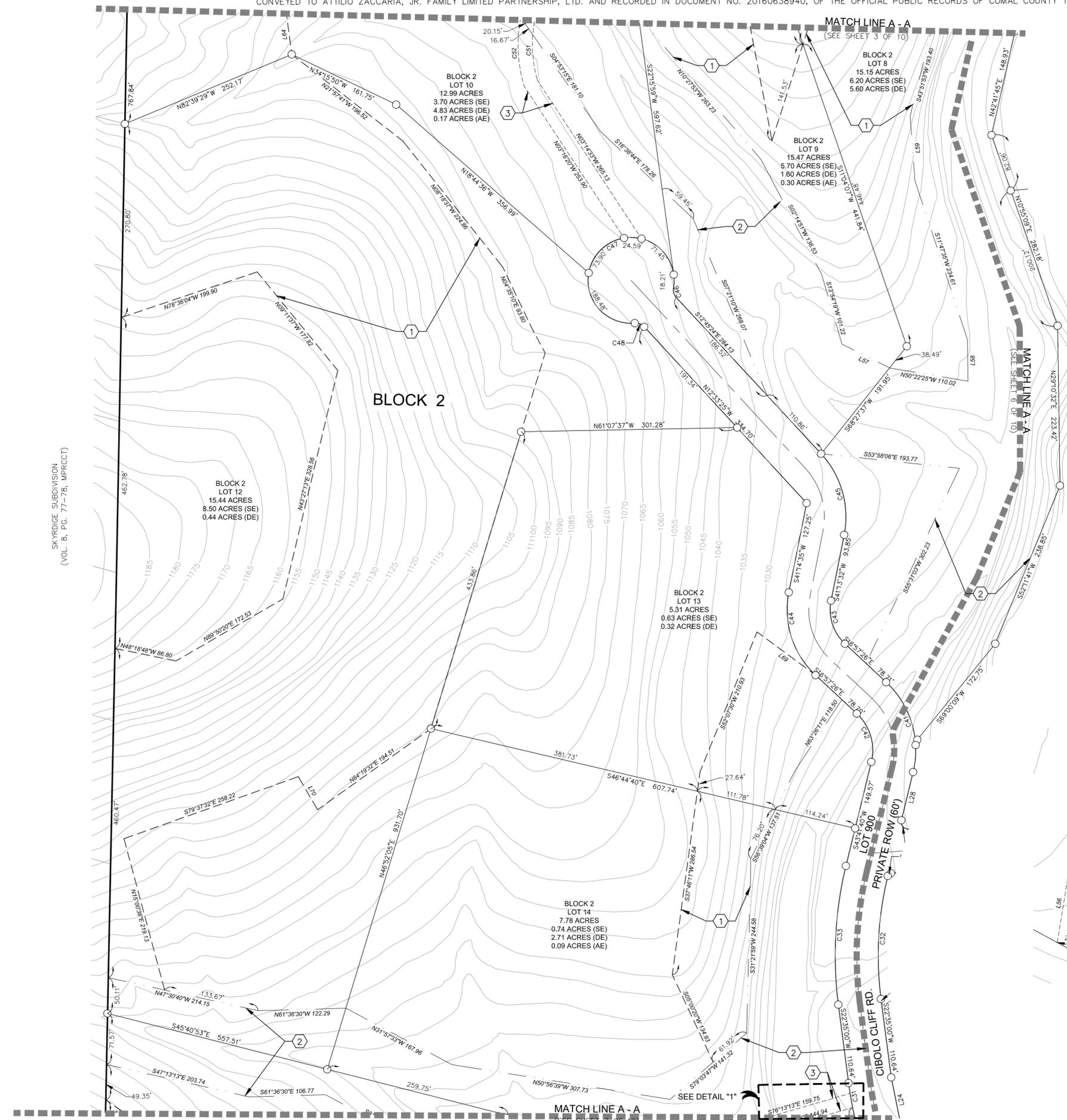
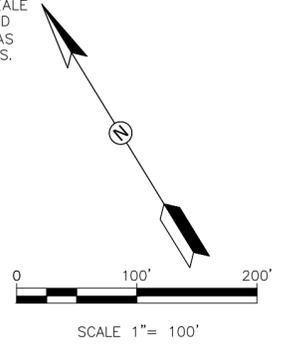
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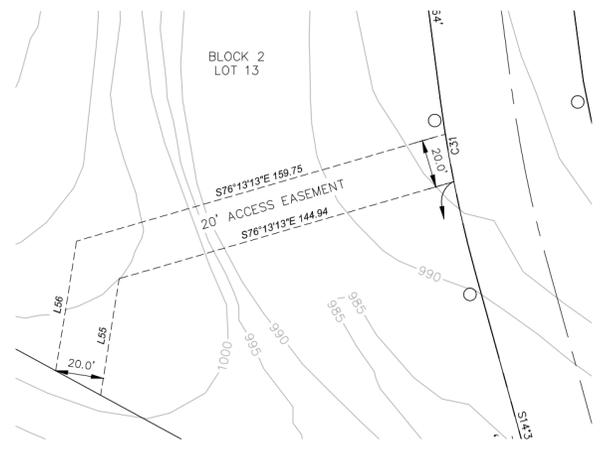
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DETAIL "1"
SCALE 1" = 50'

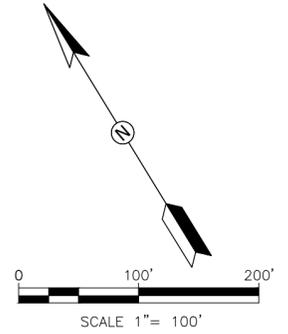
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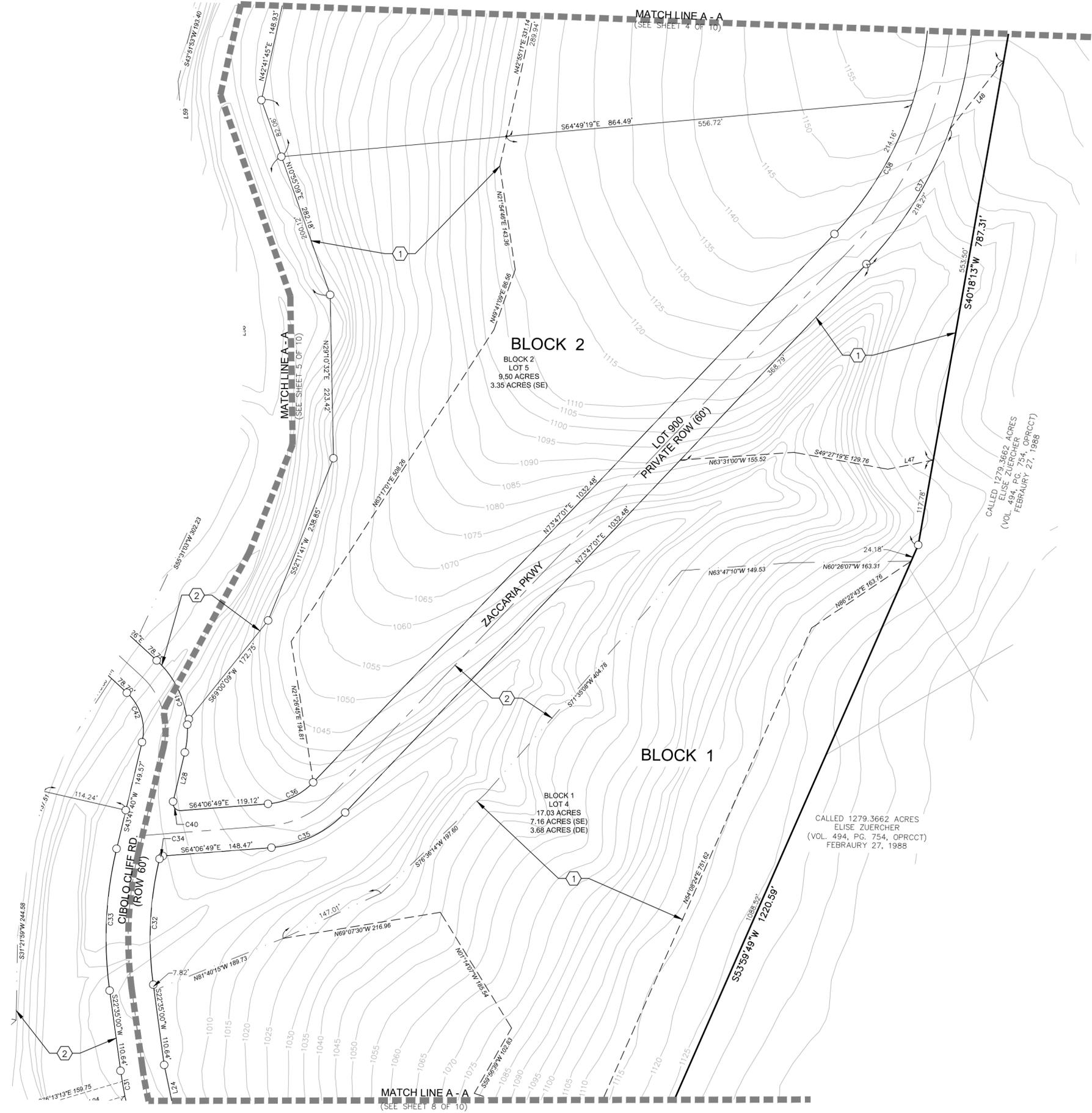
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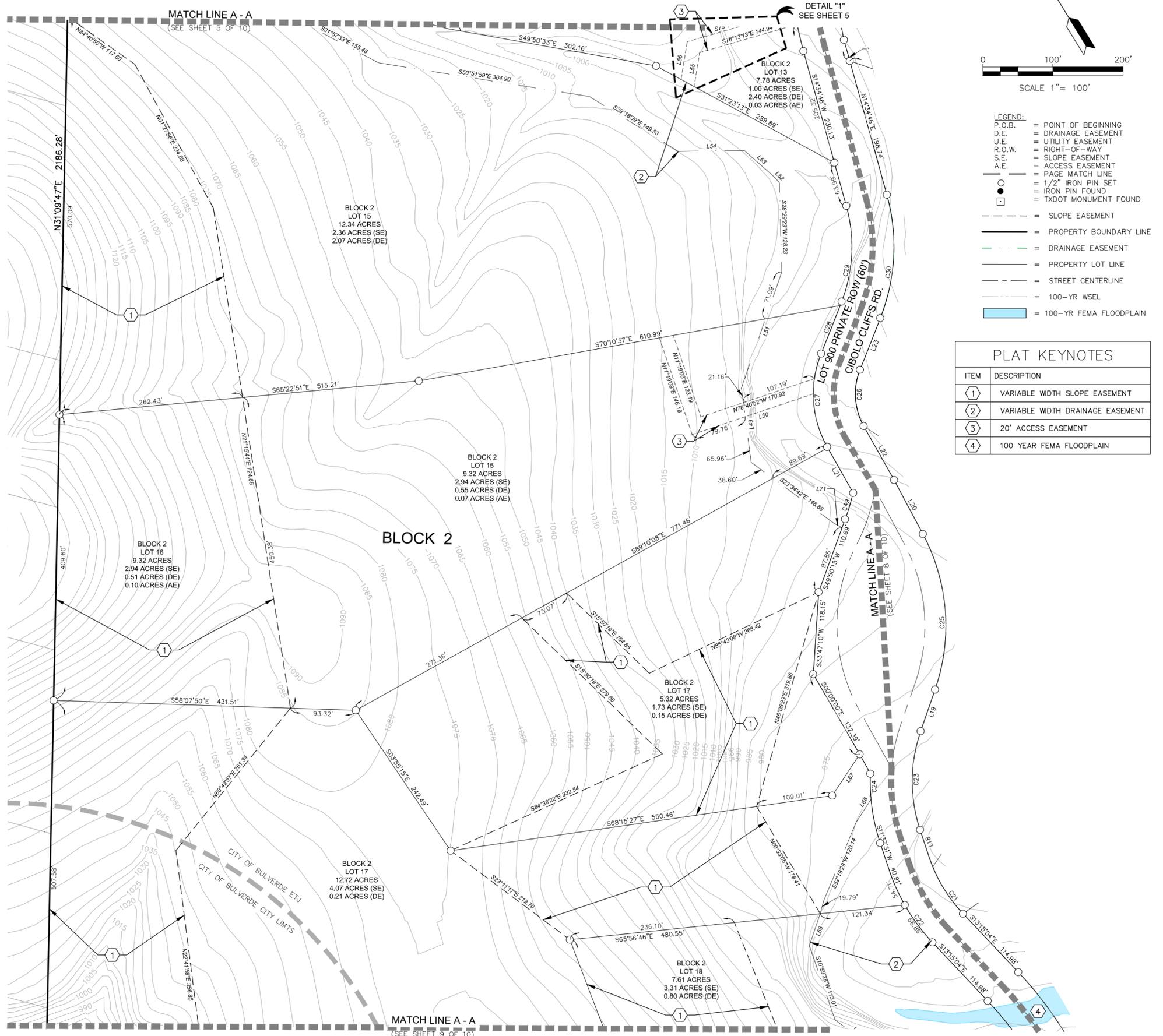
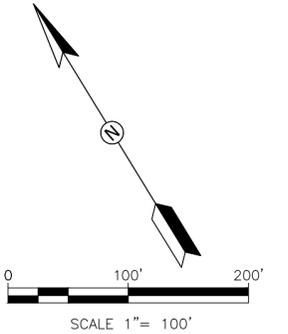
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SUBDIVISION PLAT ESTABLISHING

CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OF LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.



- LEGEND:**
- P.O.B. = POINT OF BEGINNING
 - D.E. = DRAINAGE EASEMENT
 - U.E. = UTILITY EASEMENT
 - R.O.W. = RIGHT-OF-WAY
 - S.E. = SLOPE EASEMENT
 - A.E. = ACCESS EASEMENT
 - = PAGE MATCH LINE
 - = 1/2" IRON PIN SET
 - = IRON PIN FOUND
 - = TXDOT MONUMENT FOUND
 - - - = SLOPE EASEMENT
 - = PROPERTY BOUNDARY LINE
 - · - · - = DRAINAGE EASEMENT
 - · — · — = PROPERTY LOT LINE
 - · — · — · — = STREET CENTERLINE
 - · - · - · - · - = 100-YR WSEL
 - = 100-YR FEMA FLOODPLAIN

ITEM	DESCRIPTION
1	VARIABLE WIDTH SLOPE EASEMENT
2	VARIABLE WIDTH DRAINAGE EASEMENT
3	20' ACCESS EASEMENT
4	100 YEAR FEMA FLOODPLAIN

SKYRIDGE SUBDIVISION
(VOL. 8, PG. 77-78, MPRCCT)

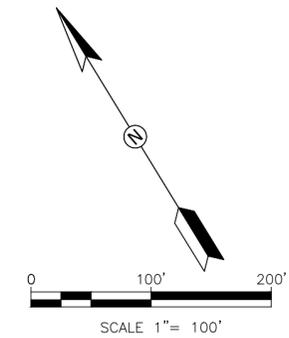
MOELLER & ASSOCIATES
Engineering Solutions

2021 SH 46W, Ste. 105
New Braunfels, TX 78132
ph: (830) 358-7127
www.ma-tx.com TBPE FIRM F-13351

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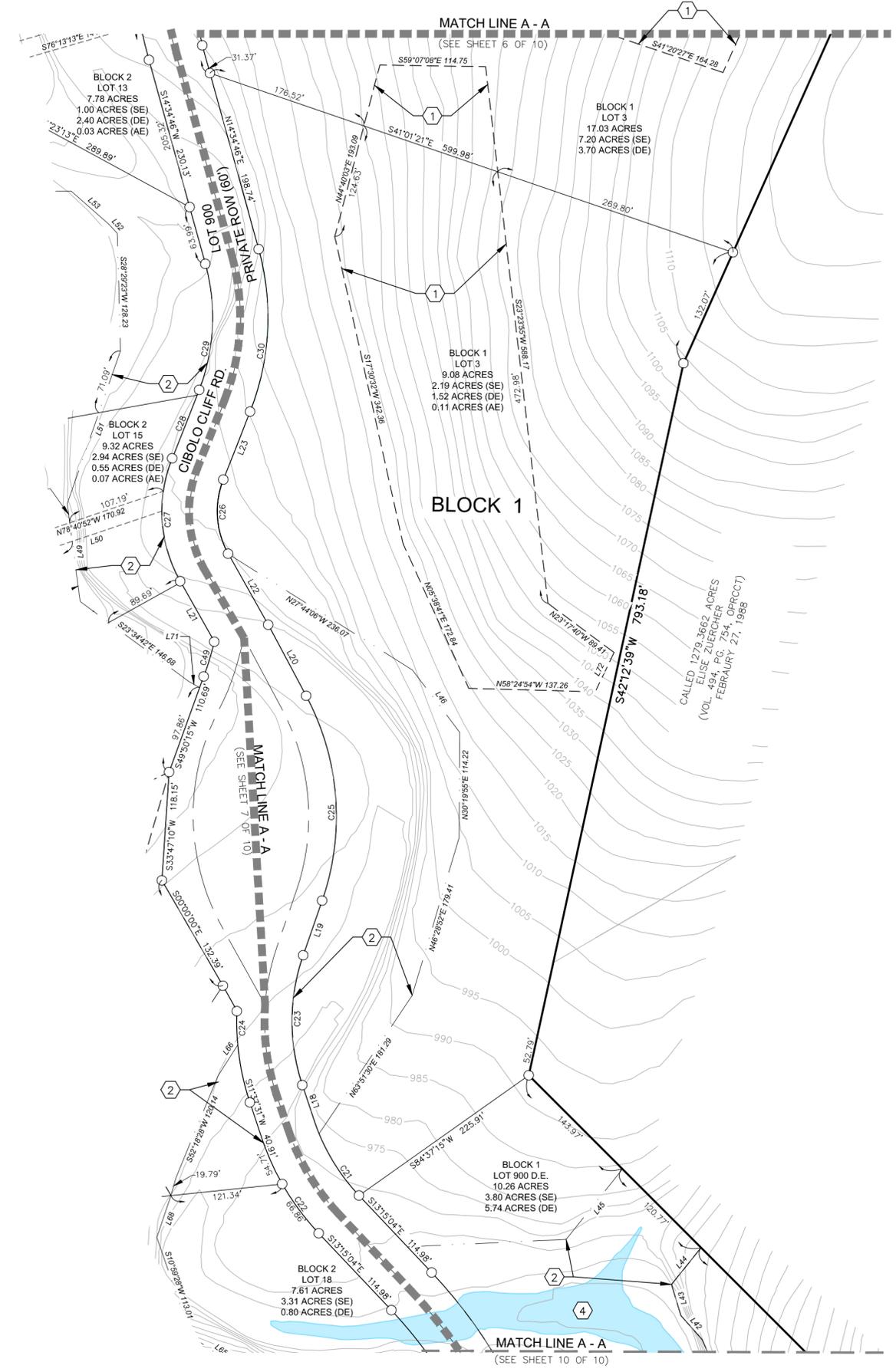
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PLAT KEYNOTES	
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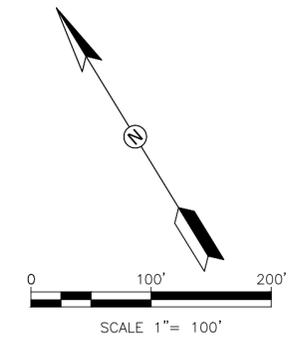
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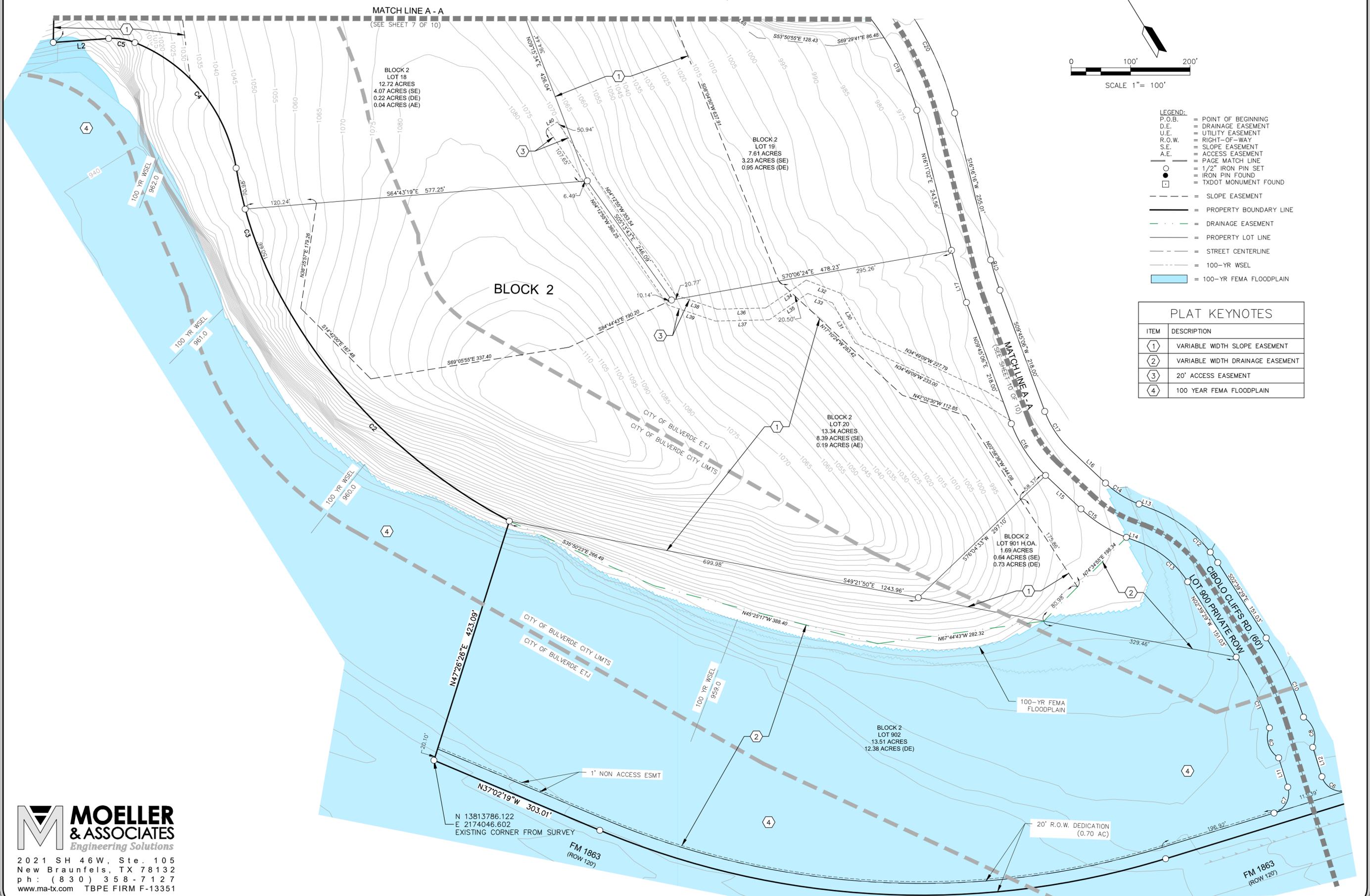
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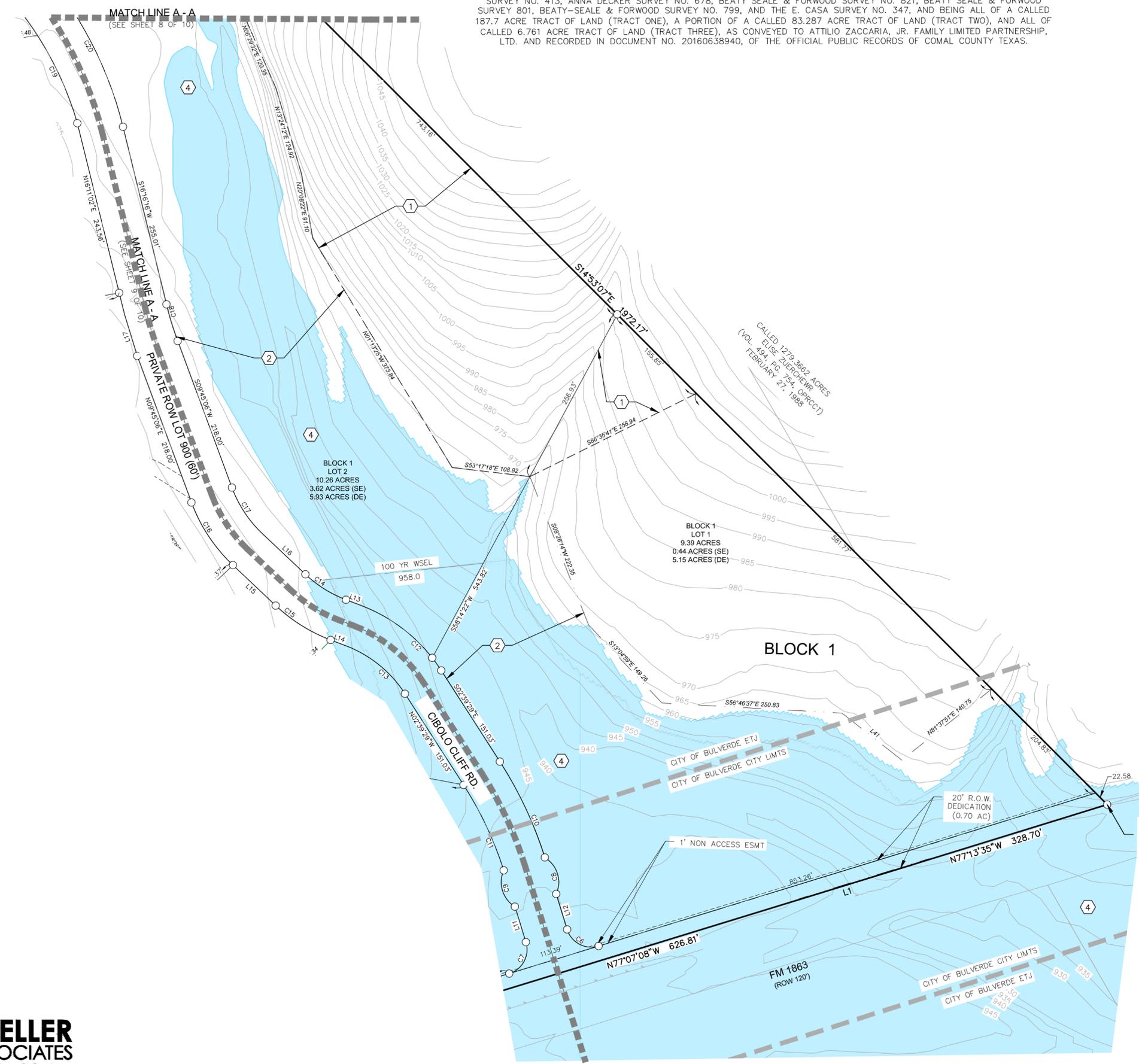
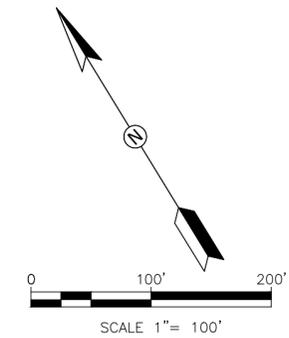
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BLOCK 1
LOT 2
10.26 ACRES
3.62 ACRES (SE)
5.93 ACRES (DE)

BLOCK 1
LOT 1
9.39 ACRES
0.44 ACRES (SE)
5.15 ACRES (DE)

BLOCK 1

POB
N 13812791.047
E 2176063.419
EXISTING CORNER FROM SURVEY

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PLANNING AND ZONING COMMISSION ITEM:
PC-19-20
PRELIMINARY PLAT
CIBOLO CLIFF RANCHES

MEETING DATE: January 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Director

REQUEST:

Reconsideration of a Preliminary Plat for the Cibolo Cliff Ranches subdivision, generally located at 7055 FM 1863.

APPLICANT:

Moeller & Associates attn: James Ingalls, P.E.
2021 SH 46 W, Ste. 105
New Braunfels, TX 78132

PROPERTY INFORMATION:

Owner: A Z Family, L.P., attn: Phil Zaccaria
Legal Descrp: BEING ALL OF A 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEAL & FORWOOD SURVEY 01, BEATY-SEALE & FORWOOD SURVEY NO. 799 AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OF LAND (TRACT TWO), AND ALL OF A CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 201606338940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS.

Size: 217 Acres; 22 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed preliminary plat for Cibolo Cliff Ranches. It falls under the new City of Bulverde plat submittal requirements, which requires consideration at the Planning & Zoning Commission and the final approval from the City Council.

The proposed preliminary plat would establish 22 single-family residential lots. Since this is not part of a phased development, it does not require a Master Development Plan.

This preliminary plat was submitted concurrently with a request for a variance to the block length requirements (VR-19-17), which would have to be decided prior to the plat approval.

ANALYSIS:

The proposed subdivision lies completely outside the City Limits. Groundwater wells would provide water to lots in the subdivision while on-site septic facilities would serve each lot. The proposed development is low-density residential and will be a private community with no public roadways.

Half Associates and the City of Bulverde Planning and Engineering staff have reviewed the plat and encountered multiple deficiencies. This plat has been previously denied in November 2019 and December 2019. This third resubmittal, dated January 2, 2020, still has deficiencies. The comments have been sent to the developer to address these deficiencies.

Therefore, staff recommends the Planning & Zoning Commission vote to **DENY** the Preliminary Plat.

ATTACHMENTS:

Application

Plat

Comment Letter



APPLICATION FOR PRELIMINARY PLAT

Planning & Development Department
 30360 Cougar Bend, Bulverde, TX 78163
 Telephone: 830-438-3612 - Fax. 830-438-4339
www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

1. Name of Subdivision: Cibolo Cliff Ranches Unit No. _____
 Location Description/Nearest Intersection: 7055 FM 1863, Bulverde, Texas, 78163
1 mile from east of Beck Rd.

2. Owner/Applicant: A Z Family, L.P. Attn: Mr. Phil Zaccaria
 Address: 21260 Gathering Oak #106, San Antonio, Texas, 78260 Email: _____
 Telephone: _____ Fax: _____ Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): Moeller & Associates attn: James Ingalls, P.E. (Agent)
 Address: 2021 Sh 46W, Ste. 105, New Braunfels, TX 78132 Email: plats@ma-tx.com
 Telephone: 830-358-7127 Fax: _____ Mobile: _____

4. Property Details:

City Limits:	<input type="checkbox"/> In <input checked="" type="checkbox"/> Out (ETJ)	Water Source:	<u>private wells</u>
Commercial:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Sewage Treatment:	<u>On-site septic (ossf)</u>
Residential:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TxDOT Frontage:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
No. of Lots:	<u>22</u>	100-Year Floodplain:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Total Acreage without floodplain:	<u>217 ac</u>	Edwards Aquifer Zone:	<input checked="" type="checkbox"/> Recharge
Density Class:	<u>Low</u>		<input type="checkbox"/> Contributing
Zoning Class:	<u>n/a</u>		

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.

Signature of Owner/Applicant: Date: 9-30-19.

Fees on Page 2

Fees:

Preliminary Plats

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
- \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 – (0-5 acres)
- \$2500 + \$10/lot – (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
- \$2500 + \$10/acre (5+ acres)

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



Planning and Development Preliminary Plat Application Checklist

**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Preliminary Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
- 2 copies of the Utility Layout showing all proposed utilities and easements
- 2 copies of the Traffic Impact Analysis
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Drainage Study
- 2 copies of the Water Study and Water Supply Certification as applicable
- 2 copies of the Sewer Study as applicable
- 2 copies of the Environmental Assessment
- Certification by all utilities and that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - Electric Utility
 - Gas Utility
 - Public Water System
 - Telephone Utility
 - Cable TV Utility
 - TxDOT
 - TCEQ
 - Other agencies or entities having jurisdiction
- Evidence that the applicant has submitted the information required above to the utilities and entities described above
- Variance Requests (if any)
- Original Tax Certificates
 - City
 - County
 - School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat
- Other applicable legal documents including deed restrictions, homeowner's association documents, etc.

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NOTES:

1. ALL LOTS WITHIN THE SUBDIVISION WILL BE SERVED BY INDIVIDUAL ON-SITE SEWAGE SYSTEM FACILITIES AND PRIVATE WATER WELLS. THERE WILL BE NO GAS SERVICE PROVIDED.
2. ALL STREETS ARE PROPOSED AS RURAL LOCAL TYPE FUNCTIONAL CLASSIFICATION WITH 60' FOOT RIGHT-OF-WAYS UNLESS NOTED OTHERWISE.
3. NO SIDEWALKS ARE PROPOSED FOR THIS DEVELOPMENT AS THESE STREETS ARE PROPOSED TO BE RURAL-LOCAL STREETS, ONE-FAMILY LARGE LOT RESIDENTIAL (RURAL).
4. LOT 900, BLOCK 1 IS A PRIVATE ROW AND IS A NON-BUILDABLE LOT. THE LOT IS TO BE USED FOR A PRIVATE STREET, DRAINAGE CONVEYANCE, UTILITY EASEMENT, AND OPEN SPACE. LOT 901, BLOCK 1 IS A PROPERTY OWNERS ASSOCIATION LOT. THIS LOT WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION, THEIR SUCCESSOR'S OR ASSIGNS, AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF BULVERDE OR COMAL COUNTY.
5. THE SUBDIVISION IS WITHIN THE COMAL INDEPENDENT SCHOOL DISTRICT.
6. ALL BEARINGS AND COORDINATES SHOWN HEREON ARE IN GRID BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. DISTANCES SHOWN HEREON ARE SURFACE USING COMBINED SCALE FACTOR OF 1.00015.
7. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND MARKERS WILL BE SET WITH 1/2" IRON PIN WITH PLASTIC CAP STAMPED "DAM #5348 PROP. COR." IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
8. CIBOLO CLIFF RANCHES, FALLS WITHIN THE CITY LIMITS AND THE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF BULVERDE.
9. THE PROPOSED USE OF THE SUBDIVISION IS FOR SINGLE FAMILY RESIDENTIAL.
10. CIBOLO CLIFF RANCHES, ESTABLISHING A TOTAL OF 22 LOTS, WITH 20 BEING BUILDABLE.
11. THIS SUBDIVISION IS SUBJECT TO THE CITY OF BULVERDE PARK LAND AND DEDICATION ORDINANCE. THIS PLAT IS APPROVED FOR ONE (1) DWELLING UNIT PER BUILDABLE LOT WITH A MAXIMUM OF 19 LOTS WHERE FEES ARE DUE AT THE TIME OF RECORDATION. AT SUCH TIME THAT ADDITIONAL DWELLING UNITS ARE CONSTRUCTED THE OWNER OF THE LOT SHALL CONTACT THE CITY AND COMPLY WITH THE ORDINANCE FOR EACH NEW DWELLING UNIT.
12. NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT, NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASES THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF BULVERDE AND COMAL COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
13. THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF TWO FEET ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
14. MAINTENANCE OF DRAINAGE EASEMENT DESIGNATED WITHIN A LOT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION.
15. THE SUBDIVISION IS LOCATED WITHIN THE EXISTING SPECIAL FLOOD HAZARD ZONE A, 100-YEAR FLOOD BOUNDARY, AS DEFINED BY THE COMAL COUNTY, TEXAS COMMUNITY PANEL NUMBER 48091C0405F, REVISED NOVEMBER 02, 2009 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
16. ANY DRIVEWAY CONSTRUCTION ON COUNTY ROADS WITHIN THE UNINCORPORATED AREAS OF COMAL COUNTY MUST BE PERMITTED BY THE COMAL COUNTY ROAD DEPARTMENT.
17. THIS PROPERTY IS WITHIN THE EDWARDS AQUIFER RECHARGE ZONE. PROPERTY OWNERS ARE REQUIRED TO FOLLOW THE APPROVED W.P.A.P. TEXAS EDWARDS AQUIFER PROGRAM FILE NO. _____ DATED _____.
18. BUILDING SET BACK LINES SHALL BE IN ACCORDANCE WITH SUBDIVISION CODE SECTION 2.03 OF THE CITY OF BULVERDE CODE OF ORDINANCES.

TXDOT NOTES:

1. FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
2. OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY.
3. MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY TXDOT'S, "ACCESS MANAGEMENT MANUAL". THE PROPERTY IS ELIGIBLE FOR MAXIMUM COMBINED TOTAL OF 1 (ONE) ACCESS POINT, BASED ON AN OVERALL PLATTED HIGHWAY FRONTAGE OF APPROXIMATELY 2230.99 FEET. WHERE TOPOGRAPHY OR OTHER EXISTING CONDITIONS MAKE IT INAPPROPRIATE OR NOT FEASIBLE TO CONFORM TO THE CONNECTION SPACING INTERVALS, THE LOCATION OF REASONABLE ACCESS WILL BE DETERMINED WITH CONSIDERATION GIVEN TO TOPOGRAPHY, ESTABLISHED PROPERTY OWNERSHIPS, UNIQUE PHYSICAL LIMITATIONS, AND/OR PHYSICAL DESIGN CONSTRAINTS. THE SELECTED LOCATION SHOULD SERVE AS MANY PROPERTIES AND INTERESTS AS POSSIBLE TO REDUCE THE NEED FOR ADDITIONAL DIRECT ACCESS TO THE HIGHWAY. IN SELECTING LOCATIONS FOR FULL MOVEMENT INTERSECTIONS, PREFERENCE WILL BE GIVEN TO PUBLIC ROADWAYS THAT ARE ON LOCAL THOROUGHFARE PLANS.
4. IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TXDOT, PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE AS DIRECTED BY TXDOT.
5. ANY TRAFFIC CONTROL MEASURE (LEFT TURN LANE, RIGHT TURN LANE, SIGNAL, ETC.) FOR ANY ACCESS FRONTING A STATE MAINTAINED ROADWAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

SLOPE:

FOR THE PURPOSE OF PRESERVING AREAS HAVING A SLOPE GREATER THAN 25%, THE EASEMENTS DESIGNATED ON THIS PLAT AS "SLOPE EASEMENT" ARE DEDICATED TO THE PUBLIC. WITHIN SUCH SLOPE EASEMENTS THE FOLLOWING ACTIVITIES ARE PROHIBITED:

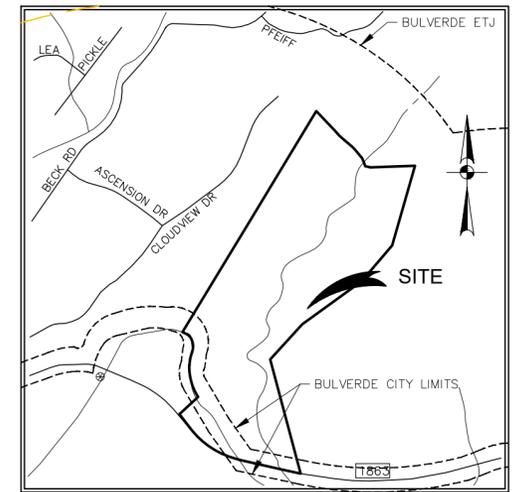
- (A) DEVELOPMENT;
- (B) DISTURBANCE; AND
- (C) THE REMOVAL OF PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES

NOT WITHSTANDING THE FOREGOING, AND PROVIDED THAT NO PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES ARE REMOVED, THE FOLLOWING ACTIVITIES AND IMPROVEMENTS ARE PERMITTED:

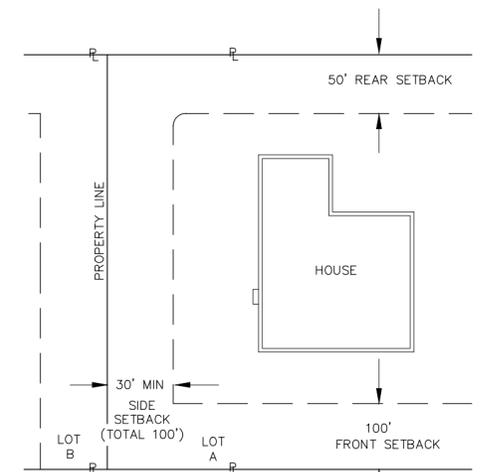
- (A) ROADWAYS OR UTILITY CONSTRUCTION WHEN THE ROADWAY OR UTILITY IMPROVEMENTS ARE NECESSARY IN THE SLOPE AREA FOR A LAWFULLY CONSTRUCTED IMPROVEMENT OUTSIDE OF SUCH SLOPE AREA TO EXIST AND THERE IS NO PRACTICAL ALTERNATIVE TO CONSTRUCTION WITHIN SUCH SLOPE AREA.
- (B) CANTILEVERING OF STRUCTURES OVER A STEEP SLOPE PROVIDED THAT SUCH CANTILEVERING WILL NOT ALTER NATURAL STORMWATER DRAINAGE OR JEOPARDIZE SLOPE STABILITY.
- (C) RETAINING WALLS AND OTHER STRUCTURES THAT ARE NECESSARY FOR SLOPE STABILIZATION PROVIDED THE FOLLOWING CONDITIONS ARE MET:
 - I) RETAINING WALLS SHALL NOT BE USED TO INCREASE TABLE LAND.
 - II) BACKFILLING OF A RETAINING WALL IS PERFORMED ONLY A NECESSARY FOR SLOPE STABILIZATION.
- (A) RECONSTRUCTION ON THE EXACT FOUNDATION OF A PREVIOUSLY EXISTING STRUCTURE.
- (B) BRIDGES, WALKWAYS, STAIRS, AND FENCES PROVIDED THAT SUCH BRIDGES, WALKWAYS, STAIRS, AND FENCES WILL NOT ALTER NATURAL STORMWATER DRAINAGE OR JEOPARDIZE SLOPE STABILITY.
- (F) REMOVAL OF TREES NOT DEFINED BY THE CODE OF ORDINANCES OF THE CITY OF BULVERDE, TEXAS AS PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES.

THE SLOPE EASEMENTS DEDICATED HEREIN ARE ENFORCEABLE BY THE CITY OF BULVERDE BY ANY ACTION AT LAW OR IN EQUITY. TO OBTAIN INJUNCTIVE RELIEF, THE CITY OF BULVERDE SHALL ONLY BE REQUIRED TO SHOW VIOLATION OF THE TERMS OF THE SLOPE EASEMENTS DEDICATED HEREIN; AND A SHOWING OF IMMINENT HARM OR IRREPARABLE INJURY SHALL NOT BE REQUIRED.

ALL TERMS, PHRASES, AND WORDS IN THIS INSTRUMENT THAT ARE NOT OTHERWISE DEFINED HEREIN SHALL HAVE THAT MEANING ASSIGNED TO THEM BY THE CODE OF ORDINANCES OF THE CITY OF BULVERDE, TEXAS ON THE DATE THAT THIS PLAT IS RECORDED.



LOCATION MAP
SCALE: 1"=2,000'



TYPICAL SETBACK ON INTERIOR PROPERTY LINE

STATE OF TEXAS
COUNTY OF COMAL

KNOW ALL MEN BY THESE PRESENTS

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER:
A Z FAMILY, L.P.
C/O PHIL ZACCARIA
21260 GATHERING OAK, #106
SAN ANTONIO, TX 78260

STATE OF TEXAS
COUNTY OF COMAL

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS ____DAY OF _____, 2020,

BY _____

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES: _____

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, DREW A. MAWYER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

DREW A. MAWYER
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5348
D.A. MAWYER LAND SURVEYING
5151 W. SH46
NEW BRAUNFELS, TEXAS 78132
FIRM #10191500

- LEGEND:**
- = POINT OF BEGINNING
 - = DRAINAGE EASEMENT
 - = UTILITY EASEMENT
 - = RIGHT-OF-WAY
 - = SLOPE EASEMENT
 - = ACCESS EASEMENT
 - = PAGE MATCH LINE
 - = 1/2" IRON PIN SET
 - = IRON PIN FOUND
 - = TXDOT MONUMENT FOUND
 - - - - = SLOPE EASEMENT
 - — — — = PROPERTY BOUNDARY LINE
 - · - · - = DRAINAGE EASEMENT
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2021 SH 46W, Ste. 105
New Braunfels, TX 78132
ph: (830) 358-7127
www.ma-tx.com TBPE FIRM F-13351

APPROVED THIS THE _____ DAY OF _____, 20____ BY THE
PLANNING COMMISSION OF THE CITY OF BULVERDE, TEXAS.

CHAIRMAN _____

APPROVED FOR ACCEPTANCE

DATE _____ PLANNING DIRECTOR _____

DATE _____ CITY ENGINEER _____

STATE OF TEXAS
COUNTY OF COMAL

I, _____ DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOCUMENT NO. _____ OF COMAL COUNTY THE ____ DAY OF _____, 20____, AT _____ M. WITNESS MY HAND AND OFFICIAL SEAL, THIS THE ____ DAY OF _____, A.D. 20____

COUNTY CLERK, COMAL COUNTY, TEXAS

DEPUTY _____

CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OR LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.

LINE	LENGTH	BEARING
L1	105.19'	N77°07'08"W
L2	93.47'	N64°02'17"W
L3	109.88'	S41°17'33"E
L4	111.90'	S49°02'23"E
L5	147.30'	S49°02'23"E
L6	75.89'	S46°47'44"E
L7	202.76'	S39°16'39"E
L8	104.12'	S23°38'19"E
L9	37.58'	S12°26'25"E
L10	92.02'	S76°42'43"E
L11	51.86'	N12°52'52"E
L12	51.92'	N12°52'52"E
L13	22.01'	N39°10'02"W
L14	22.01'	N39°10'02"W
L15	82.00'	N16°33'14"W
L16	82.00'	N16°33'14"W
L17	60.27'	N13°00'41"E
L18	40.91'	N11°37'31"E
L19	62.95'	N49°05'11"E
L20	87.46'	N01°59'40"E
L21	75.49'	N00°39'32"E
L22	88.02'	N00°39'32"E
L23	78.75'	N51°26'33"E
L24	65.60'	N18°34'53"E
L25	50.06'	N71°10'30"W
L26	60.82'	N56°55'11"W
L27	80.10'	N71°10'30"W
L28	69.16'	N43°41'40"E
L29	116.64'	N29°37'30"E

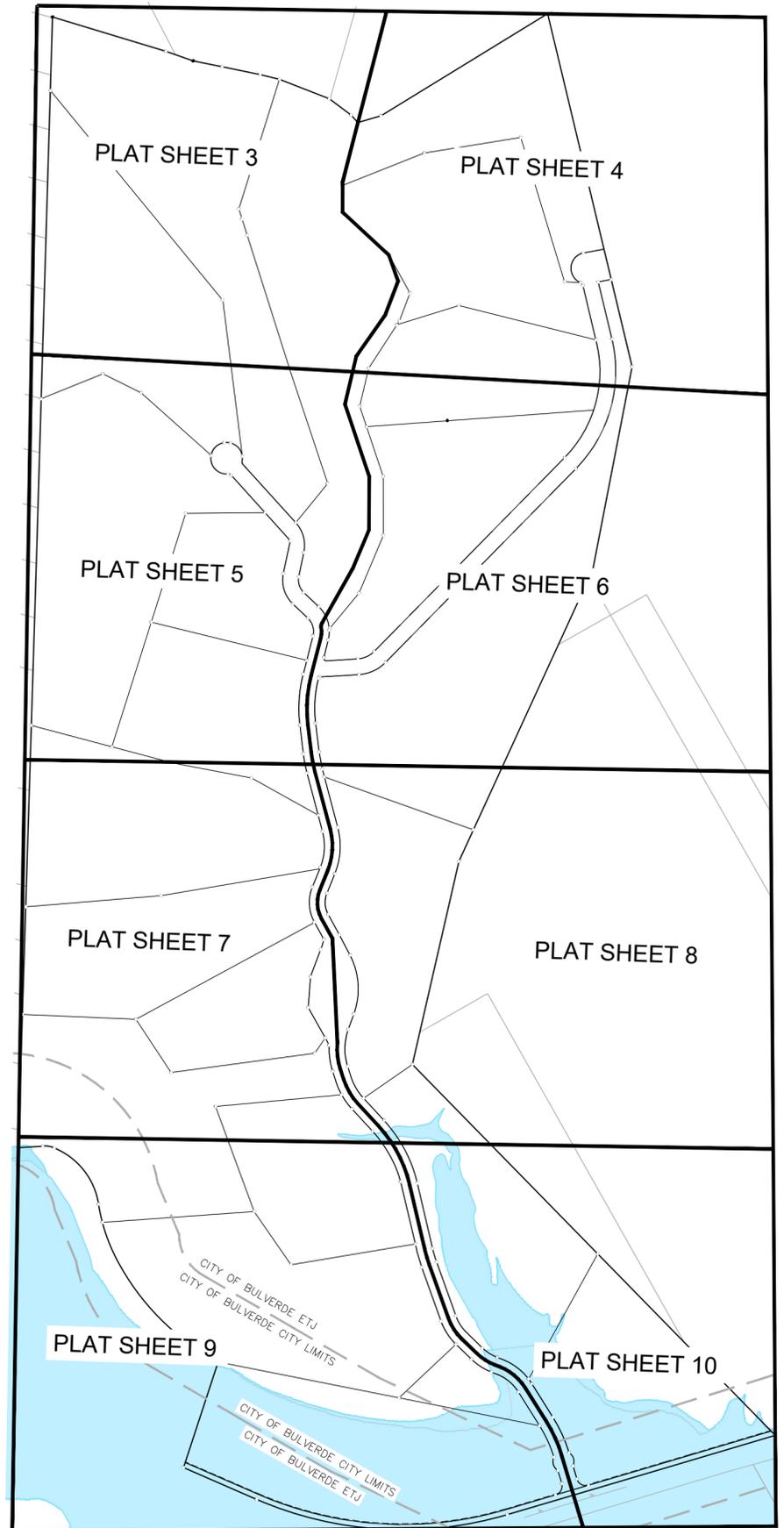
LINE	LENGTH	BEARING
L30	78.19'	N00°49'22"E
L31	77.39'	N00°49'22"E
L32	62.56'	N38°55'25"W
L33	44.79'	N38°55'25"W
L34	83.06'	N85°29'16"E
L35	78.46'	N85°29'16"E
L36	81.15'	N61°25'52"W
L37	90.63'	N61°25'52"W
L38	74.24'	N41°19'34"W
L39	84.50'	N41°19'34"W
L40	20.00'	N85°47'05"E
L41	105.78'	N21°48'17"W
L42	34.90'	N11°25'36"W
L43	35.36'	N13°21'16"E
L44	51.30'	N68°39'09"E
L45	98.03'	N68°39'09"E
L46	85.15'	N07°00'54"W
L47	63.10'	N71°09'52"W
L48	118.29'	N68°33'01"E
L49	107.51'	N22°34'23"E
L50	182.51'	N78°40'52"W
L51	175.76'	N49°07'46"E
L52	13.16'	N12°38'01"W
L53	54.97'	N18°36'29"W
L54	93.90'	N60°47'15"W
L55	49.25'	N39°06'36"E
L56	54.83'	N39°06'36"E
L57	75.05'	N33°31'50"W
L58	57.85'	N29°28'53"E
L59	89.95'	N25°45'28"E
L60	56.79'	N48°48'01"E
L61	38.74'	N23°35'13"W
L62	101.50'	N32°18'02"E
L63	81.00'	N46°45'03"W
L64	57.61'	N22°26'38"E
L65	71.45'	N24°32'12"W
L66	17.94'	N62°37'38"E
L67	70.92'	N63°30'56"E
L68	48.22'	N48°38'16"E
L69	101.58'	N23°30'27"W
L70	53.50'	N00°00'00"E
L71	13.47'	N30°54'12"W
L72	47.43'	N55°27'57"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	972.47'	1392.70'	40°00'27"	507.00'	952.83'	N57°06'55"W
C2	556.41'	934.10'	34°07'46"	286.74'	548.22'	N15°08'26"W
C3	221.64'	679.32'	18°41'37"	111.81'	220.66'	N11°16'16"E
C4	283.93'	276.38'	58°51'35"	155.92'	271.60'	N08°48'43"W
C5	45.02'	100.00'	25°47'46"	22.90'	44.64'	N51°08'24"W
C6	54.91'	35.00'	89°53'05"	34.93'	49.45'	N32°10'35"W
C7	54.98'	35.00'	90°00'00"	35.00'	49.50'	N57°52'52"E
C8	57.84'	40.00'	82°50'39"	35.29'	52.93'	N12°52'08"E
C9	57.80'	40.00'	82°47'30"	35.26'	52.90'	N12°52'03"E
C10	148.32'	560.00'	15°10'31"	74.60'	147.89'	N04°55'46"E
C11	132.08'	500.00'	15°08'05"	66.42'	131.69'	N04°54'33"E
C12	146.56'	230.00'	36°30'33"	75.86'	144.09'	N20°54'46"W
C13	108.33'	170.00'	36°30'33"	56.07'	106.50'	N20°54'46"W
C14	67.10'	170.00'	22°36'49"	33.99'	66.66'	N27°51'38"W
C15	90.78'	230.00'	22°36'49"	45.99'	90.19'	N27°51'38"W
C16	105.60'	230.00'	26°18'19"	53.75'	104.67'	N03°24'04"W
C17	78.05'	170.00'	26°18'19"	39.73'	77.37'	N03°24'04"W
C18	53.48'	470.00'	6°31'10"	26.77'	53.45'	N13°00'41"E
C19	163.35'	470.00'	19°54'50"	82.51'	162.53'	N03°53'59"E
C20	273.09'	530.00'	29°31'20"	139.65'	270.08'	N01°30'36"E
C21	95.52'	220.00'	24°52'35"	48.52'	94.77'	N00°48'47"W
C22	121.57'	280.00'	24°52'35"	61.76'	120.62'	N00°48'47"W
C23	143.84'	220.00'	37°27'41"	74.60'	141.29'	N30°21'21"E
C24	100.90'	280.00'	20°38'47"	51.00'	100.35'	N21°56'54"E
C25	230.14'	280.00'	47°05'32"	122.02'	223.71'	N25°32'26"E
C26	38.86'	95.00'	23°26'04"	19.70'	38.59'	N39°43'31"E
C27	138.69'	155.00'	51°15'54"	74.37'	134.11'	N26°17'29"E
C28	80.09'	4764.24'	0°57'47"	40.04'	80.08'	N51°26'33"E
C29	139.69'	220.00'	36°22'53"	72.29'	137.36'	N32°46'13"E
C30	180.15'	280.00'	36°51'47"	93.31'	177.06'	N33°00'40"E
C31	74.04'	530.00'	8°00'14"	37.08'	73.98'	N18°34'53"E
C32	173.18'	470.00'	21°06'40"	87.58'	172.20'	N33°08'20"E
C33	195.28'	530.00'	21°06'40"	98.76'	194.18'	N33°08'20"E
C34	6.30'	5.00'	72°11'32"	3.65'	5.89'	S79°47'26"W
C35	113.90'	155.00'	42°06'11"	59.66'	111.35'	N85°09'54"W
C36	69.81'	95.00'	42°06'11"	36.57'	68.25'	N85°09'54"W
C37	534.86'	530.00'	57°49'15"	292.70'	512.45'	N44°52'23"E
C38	474.31'	470.00'	57°49'15"	259.57'	454.44'	N44°52'23"E
C39	14.73'	16.00'	52°45'08"	7.93'	14.22'	N10°24'49"W
C40	18.82'	10.00'	107°48'28"	13.72'	16.16'	N10°12'34"W

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C41	99.40'	130.00'	43°48'34"	52.27'	97.00'	N04°56'51"E
C42	74.10'	70.00'	60°39'06"	40.95'	70.69'	N13°22'07"E
C43	66.01'	65.00'	58°10'58"	36.17'	63.21'	N12°08'03"E
C44	126.97'	125.00'	58°12'01"	69.57'	121.58'	N12°08'35"E
C45	122.38'	130.31'	53°48'41"	66.13'	117.94'	N14°14'04"E
C46	14.73'	16.00'	52°45'08"	7.93'	14.22'	N13°37'10"E
C47	298.41'	60.00'	284°57'52"	46.07'	73.08'	N77°30'48"E
C48	14.64'	16.00'	52°24'43"	7.88'	14.13'	N38°45'47"W
C49	24.25'	220.00'	6°18'56"	12.14'	24.24'	N48°11'22"E
C50	149.49'	60.00'	142°45'08"	178.04'	113.72'	N34°35'11"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C51	168.36'	181.38'	53°10'55"	90.79'	162.38'	N40°42'28"E
C52	187.97'	201.38'	53°28'46"	101.46'	181.22'	N39°57'51"E
C53	165.97'	558.85'	17°00'56"	83.60'	165.36'	N40°05'08"E
C54	159.54'	538.85'	16°57'51"	80.36'	158.96'	N39°58'52"E
C55	24.98'	21.00'	68°09'19"	14.21'	23.53'	N65°39'20"E
C56	329.86'	60.00'	314°59'33"	24.86'	45.93'	N57°45'47"W
C57	24.47'	21.00'	66°45'30"	13.84'	23.11'	N01°52'49"W

STREET NAME	STREET CL LENGTH LF
CIBOLO CLIFF RD	4461 LF
ZACCARIA PKWY	2087 LF



INDEX MAP DETAIL

SCALE: 1" = 400'

- LEGEND:**
- = POINT OF BEGINNING
 - = DRAINAGE EASEMENT
 - = UTILITY EASEMENT
 - = RIGHT-OF-WAY
 - = SLOPE EASEMENT
 - = ACCESS EASEMENT
 - = PAGE MATCH LINE
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 - = 100-YR FEMA FLOODPLAIN

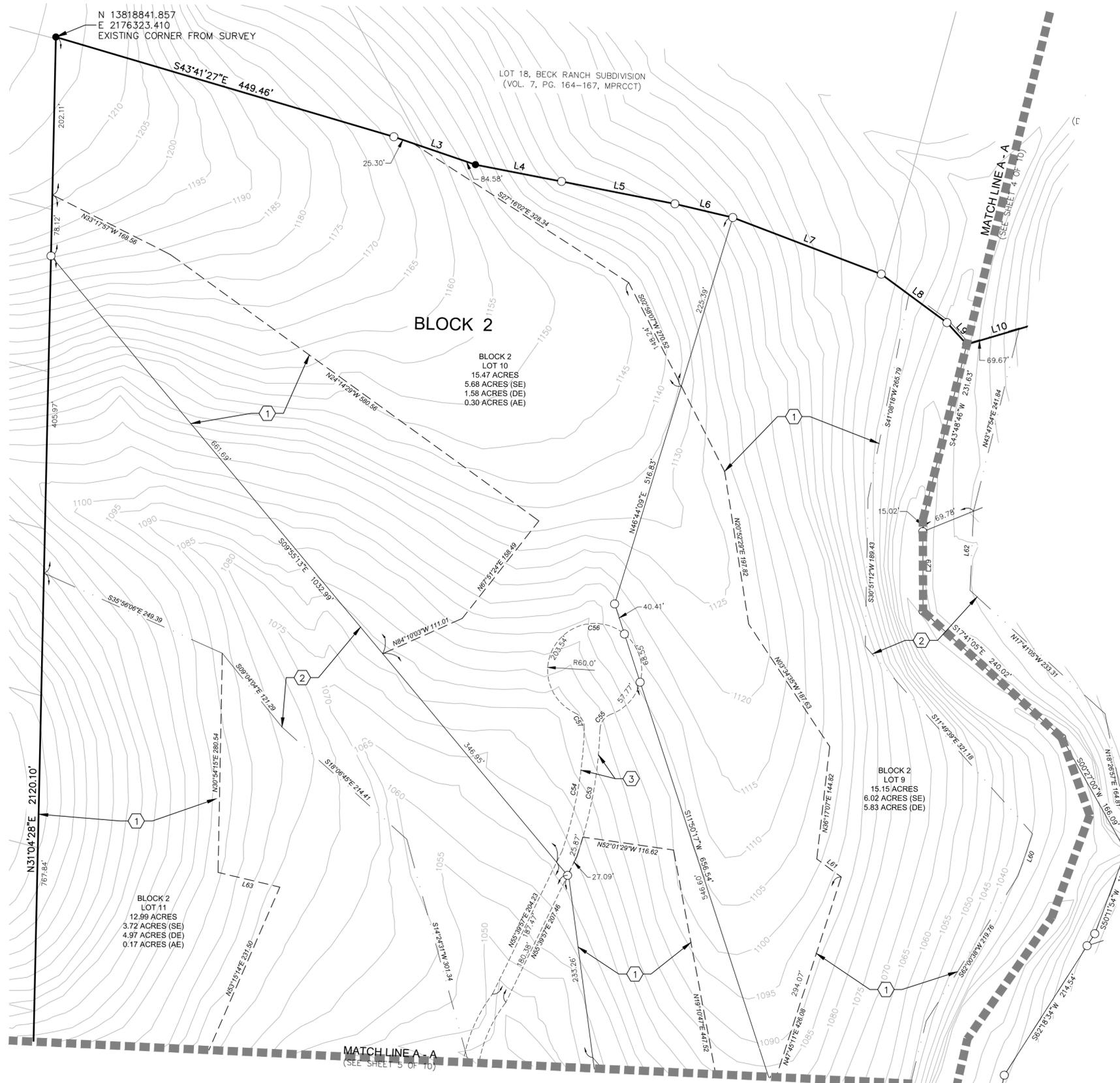
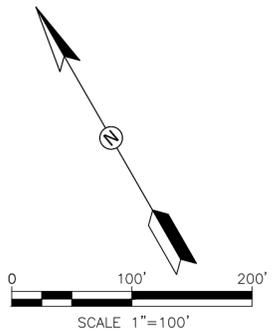
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Drawing Name: N:\Projects\ZACC001 - Cibolo Cliff Ranches\Planning\Platting\Cibolo Cliff Ranches Plat3.dwg User: BrittanyBéseret Dec 26, 2019 - 10:23am

SUBDIVISION PLAT ESTABLISHING CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OR LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.



- LEGEND:**
- P.O.B. = POINT OF BEGINNING
 - D.E. = DRAINAGE EASEMENT
 - U.E. = UTILITY EASEMENT
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 - · — · — = PROPERTY LOT LINE
 - - - - - = STREET CENTERLINE
 - - - - - = 100-YR WSEL
 - = 100-YR FEMA FLOODPLAIN

PLAT KEYNOTES	
ITEM	DESCRIPTION
①	VARIABLE WIDTH SLOPE EASEMENT
②	VARIABLE WIDTH DRAINAGE EASEMENT
③	20' ACCESS EASEMENT
④	100 YEAR FEMA FLOODPLAIN

BLOCK 2
LOT 11
12.99 ACRES
3.72 ACRES (SE)
4.97 ACRES (DE)
0.17 ACRES (AE)

BLOCK 2
LOT 10
15.47 ACRES
5.68 ACRES (SE)
1.58 ACRES (DE)
0.30 ACRES (AE)

BLOCK 2
LOT 9
15.15 ACRES
6.02 ACRES (SE)
5.83 ACRES (DE)

SKYRIDGE SUBDIVISION
(VOL. 8, PG. 77-78, MPRCCT)

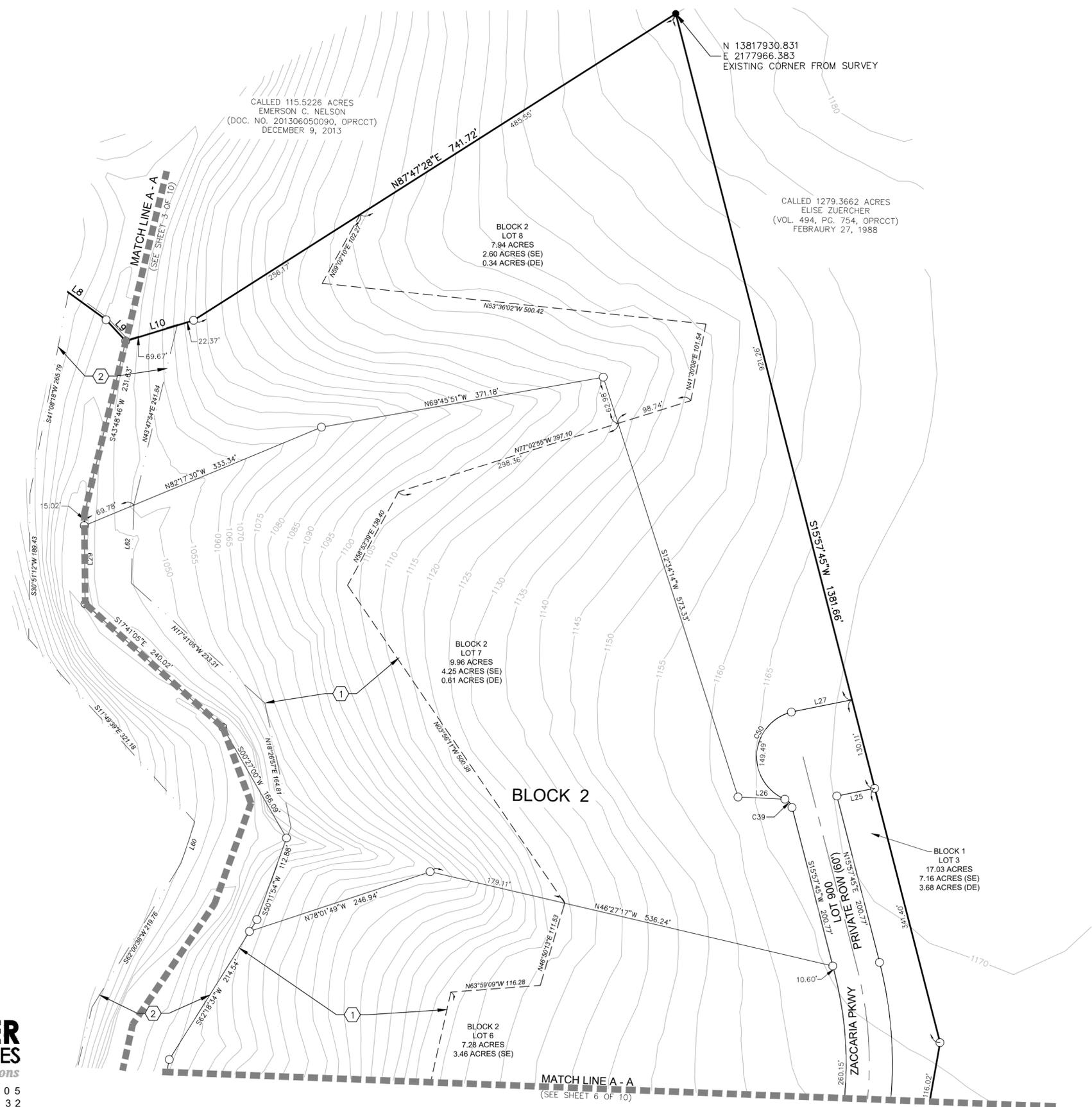
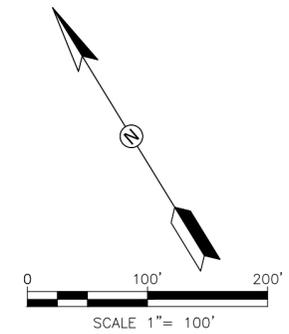
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Drawing Name: N:\Projects\Z46C001 - Cibolo Cliff Ranches\Planning\Cibolo Cliff Ranches Plat3.dwg User: BrittanyBessert Dec 26, 2019 - 10:23am

SUBDIVISION PLAT ESTABLISHING CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OF LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.



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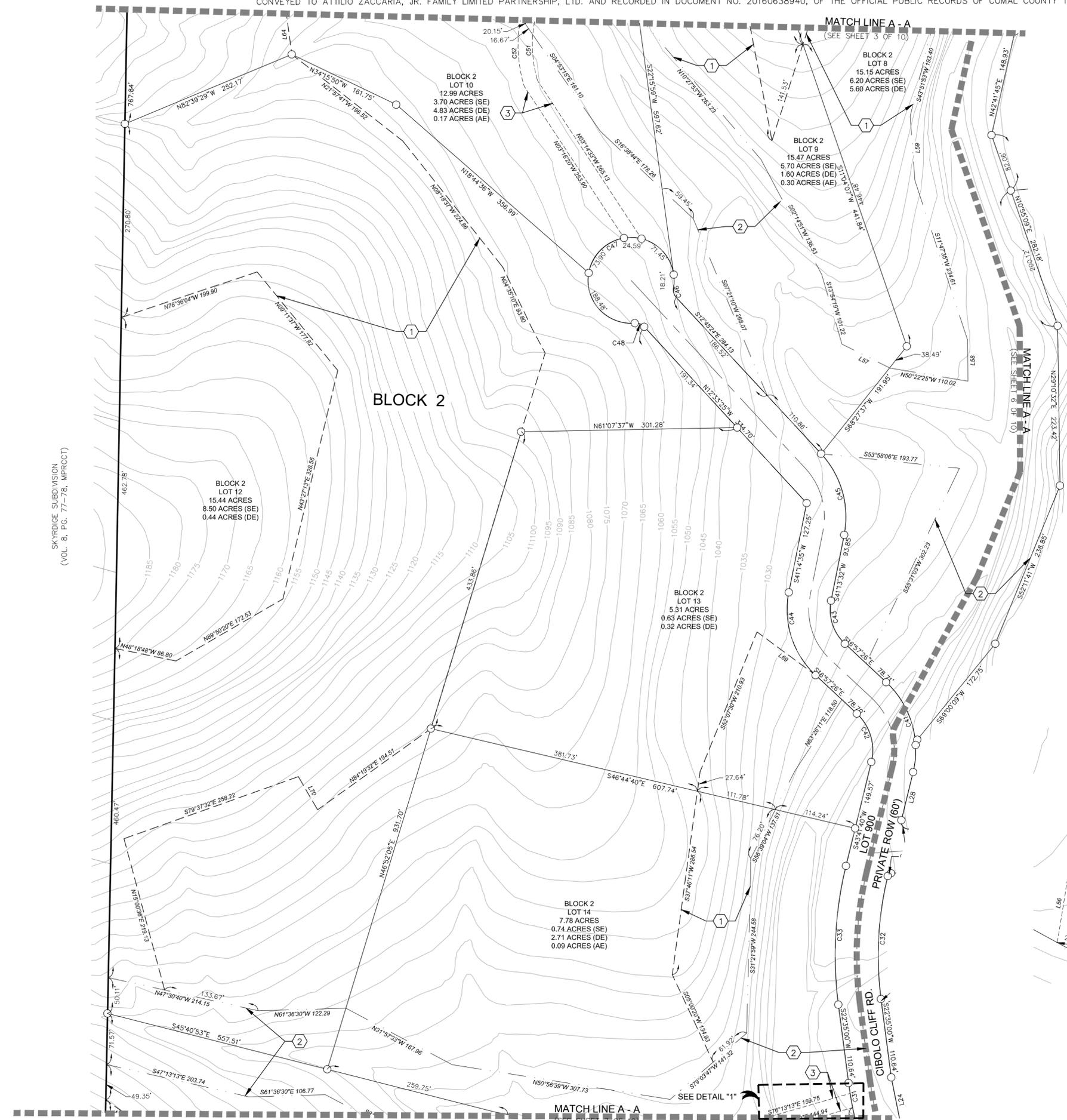
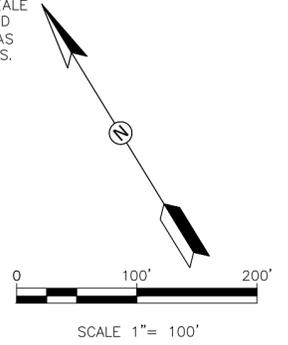
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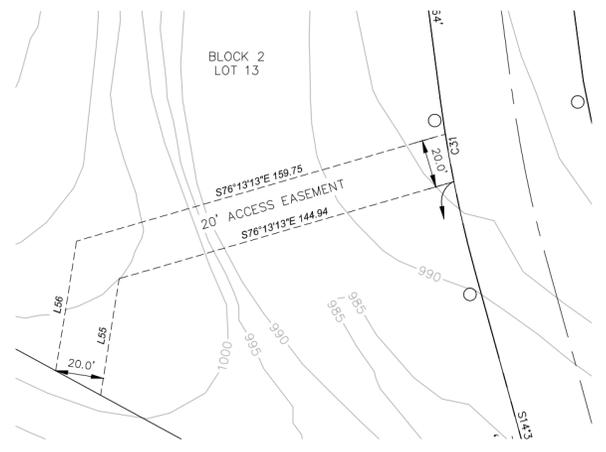
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DETAIL "1"
SCALE 1" = 50'

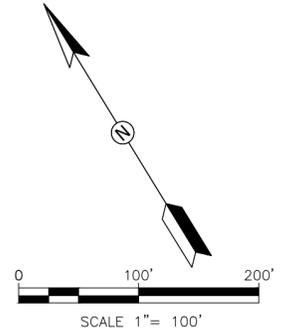
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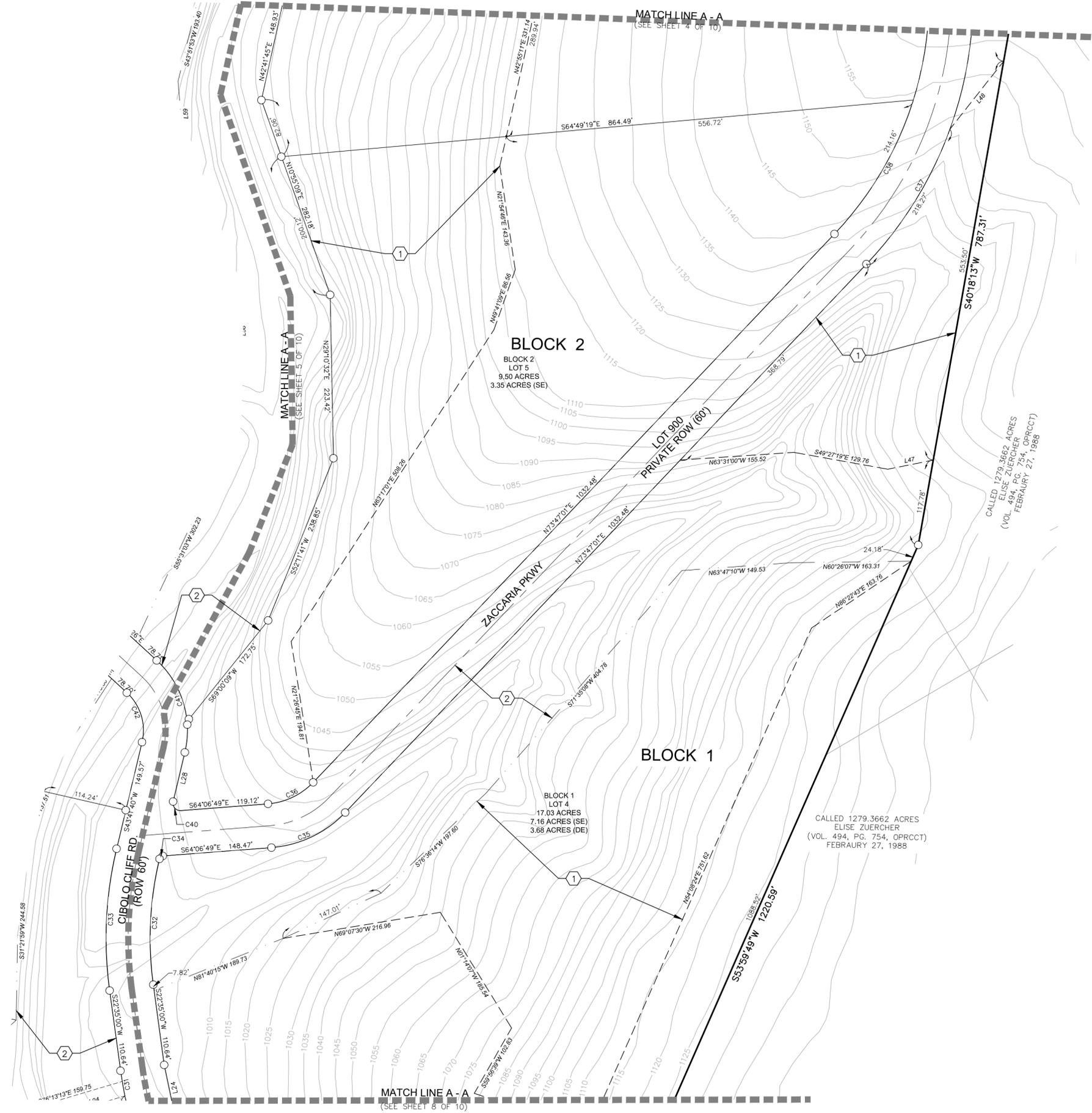
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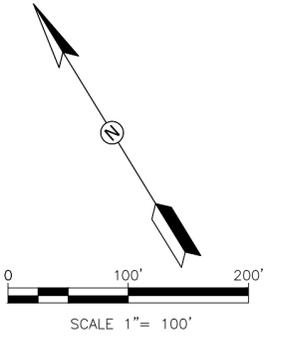
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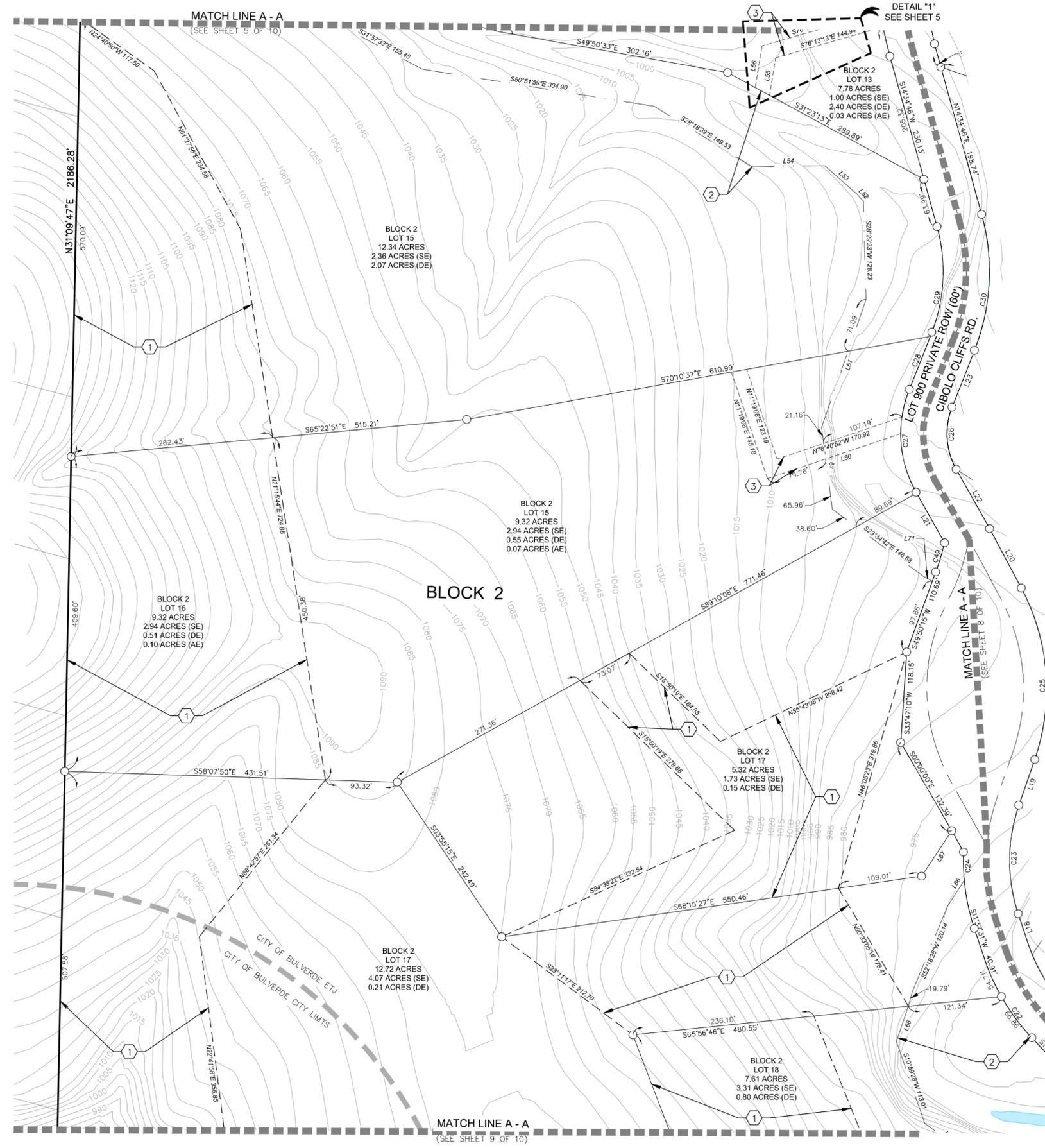
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SKYRIDGE SUBDIVISION
(VOL. 8, PG. 77-78, MPRCCT)

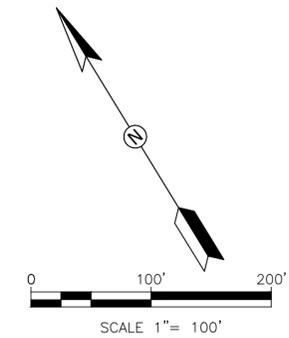
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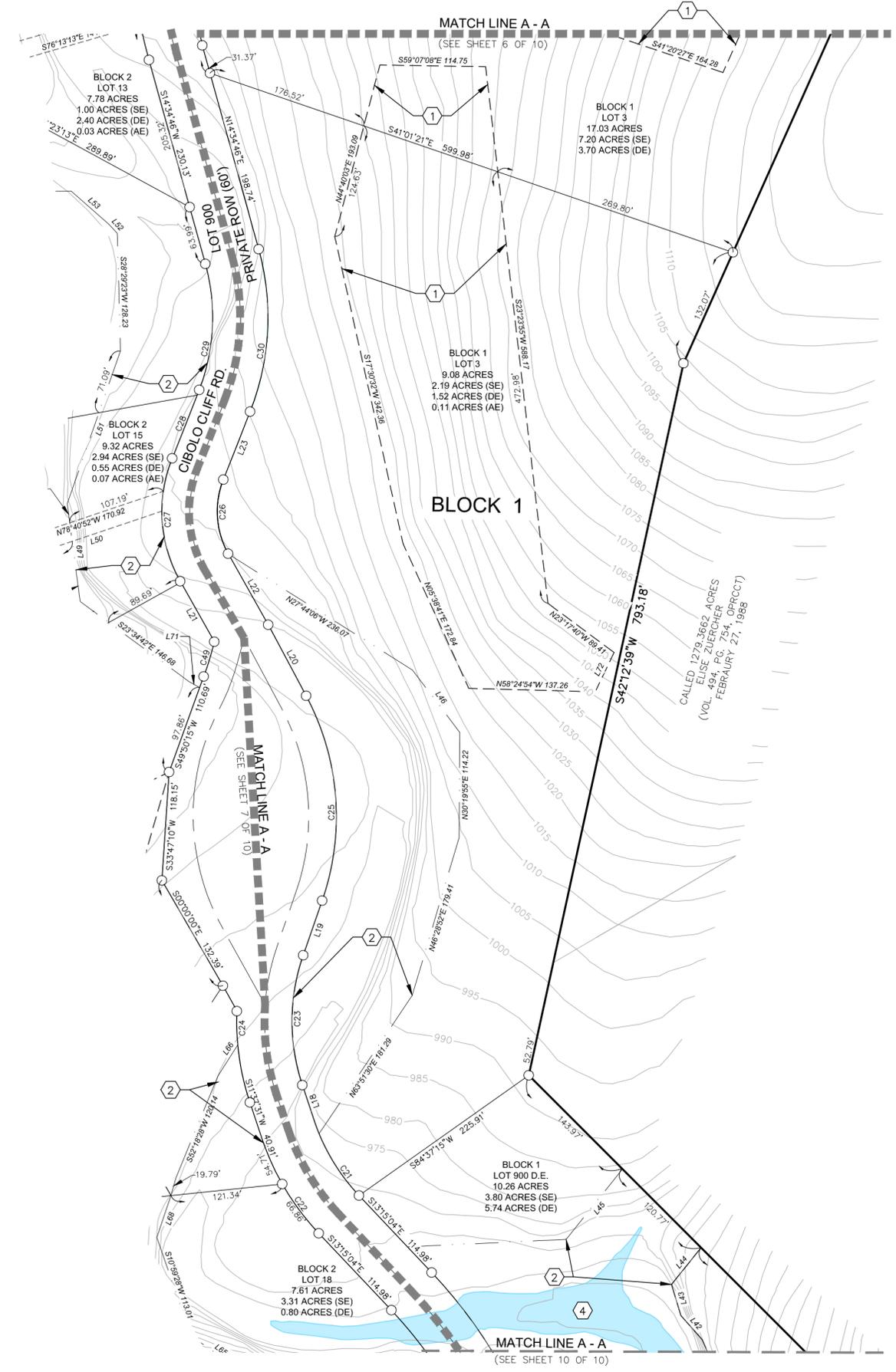
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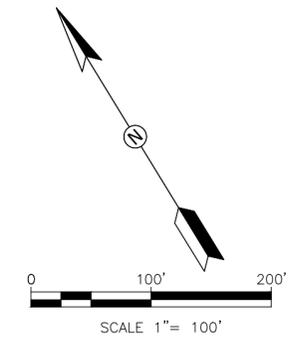
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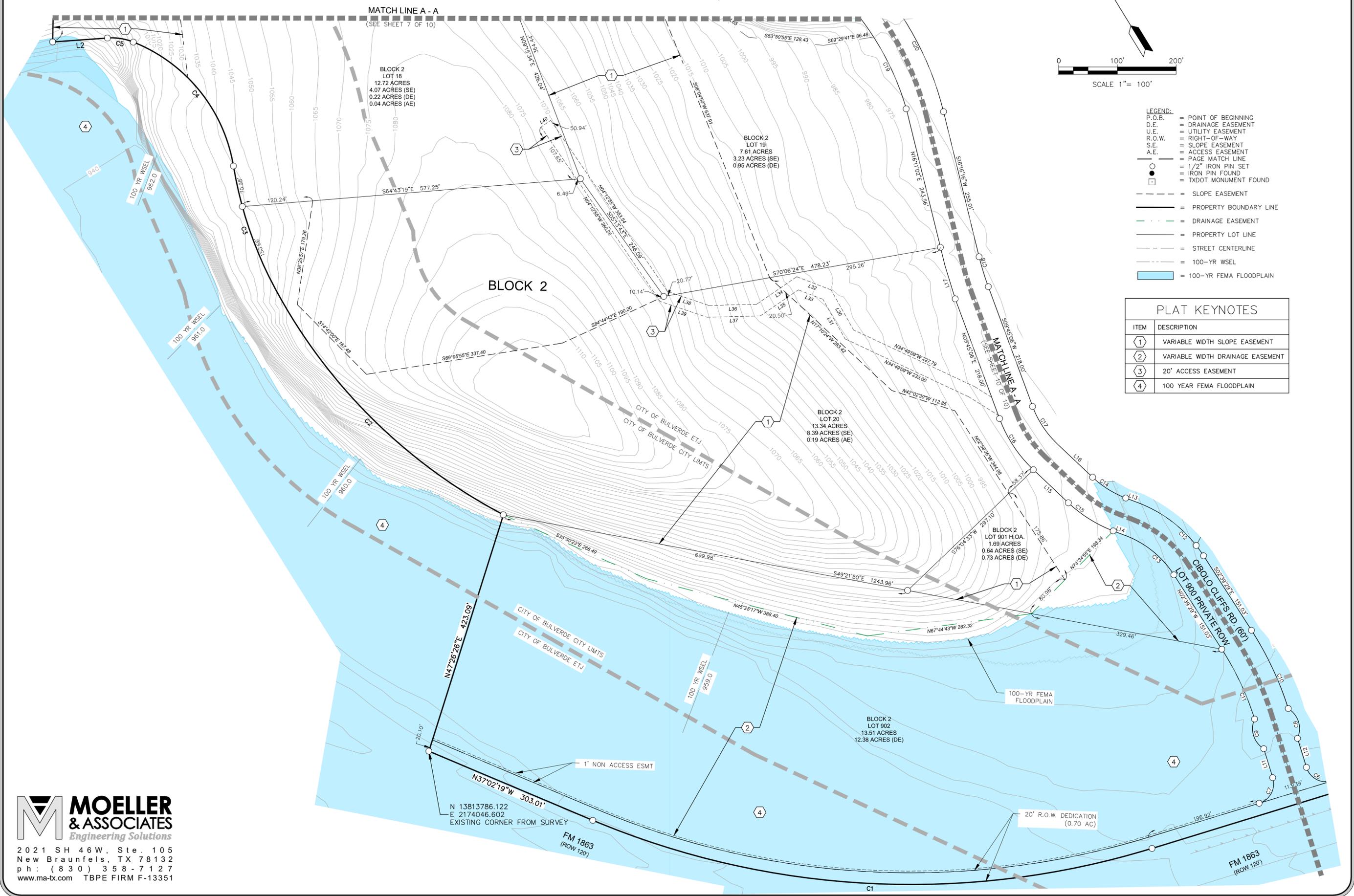
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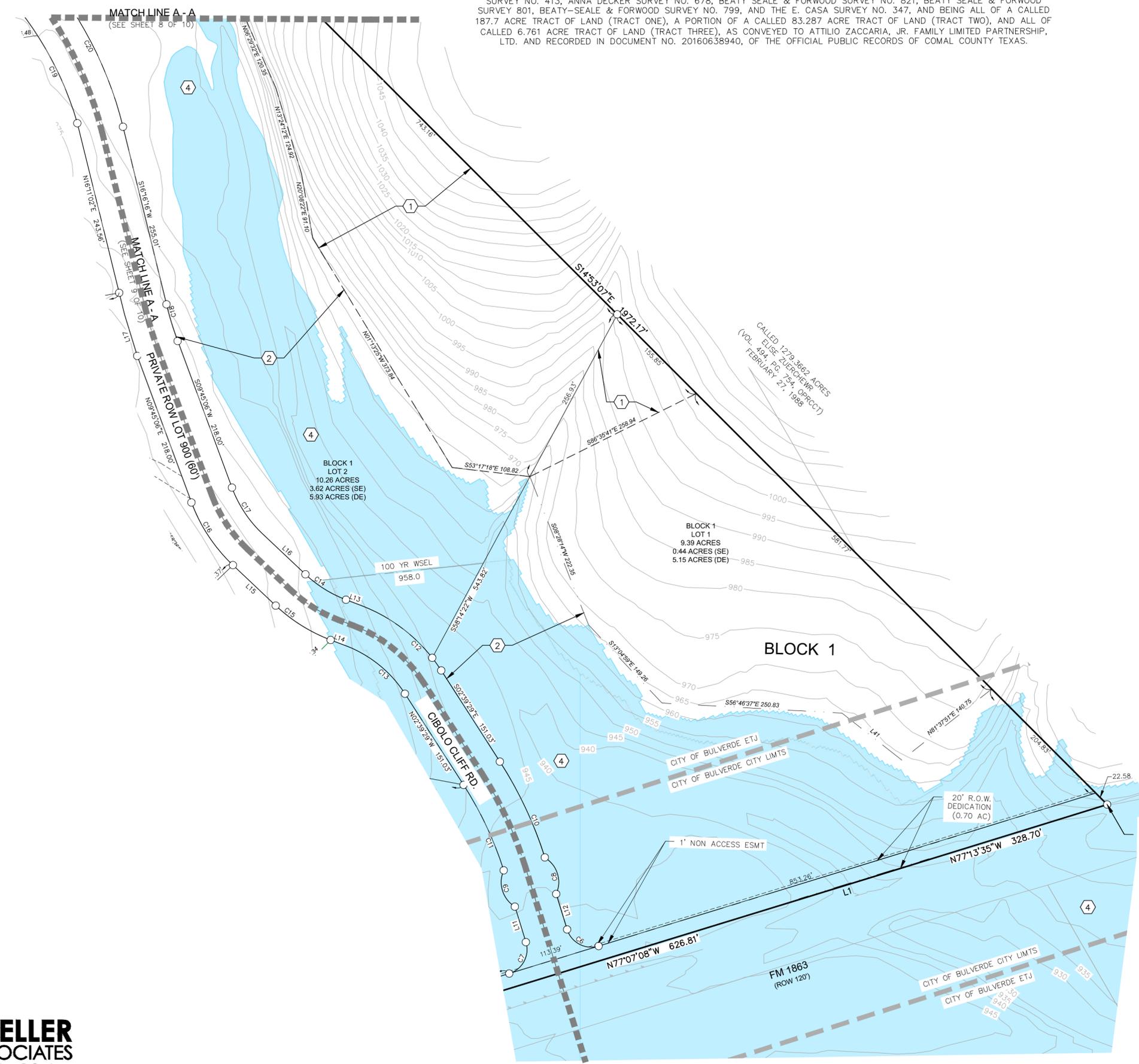
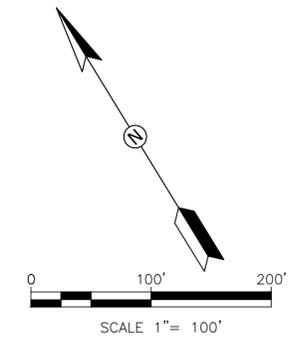
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BLOCK 1
LOT 2
10.26 ACRES
3.62 ACRES (SE)
5.93 ACRES (DE)

BLOCK 1
LOT 1
9.39 ACRES
0.44 ACRES (SE)
5.15 ACRES (DE)

BLOCK 1

POB
N 13812791.047
E 2176063.419
EXISTING CORNER FROM SURVEY

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REVIEW MEMORANDUM

TO: James Ingalls, P.E.
Moeller & Associates
2021 SH 46W, Ste. 105
New Braunfels, TX 78132
plats@ma-tx.com

FROM: Sam Edwards, PE, CFM
sedwards@halff.com

SUBJECT: Cibolo Cliff Ranches Subdivision
Preliminary Plat Review No.3

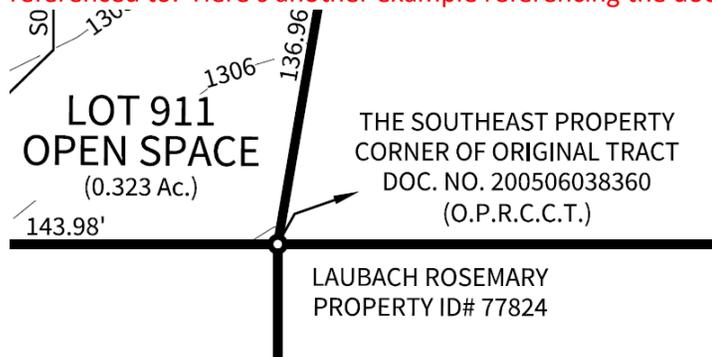
DATE: January 10, 2020

Halff Associates, on behalf of the City of Bulverde, has performed a review on the Cibolo Cliff Ranches Preliminary Plat, dated December 2, 2019 and supporting documents. The review was conducted relative to the requirements established in the current Subdivision Ordinance and Drainage Design Criteria Manual (DDCM, January 2019). The following items were reviewed, resolved items noted in blue and unresolved/new items note in red to be addressed by the applicant before resubmittal.

Plat specifications, Ordinance Section 1.05(b)

1. Plat scale must not exceed 1" = 100 feet. – comment resolved
2. Missing length of streets – comment resolved...table added Page 2.
3. Note 13 - revise to say "two feet" instead of one. "...must have a flood slab elevation...a minimum of ~~one foot~~ two feet above the 100-year water flow elevation..." – comment resolved
4. Note 4 & 12 – Lot 900 is open space/drainage easement but includes proposed roadway. Revise to show road ROW separate from drainage easement. – comment resolved...road ROW now shown.
5. Include block numbers for each lot (it's been noted a variance has been requested for block lengths). – Block numbers are noted, but not obvious where the boundaries are. Suggest including block number underneath each Lot #. - Block numbers have been revised, however, Lot numbers have also changed and are incorrect from sheet to sheet.
6. Include street names for all streets and roads. – comment resolved

7. Bearing and distance dimension from a corner of the subdivision to a corner of the original tract or original survey. 12/10 Comment: still missing. - **Corners are labeled "Existing Corner From Survey". Are these Original Tract Monuments? Please Label which Original Survey each is referenced to. Here's another example referencing the document #:**



8. A minimum of two corners of the subdivision referenced to State Plane Grid Coordinates. – [comment resolved](#)
9. Show city limits and limits of the City's ETJ on location map and plat (i.e. FM 1863) – Plat shows and labels City Limits on Sheets 9 & 10, shows City Limits on Sheet 7 but not labeled. Not shown on Location Map (Sheet 1), Shown but not labeled on Index Map (Sheet 2) – [comment resolved](#)
10. Contour lines showing existing elevations at a two-foot contour interval for slopes up to 10 percent and at a **five-foot contour interval for slopes greater than 10 percent** on the Preliminary Plat. Contour lines shall be gray-scaled to avoid confusion with the subdivision lot lines, right-of-way boundaries, etc. – Plat shows ten-foot contours, revise to include 5' contours. – [comment resolved](#)
11. 100-year Flood Zone water surface elevations at a minimum of a two-foot interval and minimum slab elevations for each lot with a portion of the 100-year Flood Zone on the lot. – 100-year Flood Zone is shown on Sheets 7, 8, 9, & 10. Its is not labeled on Sheets 7 & 8. – [comment resolved](#)
12. Locations, widths, names of existing streets, lots, easements, pipelines, fee strips, survey lines, building lines, watercourses, and other important features within and immediately adjacent to the subdivision. Use light dashed lines to indicate features not within the boundary of the subdivision. 12/10 Comment: Still need consistent labeling from sheet to sheet. Current line types and scales make it difficult to differentiate between Outer Boundaries, Interior Property Lines, Rights-of-Way, Match Lines, City Limits, etc. Also, need to show line types on legend. – **Labels are more consistent from sheet to sheet, however Lot numbers are incorrect between matchline sheets. Acreages for easements are also incorrect between matchline sheets.**
13. Label drawing as "Subdivision Plat", not "Preliminary Plat". – [comment resolved](#)
14. Provide acreage of all drainage easements within each lot. Keep in mind, fences will not be allowed within the drainage easements. All easements must be labeled with bearing and direction to a fixed location. 12/10 Comment: All easements (drainage, access, etc) need to provide acreage as well as bearing and distance for easement lines. – **Labels are more consistent from sheet to sheet, however Lot numbers are incorrect between matchline sheets. Acreages for easements are also incorrect between matchline sheets**
15. Label riparian buffer as 120 feet wide, not 60 feet. – Plat Legend indicates 60 feet, Legend has R.B shaded but it doesn't show shading on the plat sheets. As discussed during 11/27 meeting,

- riparian buffers don't need to be defined on plat, but drainage easements should encompass both riparian buffers & floodplains. – [comment resolved](#)
16. Plat all riparian buffers within a subdivision as common area lots established as non- buildable lots solely for the purpose of open space (Subdivision Code Section 4.07). – As discussed during 11/27 meeting, riparian buffers don't need to be defined on plat, but drainage easements should encompass both riparian buffers & floodplains. – [comment resolved](#)
17. Missing setback lines, legend, abbreviations and street ROW lines. – Setback lines are incorrect for low density lots (Subdivision Code Section 2.03). Front setback = 100', side setback = 40', rear setback = 50'. Show setback lines on plat in addition to typical exhibit. Legend is missing on Sheet 3. Lot 900 shows as a Private ROW Lot as well as Cibolo Cliffs Way ROW. The boundary lines indicate separate lots (Sheets 8 & 10). The Match Line and Boundary Line of the Lots/Cibolo Cliffs Way interfere with one another and are not correctly represented between sheets. – **Typical Setback Exhibit has been revised, however setbacks are not shown on platted lots. Please include setback lines so it is clear to property owners where they can place structures.**
18. 5+ acre lots shall have minimum frontage of 209 feet (Subdivision Code Section 2.03) – [comment resolved](#) – What is the purpose of the Access Easement through Lots 9 & 10, when both lots have frontage on Cibolo Cliffs Way? Reason for other Access Easements shown on Plat (Sheet 5, 7, & 9). – **Access easements at the platting/subdividing stage should not cut through lots. The applicant states that these easements have been added as alternative driveway paths between lots should residents find access off the street frontages too steep. This appears to have been done to minimize the length of public street access, but Halff believes the street and lot layout at the platting/development stage should account for access to such lots, so these additional "access easements" are not needed.**
- If the City approves of these additional access easements, no fencing or private gates will be allowed to cross the easements to allow access.**
19. Unnamed lot bounding Lot 13, 12, 11 and Lot 900. This appears to be a shared access lot will require construction of a street to the same standards as required for public streets. – [comment resolved](#)
20. Plat does not close. See attached closure check. Missing line segment end points.

Plat Supporting Documents, Ordinance Section 1.04(c)

21. Riparian Buffer Exhibit - A riparian buffer of 60 feet on either side of the centerline of any watercourse within the city limits and the ETJ that drains greater than 25 acres is hereby established. Buffer is required off area A5 & A8 – Appears to be shown on the Plat (not shaded as indicated on legend. Does not show on the Riparian Buffer Exhibit. As discussed during 11/27 meeting, riparian buffers don't need to be defined on plat, but drainage easements should encompass both riparian buffers & floodplains. – [comment resolved](#)
22. TIA appears reasonable and 20 residential lots should not adversely affect traffic on FM 1863–
[comment resolved](#)

23. Block length waiver appears reasonable...Halfff has no objection to this waiver from an engineering/platting standpoint. – [comment resolved](#)
24. Missing slope map prepared in accordance with Subdivision Code Section 4.04. – A Slope Map has been provided. Missing slope easements on plat per Subdivision Code Section 4.04(g). “Every area identified in the slope map as having a slope greater than 25% shall be dedicated as an easement in the plat as a “Slope Easement.” The plat shall contain the following note setting forth the terms of such Slope Easement...” – [comment resolved](#)

Drainage Report – Missing attachments in drainage report....could not verify revisions.

25. Site Location/Description: “...proposed development is located off of FM ~~1083~~ 1863...” – [comment resolved](#)
26. Hydrology - City of Bulverde Storm Drainage Design Criteria Manual is dated January 2019. Correct rainfall was used from 2019 manual/NOAA Atlas 14. – [comment resolved](#)
27. Hydraulics, bottom of page 3 – Looks like the sentence wasn’t completed for “Culverts acting as check dams will...” – [comment resolved](#)
28. Tc calculations – Sheet flow P2 = 4.12 inches, not 3.77 inches. 12/10 Comment: Missing attachments in drainage report....could not verify revisions. – [comment resolved](#)
29. Proposed CN shows 12.46 acres of more impervious cover. Please specify the assumptions and breakdown of this impervious cover. The proposed main roadway is estimated to cover 12 acres. Please base calculations on the largest anticipated impervious cover (i.e. 4,000 SF house + ___SF driveway, etc.). 12/10 Comment: Missing attachments in drainage report....could not verify revisions. – [Comment resolved...CN’s based on a pad size of 7,500 SF and driveway size of 7,500 SF. Street lengths included in CN calculations.](#)
30. The report shows an increase in runoff at FM 1863. Detention facilities shall be designed to limit the runoff from the site to predevelopment rates for the full range of potential storms including the 2-year, 5-year, 10-year, 25-year, and 100-year events (DDCM Section 7). Please include this detention in your analysis. - Drainage easements will need to contain 100-year backwater for detention. 12/10 Comment: Missing attachments in drainage report....could not verify revisions. – [Comment resolved...report updated with proposed detention at culvert crossings. Further analysis for all storm year events will be provided with permitted design.](#)
31. The way hydrology is calculated is a little unusual for the unit hydrograph method. Typically, time of concentration and Curve Numbers are calculated for each individual sub-basin and then routed through the main channel. What is shown is not technically wrong, just over simplified. This is probably why a Tc flowpath was not shown on the drainage area map for Area A5, A6, A7 and A8. 12/10 Comment: Missing attachments in drainage report....could not verify revisions. – [Comment resolved...methodology updated and makes more sense.](#)

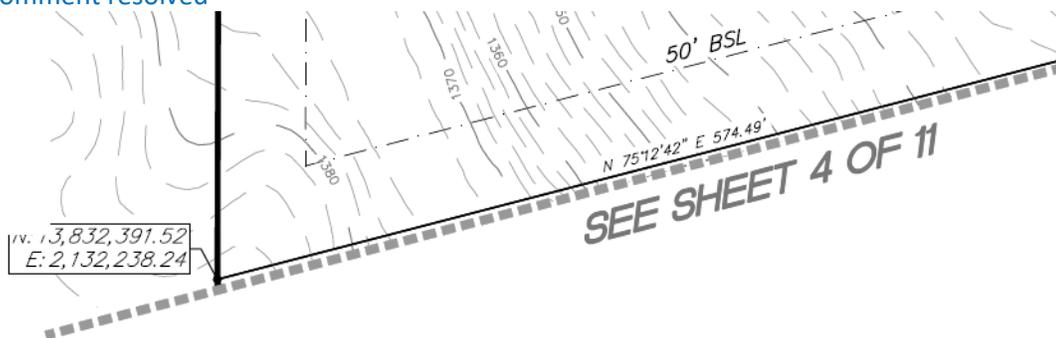
****Additional note for final plat submittal.** Part of the project is located within a regulatory floodplain and floodway. One of the conditions for approval at P&Z will be that the CLOMR must be approved by FEMA prior to final plat. City of Bulverde floodplain permit must also be completed with final plat submittal. ([Response not required at this time, but is only a reminder for future submittals](#))

City Staff Comments

32. Provide verification that third parties received preliminary plat information: electric, water, county, TXDOT, emergency services, etc. – [comment resolved](#)
33. Regarding the proposed block length variance, provide letter of concurrence from emergency services entity that states “the block length will not negatively impact their ability to provide service to this subdivision”. – Email Correspondence, No decision has been made – [comment resolved...email from Emergency Service District #5 received on 1/8/20 saying they have no objections to the proposed variance request for street stub out and block lengths.](#)
34. If the proposed subdivision is to be gated, consider providing emergency access in accordance with the 2015 International Fire Code 503.6. – Added an area for a turn-around however does not meet the minimum diameter for a Cul-de-Sac (Low and Medium Density, min. 120 feet diameter) (Subdivision Code Section 2.03) – **Cul-de-Sac(s) have been revised to 120 feet diameter, however the turn-around is still labeled as 40 feet radius (C8 and C9)**
35. Correct typo in legal description: “TRACT OR LAND” needs to be corrected to “TRACT OF LAND” – [comment resolved](#)

Additional Comments

36. Missing line segment end points.
37. Match lines are difficult to distinguish from outer boundary. – [comment resolved](#)
38. Show Lot 900 Road ROW width. – [comment resolved](#)
39. Cul-de-Sac(s) on Sheets 4 & 5 do not meet minimum diameter (Subdivision Code Section 2.03) – [comment resolved for Cul-de-Sac\(s\), Turn around still shows 40 feet radius](#)
40. Curve Table is incomplete. – [comment resolved](#)
41. The matchlines are cut along other boundary lines, making it difficult to distinguish between the two. Suggest using a dashed grey line slightly offset from the plat boundaries like this: – [comment resolved](#)



*Half Associates
Review 1/8/20*

January 2, 2020

Half Associates, Inc.
100 NE Loop, 410 Suite 200
San Antonio, TX 78216

RE: Cibolo Cliff Ranches Subdivision Preliminary Plat Review

This letter is in response to the letter received from Half Associates, Inc, as it pertains to the Cibolo Cliff Ranches Subdivision Preliminary Plat Review. The comments received are in italics and our responses are in bold.

Plat specifications, Ordinance Section 1.05(b)

1. *Comment Resolved*

2. *Comment Resolved*

3. *Comment Resolved*

4. *Comment Resolved*

5. *5. Include block numbers for each lot (it's been noted a variance has been requested for block lengths).*

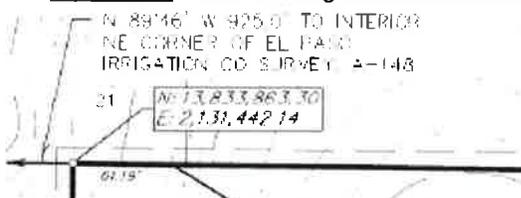
Review 2: – *Block numbers are noted, but not obvious where the boundaries are. Suggest including block number underneath each Lot #.*

Block numbers are now included in each lot label. Block numbers have been updated to match changes in geometry. *Lot #s are incorrect from sheet to sheet.*

6. *Comment Resolved*

7. *Bearing and distance dimension from a corner of the subdivision to a corner of the original tract or original survey.*

Review 2: – *still missing...here's an example:*



Corners are labelled "Existing Corner From Survey" Are these Original Tract Monuments? Please label which original survey.

These labels have been added. All labeled property corners match the existing survey and original tract and have no distance labeled.

8. *Comment Resolved*

9. *Show city limits and limits of the City's ETJ on location map and plat (i.e. FM 1863)*

Review 2: – *Plat shows and labels City Limits on Sheets 9 & 10, shows City Limits on Sheet 7 but not labeled. Not shown on Location Map (Sheet 1), Shown but not labeled on Index Map (Sheet 2)*

City limits are now shown on Location Map and Index Map. Sheets 7, 9, and 10 now labels City Limits.

10. Contour lines showing existing elevations at a two-foot contour interval for slopes up to 10 percent and at a **five-foot contour interval for slopes greater than 10 percent** on the Preliminary Plat. Contour lines shall be gray-scaled to avoid confusion with the subdivision lot lines, right-of-way boundaries, etc.

Review 2: – Plat shows ten-foot contours, revise to include 5' contours.

The plat now shows 5' contours.

11. 100-year Flood Zone water surface elevations at a minimum of a two-foot interval and minimum slab elevations for each lot with a portion of the 100-year Flood Zone on the lot.

Review 2: – 100-year Flood Zone is shown on Sheets 7, 8, 9, & 10. Its is not labeled on Sheets 7 & 8.

The Flood Zone is now labeled using key notes and shading on sheets 7 through 10.

12. Locations, widths, names of existing streets, lots, easements, pipelines, fee strips, survey lines, building lines, watercourses, and other important features within and immediately adjacent to the subdivision. Use light dashed lines to indicate features not within the boundary of the subdivision.

Review 2: – Still need consistent labeling from sheet to sheet. Current line types and scales make it difficult to differentiate between Outer Boundaries, Interior Property Lines, Rights-of-Way, Match Lines, City Limits, etc. Also, need to show line types on legend.

The legend has been updated to include line types for each easement, property boundary lines, match line and city limits.

Labels are more consistent, however lot #'s are incorrect between mature sheets, also Ac. change between sheets.

13. Comment Resolved

14. Provide acreage of all drainage easements within each lot. Keep in mind, fences will not be allowed within the drainage easements. All easements must be labeled with bearing and direction to a fixed location.

Review 2: – All easements (drainage, access, etc) need to provide acreage as well as bearing and distance for easement lines.

All easements: drainage, access, and slope now contain acreages per lot in each label.

15. Label riparian buffer as 120 feet wide, not 60 feet.

Review 2: – Plat Legend indicates 60 feet, Legend has R.B shaded but it doesn't show shading on the plat sheets. As discussed during 11/27 meeting, riparian buffers don't need to be defined on plat, but drainage easements should encompass both riparian buffers & floodplains.

The reference to the riparian buffer has been removed from the plat. The drainage easement encompasses both the riparian buffer and Flood Zone. Please refer to the updated riparian buffer.

16. Plat all riparian buffers within a subdivision as common area lots established as non-buildable lots solely for the purpose of open space (Subdivision Code Section 4.07).

Review 2: – As discussed during 11/27 meeting, riparian buffers don't need to be defined on plat, but drainage easements should encompass both riparian buffers & floodplains.

Per the 11/27 meeting the riparian buffers are now contained within drainage easements within the private lots. The drainage easement encompasses both

✓ the riparian buffer and Flood Zone. Please refer to the updated riparian buffer exhibit.

17. Missing setback lines, legend, abbreviations and street ROW lines.

Review 2: – Setback lines are incorrect for low density lots (Subdivision Code Section 2.03). Front setback = 100', side setback = 40', rear setback = 50'. Show setback lines on plat in addition to typical exhibit. Legend is missing on Sheet 3. Lot 900 shows as a Private ROW Lot as well as Cibolo Cliffs Way ROW. The boundary lines indicate separate lots (Sheets 8 & 10). The Match Line and Boundary Line of the Lots/Cibolo Cliffs Way interfere with one another and are not correctly represented between sheets.

The detail for the setbacks has been updated on Sheet 1 to match the Subdivision Code. Legends have been added to every page. The match lines and boundary lines have been updated to different line types. Match lines and viewports have been adjusted for more clarity.

18. 5+ acre lots shall have minimum frontage of 209 feet (Subdivision Code Section 2.03) – comment resolved

Review 2: – What is the purpose of the Access Easement through Lots 9 & 10, when both lots have frontage on Cibolo Cliffs Way? Reason for other Access Easements shown on Plat (Sheet 5, 7, & 9).

The access easements offer additional locations for more accessible drive paths between lots should residents find driveway locations off street frontages too steep.

*OK? No Fencing across access eas't w/o gates.
See Lot 19+20 - Access Eas't is located along P.L.*

19. Comment Resolved

20. Plat does not close. See attached closure check.

Review 2: Missing line segment end points.

Set pins and found pins are now included at end of line and arc segments.

Plat Supporting Documents, Ordinance Section 1.04(c)

✓ 21. Riparian Buffer Exhibit - A riparian buffer of 60 feet on either side of the centerline of any watercourse within the city limits and the ETJ that drains greater than 25 acres is hereby established. Buffer is required off area A5 & A8

Review 2: – Appears to be shown on the Plat (not shaded as indicated on Legend. Does not show on the Riparian Buffer Exhibit. As discussed during 11/27 meeting, riparian buffers don't need to be defined on plat, but drainage easements should encompass both riparian buffers & floodplains.



✓ The riparian exhibit has been updated to show these shaded regions. All reference, shading and buffer line work has been removed from the plat. Per the meeting on 11/27 the riparian buffer is contained within the drainage easements on each lot.

22. Comment Resolved

23. Comment Resolved

✓ 24. Missing slope map prepared in accordance with Subdivision Code Section 4.04.

Review 2: – A Slope Map has been provided. Missing slope easements on plat per Subdivision Code Section 4.04(g). “Every area identified in the slope map as having a slope greater than 25% shall be dedicated as an easement in the plat as a “Slope Easement.” The plat shall contain the following note setting forth the terms of such Slope Easement...”

✓ A slope easement and slope easement notes have been added to the plat.

Review 2: - Drainage Report – Missing attachments in drainage report....could not verify revisions.

25. Comment Resolved

26. Comment Resolved

27. Comment Resolved

28. Tc calculations – Sheet flow P2 = 4.12 inches, not 3.77 inches.

Review 2: – Missing attachments in drainage report....could not verify revisions.

Attachment now included in drainage report. Please see Attachment D for Hydrology.

29. Proposed CN shows 12.46 acres of more impervious cover. Please specify the assumptions and breakdown of this impervious cover. The proposed main roadway is estimated to cover 12 acres. Please base calculations on the largest anticipated impervious cover (i.e. 4,000 SF house + ___ SF driveway, etc.).

Review 2: – Missing attachments in drainage report....could not verify revisions.

Attachment now included in drainage report. Please see Attachment D for Hydrology and impervious cover calculations.

30. The report shows an increase in runoff at FM 1863. Detention facilities shall be designed to limit the runoff from the site to predevelopment rates for the full range of potential storms including the 2-year, 5-year, 10-year, 25-year, and 100-year events (DDCM Section 7). Please include this detention in your analysis.

Review 2: - Drainage easements will need to contain 100-year backwater for detention. Missing attachments in drainage report....could not verify revisions.

Attachment now included in drainage report. Please see riparian buffer exhibit and ponding exhibit for drainage easement limits.

31. The way hydrology is calculated is a little unusual for the unit hydrograph method. Typically, time of concentration and Curve Numbers are calculated for each individual sub-basin and then routed through the main channel. What is shown is not technically wrong, just over simplified. This is probably why a Tc flowpath was not shown on the drainage area map for Area A5, A6, A7 and A8.

Review 2: – Missing attachments in drainage report....could not verify revisions.

Attachment now included in the drainage report. Methodology has been updated. Time of concentrations are now shown for each area.

City Staff Comments

32. Comment Resolved

33. Regarding the proposed block length variance, provide letter of concurrence from emergency services entity that states "the block length will not negatively impact their ability to provide service to this subdivision".

Review 2: – Email Correspondence, No decision has been made

Emailed emergency services and TxDOT follow up correspondence.

Who was e-mail sent to?

34. If the proposed subdivision is to be gated, consider providing emergency access in accordance with the 2015 International Fire Code 503.6.

Review 2: – Added an area for a turn-around however does not meet the minimum diameter for a Cul-de-Sac (Low and Medium Density, min. 120 feet diameter) (Subdivision Code Section 2.03)

Cul-de-sacs have been updated to minimum 60' radius.

*Still only 40' radius
C8 + C9*

35. Comment Resolved

Review 2: Additional Comments

36. Missing line segment end points.

Updated set pins at line segment endpoints on ROW.

37. Match lines are difficult to distinguish from outer boundary.

Match lines have been updated.

38. Show Lot 900 Road ROW width.

Lot 900's Road ROW is 60'. This is now shown in the plat.

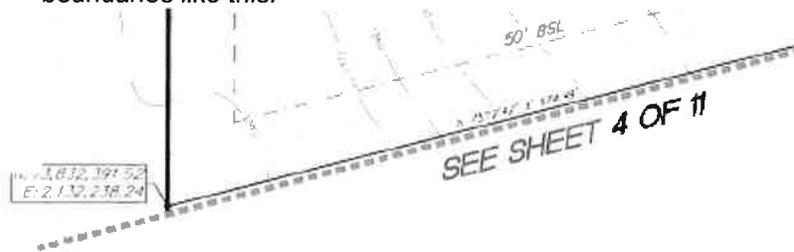
39. Cul-de-Sac(s) on Sheets 4 & 5 do not meet minimum diameter (Subdivision Code Section 2.03)

Cul-de-sacs have been updated.

40. Curve Table is incomplete.

Curve tables have been updated.

41. The matchlines are cut along other boundary lines, making it difficult to distinguish between the two. Suggest using a dashed grey line slightly offset from the plat boundaries like this:



Matchline style have been updated.

Please accept these comments and revisions for the referenced project. If you need additional information or have any questions, please do not hesitate to contact me

Sincerely,

James Ingalls, PE

SUBDIVISION PLAT ESTABLISHING

CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83,287 ACRE TRACT OF LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.

NOTES:

- ALL LOTS WITHIN THE SUBDIVISION WILL BE SERVED BY INDIVIDUAL ON-SITE SEWAGE SYSTEM FACILITIES AND PRIVATE WATER WELLS. THERE WILL BE NO GAS SERVICE PROVIDED.
- ALL STREETS ARE PROPOSED AS RURAL LOCAL TYPE FUNCTIONAL CLASSIFICATION WITH 60' FOOT RIGHT-OF-WAYS UNLESS NOTED OTHERWISE.
- NO SIDEWALKS ARE PROPOSED FOR THIS DEVELOPMENT AS THESE STREETS ARE PROPOSED TO BE RURAL-LOCAL STREETS, ONE-FAMILY LARGE LOT RESIDENTIAL (RURAL).
- LOT 900, BLOCK 1 IS A PRIVATE ROW AND IS A NON-BUILDABLE LOT. THE LOT IS TO BE USED FOR A PRIVATE STREET, DRAINAGE CONVEYANCE, UTILITY EASEMENT, AND OPEN SPACE. LOT 901, BLOCK 1 IS A PROPERTY OWNERS ASSOCIATION LOT. THIS LOT WILL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION, THEIR SUCCESSOR'S OR ASSIGNS, AND SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF BULVERDE OR COMAL COUNTY.
- THE SUBDIVISION IS WITHIN THE COMAL INDEPENDENT SCHOOL DISTRICT.
- ALL BEARINGS AND COORDINATES SHOWN HEREON ARE IN GRID BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS SOUTH CENTRAL ZONE (4204), NORTH AMERICAN DATUM 1983. DISTANCES SHOWN HEREON ARE SURFACE USING COMBINED SCALE FACTOR OF 1.00015.
- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION. MONUMENTS AND MARKERS WILL BE SET WITH 1/2" IRON PIN WITH PLASTIC CAP STAMPED "DAM #5348 PROP. COR." IMMEDIATELY AFTER COMPLETION OF UTILITY INSTALLATION AND STREET CONSTRUCTION UNLESS NOTED OTHERWISE.
- CIBOLO CLIFF RANCHES FALLS WITHIN THE CITY LIMITS AND THE EXTRA TERRITORIAL JURISDICTION OF THE CITY OF BULVERDE.
- THE PROPOSED USE OF THE SUBDIVISION IS FOR SINGLE FAMILY RESIDENTIAL.
- CIBOLO CLIFF RANCHES, ESTABLISHING A TOTAL OF 22 LOTS, WITH 20 BEING BUILDABLE.
- THIS SUBDIVISION IS SUBJECT TO THE CITY OF BULVERDE PARK LAND AND DEDICATION ORDINANCE. THIS PLAT IS APPROVED FOR ONE (1) DWELLING UNIT PER BUILDABLE LOT WITH A MAXIMUM OF 19 LOTS WHERE FEES ARE DUE AT THE TIME OF RECORDATION. AT SUCH TIME THAT ADDITIONAL DWELLING UNITS ARE CONSTRUCTED THE OWNER OF THE LOT SHALL CONTACT THE CITY AND COMPLY WITH THE ORDINANCE FOR EACH NEW DWELLING UNIT.
- NO STRUCTURES, WALLS OR OTHER OBSTRUCTIONS OF ANY KIND SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING, FENCES, OR OTHER TYPE OF MODIFICATIONS WHICH ALTER THE CROSS SECTIONS OF THE DRAINAGE EASEMENTS OR DECREASES THE HYDRAULIC CAPACITY OF THE EASEMENT, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY ENGINEER. THE CITY OF BULVERDE AND COMAL COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT PROPERTY TO REMOVE ANY OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENTS AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
- THE ELEVATION OF THE LOWEST FLOOR SHALL BE AT LEAST 10 INCHES ABOVE THE FINISHED GRADE OF THE SURROUNDING GROUND, WHICH SHALL BE SLOPED IN A FASHION SO AS TO DIRECT STORMWATER AWAY FROM THE STRUCTURE. PROPERTIES ADJACENT TO STORMWATER CONVEYANCE STRUCTURES MUST HAVE A FLOOR SLAB ELEVATION OR BOTTOM OF FLOOR JOISTS A MINIMUM OF TWO FEET ABOVE THE 100-YEAR WATER FLOW ELEVATION IN THE STRUCTURE. DRIVEWAYS SERVING HOUSES ON THE DOWNHILL SIDE OF THE STREET SHALL HAVE A PROPERLY SIZED CROSS SWALE PREVENTING RUNOFF FROM ENTERING THE GARAGE AND SHALL PREVENT WATER FROM LEAVING THE STREET.
- MAINTENANCE OF DRAINAGE EASEMENT DESIGNATED WITHIN A LOT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS ASSOCIATION.
- THE SUBDIVISION IS LOCATED WITHIN THE EXISTING SPECIAL FLOOD HAZARD ZONE A, 100-YEAR FLOOD BOUNDARY, AS DEFINED BY THE COMAL COUNTY, TEXAS COMMUNITY PANEL NUMBER 4809100465, REVISED NOVEMBER 02, 2009 AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- ANY DRIVEWAY CONSTRUCTION ON COUNTY ROADS WITHIN THE UNINCORPORATED AREAS OF COMAL COUNTY MUST BE PERMITTED BY THE COMAL COUNTY ROAD DEPARTMENT.
- THIS PROPERTY IS WITHIN THE EDWARDS AQUIFER RECHARGE ZONE. PROPERTY OWNERS ARE REQUIRED TO FOLLOW THE APPROVED W.P.A.P. TEXAS EDWARDS AQUIFER PROGRAM FILE NO. _____ DATED _____.
- BUILDING SET BACK LINES SHALL BE IN ACCORDANCE WITH SUBDIVISION CODE SECTION 2.03 OF THE CITY OF BULVERDE CODE OF ORDINANCES.

TXDOT NOTES:

- FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
- OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY.
- MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY TXDOT'S, "ACCESS MANAGEMENT MANUAL". THE PROPERTY IS ELIGIBLE FOR MAXIMUM COMBINED TOTAL OF 1 (ONE) ACCESS POINT, BASED ON AN OVERALL PLATED HIGHWAY FRONTAGE OF APPROXIMATELY 2230.99 FEET. WHERE TOPOGRAPHY OR OTHER EXISTING CONDITIONS MAKE IT INAPPROPRIATE OR NOT FEASIBLE TO CONFORM TO THE CONNECTION SPACING INTERVALS, THE LOCATION OF REASONABLE ACCESS WILL BE DETERMINED WITH CONSIDERATION GIVEN TO TOPOGRAPHY, ESTABLISHED PROPERTY OWNERSHIPS, UNIQUE PHYSICAL LIMITATIONS, AND/OR PHYSICAL DESIGN CONSTRAINTS. THE SELECTED LOCATION SHOULD SERVE AS MANY PROPERTIES AND INTERESTS AS POSSIBLE TO REDUCE THE NEED FOR ADDITIONAL DIRECT ACCESS TO THE HIGHWAY. IN SELECTING LOCATIONS FOR FULL MOVEMENT INTERSECTIONS, PREFERENCE WILL BE GIVEN TO PUBLIC ROADWAYS THAT ARE ON LOCAL THOROUGHFARE PLANS.
- IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TXDOT, PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT-OF-WAY SHALL BE AS DIRECTED BY TXDOT.
- ANY TRAFFIC CONTROL MEASURE (LEFT TURN LANE, RIGHT TURN LANE, SIGNAL, ETC.) FOR ANY ACCESS FRONTING A STATE MAINTAINED ROADWAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

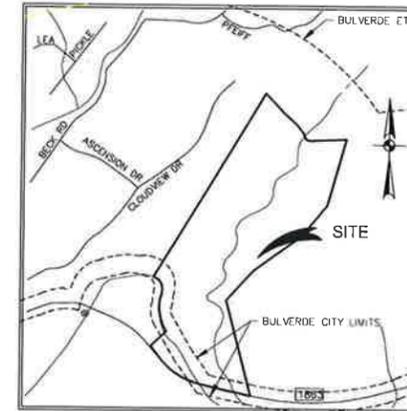
SLOPE:

FOR THE PURPOSE OF PRESERVING AREAS HAVING A SLOPE GREATER THAN 25%, THE EASEMENTS DESIGNATED ON THIS PLAT AS "SLOPE EASEMENT" ARE DEDICATED TO THE PUBLIC. WITHIN SUCH SLOPE EASEMENTS THE FOLLOWING ACTIVITIES ARE PROHIBITED:

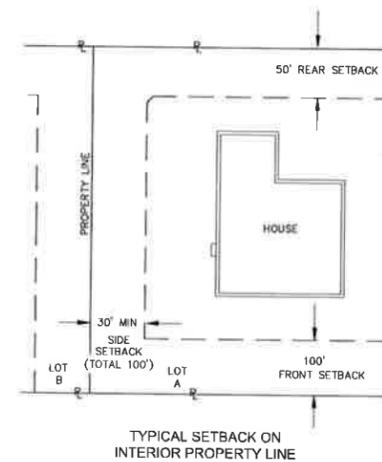
- (A) DEVELOPMENT;
 - (B) DISTURBANCE; AND
 - (C) THE REMOVAL OF PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES
- NOT WITHSTANDING THE FOREGOING, AND PROVIDED THAT NO PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES ARE REMOVED, THE FOLLOWING ACTIVITIES AND IMPROVEMENTS ARE PERMITTED:
- (A) ROADWAYS OR UTILITY CONSTRUCTION WHEN THE ROADWAY OR UTILITY IMPROVEMENTS ARE NECESSARY IN THE SLOPE AREA FOR A LAWFULLY CONSTRUCTED IMPROVEMENT OUTSIDE OF SUCH SLOPE AREA TO EXIST AND THERE IS NO PRACTICAL ALTERNATIVE TO CONSTRUCTION WITHIN SUCH SLOPE AREA.
 - (B) CANTILEVERING OF STRUCTURES OVER A STEEP SLOPE PROVIDED THAT SUCH CANTILEVERING WILL NOT ALTER NATURAL STORMWATER DRAINAGE OR JEOPARDIZE SLOPE STABILITY.
 - (C) RETAINING WALLS AND OTHER STRUCTURES THAT ARE NECESSARY FOR SLOPE STABILIZATION PROVIDED THE FOLLOWING CONDITIONS ARE MET:
 - 1) RETAINING WALLS SHALL NOT BE USED TO INCREASE TABLE LAND.
 - 2) BACKFILLING OF A RETAINING WALL IS PERFORMED ONLY A NECESSARY FOR SLOPE STABILIZATION.
 - (A) RECONSTRUCTION ON THE EXACT FOUNDATION OF A PREVIOUSLY EXISTING STRUCTURE.
 - (B) BRIDGES, WALKWAYS, STAIRS, AND FENCES PROVIDED THAT SUCH BRIDGES, WALKWAYS, STAIRS, AND FENCES WILL NOT ALTER NATURAL STORMWATER DRAINAGE OR JEOPARDIZE SLOPE STABILITY.
 - (F) REMOVAL OF TREES NOT DEFINED BY THE CODE OF ORDINANCES OF THE CITY OF BULVERDE, TEXAS AS PROTECTED, SPECIMEN, MAJESTIC, OR HISTORIC TREES.

THE SLOPE EASEMENTS DEDICATED HEREIN ARE ENFORCEABLE BY THE CITY OF BULVERDE BY ANY ACTION AT LAW OR IN EQUITY, TO OBTAIN INJUNCTIVE RELIEF. THE CITY OF BULVERDE SHALL ONLY BE REQUIRED TO SHOW VIOLATION OF THE TERMS OF THE SLOPE EASEMENTS DEDICATED HEREIN, AND A SHOWING OF IMMINENT HARM OR IRREPARABLE INJURY SHALL NOT BE REQUIRED.

ALL TERMS, PHRASES, AND WORDS IN THIS INSTRUMENT THAT ARE NOT OTHERWISE DEFINED HEREIN SHALL HAVE THAT MEANING ASSIGNED TO THEM BY THE CODE OF ORDINANCES OF THE CITY OF BULVERDE, TEXAS ON THE DATE THAT THIS PLAT IS RECORDED.



LOCATION MAP
SCALE: 1"=2,000'



APPROVED THIS THE _____ DAY OF _____ 20____ BY THE
PLANNING COMMISSION OF THE CITY OF BULVERDE, TEXAS.

CHAIRMAN

APPROVED FOR ACCEPTANCE

DATE

PLANNING DIRECTOR

DATE

CITY ENGINEER

STATE OF TEXAS
COUNTY OF COMAL

I, _____ DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS
FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOCUMENT NO. _____
OF COMAL COUNTY THE _____ DAY OF _____ 20____ AT _____ M.
WITNESS MY HAND AND OFFICIAL SEAL, THIS THE _____ DAY OF _____, A.D. 20____

COUNTY CLERK, COMAL COUNTY, TEXAS

DEPUTY

STATE OF TEXAS
COUNTY OF COMAL

KNOW ALL MEN BY THESE PRESENTS

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER:
A Z FAMILY, L.P.
C/O PHIL ZACCARIA
21260 GATHERING OAK, #106
SAN ANTONIO, TX 78260

STATE OF TEXAS
COUNTY OF COMAL

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____ 20____,

BY _____

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES: _____

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, DREW A. MAWYER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

DREW A. MAWYER
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5348
D.A. MAWYER LAND SURVEYING
5151 W. SH46
NEW BRAUNFELS, TEXAS 78132
PRM #0191500

- LEGEND:
- P.O.B. = POINT OF BEGINNING
 - D.E. = DRAINAGE EASEMENT
 - U.E. = UTILITY EASEMENT
 - R.O.W. = RIGHT-OF-WAY
 - S.E. = SLOPE EASEMENT
 - A.E. = ACCESS EASEMENT
 - — — — — = PAGE MATCH LINE
 - = 1/2" IRON PIN SET
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 - — — — — = PROPERTY BOUNDARY LINE
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 - = 100-YR FEMA FLOODPLAIN

MOELLER & ASSOCIATES
Engineering Solutions
2021 SH 46W, Ste 105
New Braunfels, TX 78132
ph: (830) 358-7127
www.ma-tx.com TBPE FIRM F-13351

SUBDIVISION PLAT ESTABLISHING CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY NO. 347, AND BEING ALL OF A CALLED 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED 83.287 ACRE TRACT OR LAND (TRACT TWO), AND ALL OF CALLED 6.761 ACRE TRACT OF LAND (TRACT THREE), AS CONVEYED TO ATTILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.

From around
needs to be
120' d

LINE	LENGTH	BEARING
L1	105.19'	N77°07'08"W
L2	93.47'	N64°02'17"W
L3	109.88'	S41°17'33"E
L4	111.90'	S49°02'23"E
L5	147.30'	S49°02'23"E
L6	75.89'	S46°47'44"E
L7	202.76'	S39°16'39"E
L8	104.12'	S23°38'19"E
L9	37.58'	S12°26'25"E
L10	92.02'	S76°42'43"E
L11	51.86'	N12°52'52"E
L12	51.92'	N12°52'52"E
L13	22.01'	N39°10'02"W
L14	22.01'	N39°10'02"W
L15	82.00'	N16°33'14"W
L16	82.00'	N16°33'14"W
L17	60.27'	N13°00'41"E
L18	40.91'	N11°37'31"E
L19	62.95'	N49°05'11"E
L20	87.46'	N01°59'40"E
L21	75.49'	N00°39'32"E
L22	88.02'	N00°39'32"E
L23	78.75'	N51°26'33"E
L24	65.60'	N18°34'53"E
L25	50.06'	N71°10'30"W
L26	60.82'	N56°55'11"W
L27	80.10'	N71°10'30"W
L28	69.16'	N43°41'40"E
L29	116.64'	N29°37'30"E

LINE	LENGTH	BEARING
L30	78.19'	N00°49'22"E
L31	77.39'	N00°49'22"E
L32	62.56'	N38°55'25"W
L33	44.79'	N38°55'25"W
L34	83.06'	N85°29'16"E
L35	78.46'	N85°29'16"E
L36	81.15'	N61°25'52"W
L37	80.83'	N81°25'52"W
L38	74.24'	N41°19'34"W
L39	84.50'	N41°19'34"W
L40	20.00'	N85°47'05"E
L41	105.78'	N21°48'17"W
L42	34.90'	N11°25'36"W
L43	35.36'	N13°21'16"E
L44	51.30'	N68°39'09"E
L45	98.03'	N68°39'09"E
L46	85.15'	N07°00'54"W
L47	63.10'	N71°09'52"W
L48	118.29'	N68°33'01"E
L49	107.51'	N22°34'23"E
L50	182.51'	N78°40'52"W
L51	175.76'	N49°07'46"E
L52	13.16'	N12°38'01"W
L53	54.97'	N18°36'29"W
L54	93.90'	N60°47'15"W
L55	49.25'	N39°06'36"E
L56	54.83'	N39°06'36"E
L57	75.05'	N33°31'50"W
L58	57.85'	N29°28'53"E
L59	89.95'	N25°45'28"E
L60	56.79'	N48°48'01"E
L61	38.74'	N23°35'13"W
L62	101.50'	N32°18'02"E
L63	81.00'	N46°45'03"W
L64	57.61'	N22°26'38"E
L65	71.45'	N24°32'12"W
L66	17.94'	N62°37'38"E
L67	76.92'	N63°30'56"E
L68	48.22'	N48°38'16"E
L69	101.58'	N23°30'27"W
L70	53.50'	N00°00'00"E
L71	13.47'	N30°54'12"W
L72	47.43'	N55°27'57"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C1	972.47'	1392.70'	40°00'27"	507.00'	952.83'	N57°08'55"W
C2	556.41'	934.10'	34°07'46"	286.74'	548.22'	N15°08'26"W
C3	221.64'	679.32'	18°41'37"	111.81'	220.66'	N11°16'16"E
C4	283.93'	276.38'	58°51'35"	155.92'	271.60'	N08°48'43"W
C5	45.02'	100.00'	25°47'46"	22.90'	44.64'	N51°08'24"W
C6	54.91'	35.00'	89°53'05"	34.93'	49.45'	N32°10'35"W
C7	54.98'	35.00'	90°00'00"	35.00'	49.50'	N57°52'52"E
C8	37.84'	40.00'	82°50'39"	35.29'	52.93'	N12°52'08"E
C9	57.85'	40.00'	82°47'30"	35.26'	52.90'	N12°52'03"E
C10	148.32'	560.00'	15°10'31"	74.60'	147.89'	N04°55'48"E
C11	132.08'	500.00'	15°08'05"	66.42'	131.89'	N04°54'33"E
C12	146.58'	230.00'	36°30'33"	75.86'	144.09'	N20°54'46"W
C13	108.33'	170.00'	36°30'33"	56.07'	106.50'	N20°54'46"W
C14	67.10'	170.00'	22°36'49"	33.99'	66.66'	N27°51'38"W
C15	90.78'	230.00'	22°36'49"	45.99'	90.19'	N27°51'38"W
C16	105.60'	230.00'	26°18'19"	53.75'	104.67'	N03°24'04"W
C17	78.05'	170.00'	26°18'19"	39.73'	77.37'	N03°24'04"W
C18	53.48'	470.00'	6°31'10"	26.77'	53.45'	N13°00'41"E
C19	163.35'	470.00'	19°54'50"	82.51'	162.53'	N03°53'59"E
C20	273.09'	530.00'	29°31'20"	139.65'	270.08'	N01°30'36"E
C21	95.52'	220.00'	24°52'35"	48.52'	94.77'	N00°48'47"W
C22	121.57'	280.00'	24°52'35"	61.76'	120.62'	N00°48'47"W
C23	143.84'	220.00'	37°27'41"	74.60'	141.28'	N30°21'21"E
C24	100.90'	280.00'	20°38'47"	51.00'	100.35'	N21°56'54"E
C25	230.14'	280.00'	47°05'32"	122.02'	223.71'	N25°32'26"E
C26	38.86'	95.00'	23°26'04"	19.70'	38.59'	N39°43'31"E
C27	138.69'	155.00'	51°15'54"	74.37'	134.11'	N26°17'29"E
C28	80.09'	4764.24'	0°57'47"	40.04'	80.08'	N51°28'33"E
C29	139.69'	220.00'	36°22'53"	72.29'	137.36'	N32°46'13"E
C30	180.15'	280.00'	36°51'47"	93.31'	177.06'	N33°00'40"E
C31	74.04'	530.00'	8°00'14"	37.08'	73.98'	N18°34'53"E
C32	173.18'	470.00'	21°06'40"	87.58'	172.20'	N33°08'20"E
C33	195.28'	530.00'	21°06'40"	98.76'	194.18'	N33°08'20"E
C34	6.30'	5.00'	72°11'32"	3.65'	5.89'	S79°47'26"W
C35	113.90'	155.00'	42°06'11"	59.66'	111.35'	N85°09'54"W
C36	69.81'	95.00'	42°06'11"	36.57'	68.25'	N85°09'54"W
C37	534.86'	530.00'	57°49'15"	292.70'	512.45'	N44°52'23"E
C38	474.31'	470.00'	57°49'15"	259.57'	454.44'	N44°52'23"E
C39	14.73'	16.00'	52°45'08"	7.93'	14.22'	N10°24'49"W
C40	18.82'	10.00'	107°48'28"	13.72'	16.16'	N101°2'34"W

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C41	99.40'	130.00'	43°48'34"	52.27'	97.00'	N04°56'51"E
C42	74.10'	70.00'	60°39'08"	40.95'	70.69'	N13°22'07"E
C43	66.01'	65.00'	58°10'58"	36.17'	63.21'	N12°08'03"E
C44	126.97'	125.00'	58°12'01"	69.57'	121.58'	N12°08'35"E
C45	122.38'	130.31'	53°48'41"	66.13'	117.94'	N14°14'04"E
C46	14.73'	16.00'	52°45'08"	7.93'	14.22'	N13°37'10"E
C47	298.41'	60.00'	284°57'52"	46.07'	73.08'	N77°30'46"E
C48	14.64'	16.00'	52°24'43"	7.88'	14.13'	N38°45'47"W
C49	24.25'	220.00'	6°18'56"	12.14'	24.24'	N48°11'22"E
C50	149.49'	60.00'	142°45'08"	178.04'	113.72'	N34°35'11"E

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD LENGTH	CHORD BEARING
C51	168.36'	181.38'	53°10'55"	90.79'	162.38'	N40°42'28"E
C52	187.97'	201.38'	53°28'46"	101.46'	181.22'	N38°57'51"E
C53	165.97'	558.85'	17°00'58"	83.60'	165.36'	N40°05'08"E
C54	159.54'	538.85'	16°57'51"	80.36'	158.96'	N39°58'52"E
C55	24.98'	21.00'	88°09'19"	14.21'	23.53'	N65°39'20"E
C56	329.86'	60.00'	314°59'33"	24.86'	45.93'	N57°45'47"W
C57	24.47'	21.00'	86°45'30"	13.84'	23.11'	N01°52'49"W

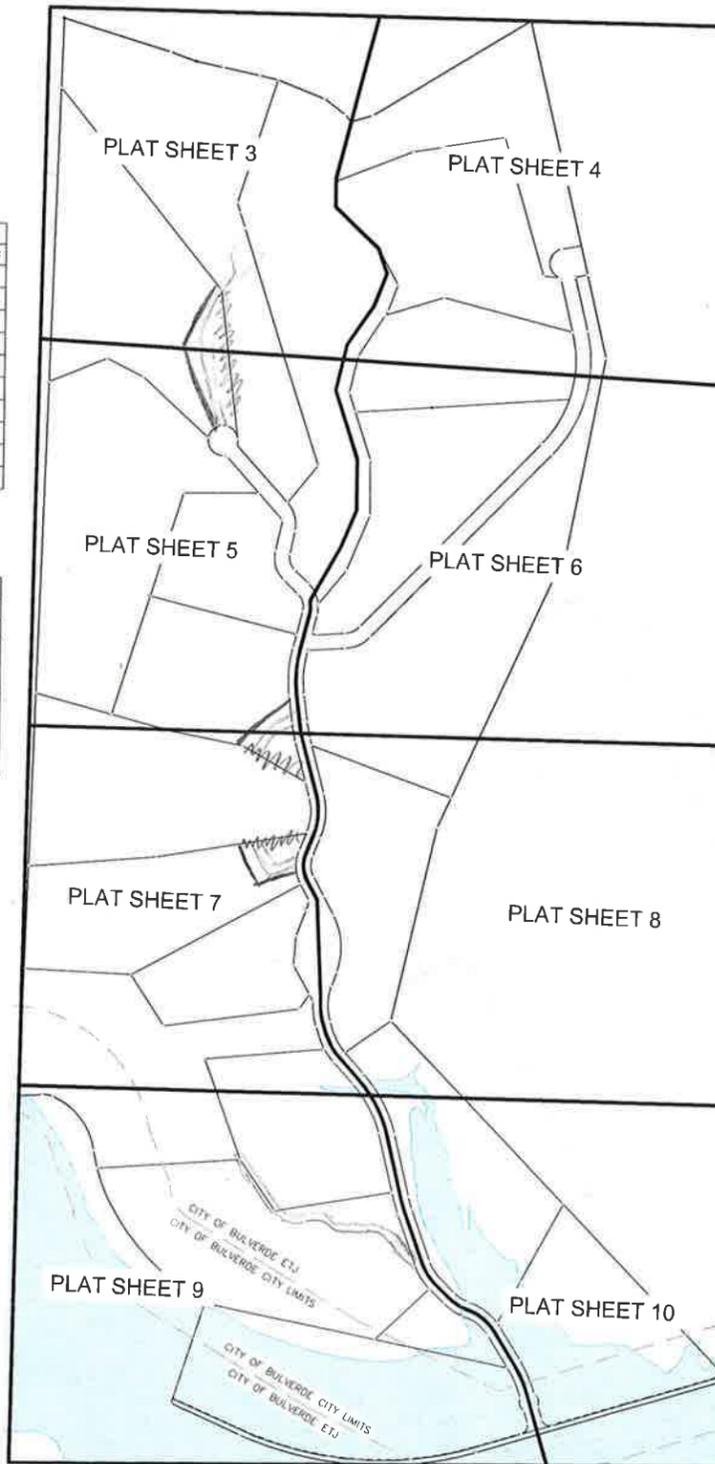
STREET NAME	STREET CL LENGTH LF
CIBOLO CLIFF RD	4461 LF
ZACCARIA PKWY	2087 LF

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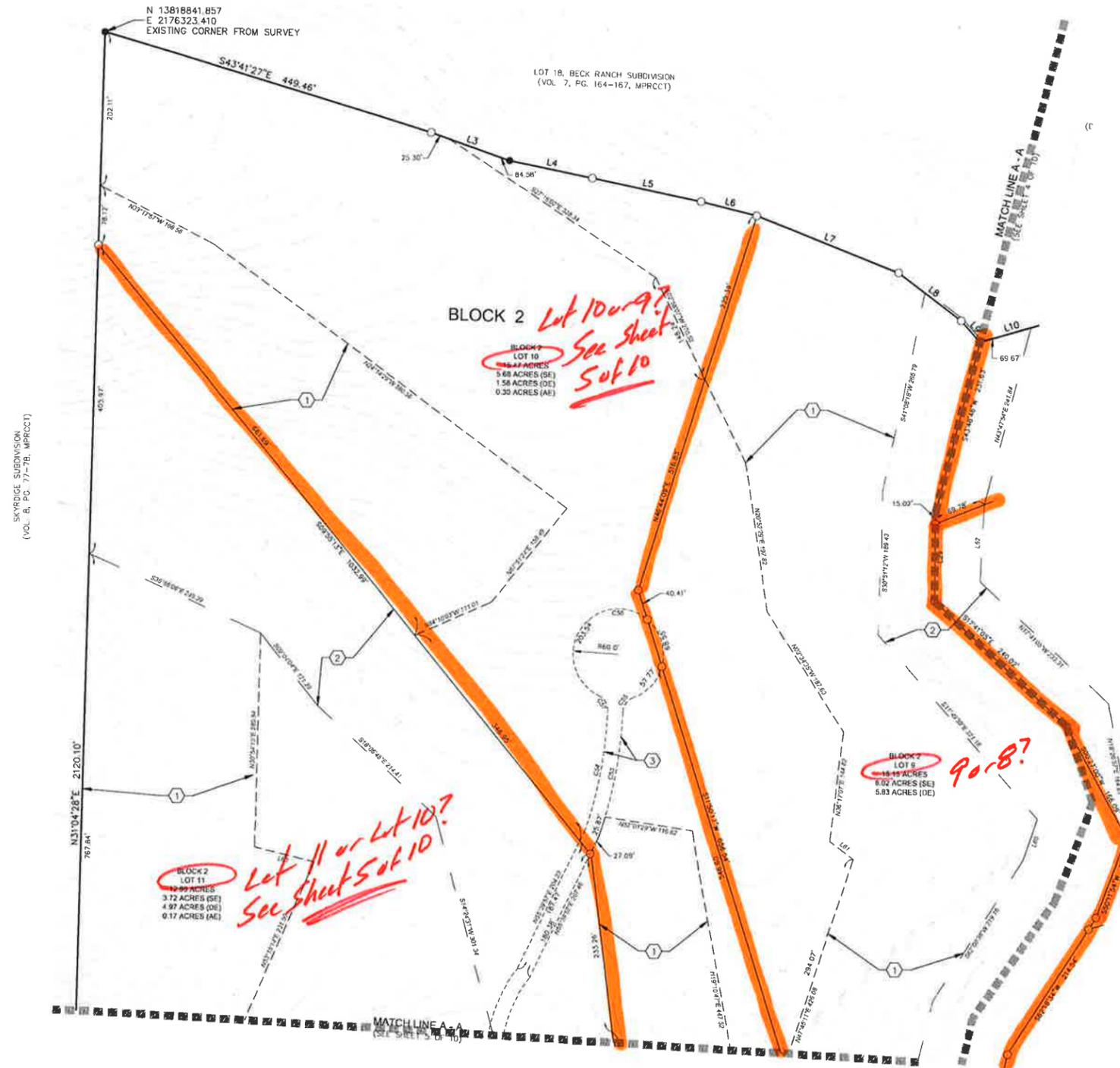
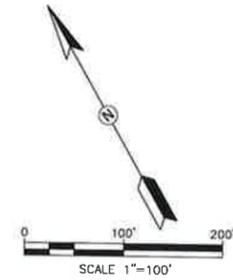
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INDEX MAP DETAIL
SCALE: 1" = 400'

SUBDIVISION PLAT ESTABLISHING
CIBOLO CLIFF RANCHES SUBDIVISION

BEING ALL OF 239.536 ACRE TRACT OF LAND SITUATED IN THE COMAL COUNTY, TEXAS, BEING OUT OF THE ALEJO MONTEZ SURVEY NO. 413, ANNA DECKER SURVEY NO. 678, BEATY SEALE & FORWOOD SURVEY NO. 821, BEATY SEALE & FORWOOD SURVEY NO. 801, BEATY-SEALE & FORWOOD SURVEY NO. 799, AND THE E. CASA SURVEY OF A CALLED 83.287 ACRE TRACT OR 187.7 ACRE TRACT OF LAND (TRACT ONE), A PORTION OF A CALLED TRACT THREE), AS CONVEYED TO ATILIO ZACCARIA, JR. FAMILY LIMITED PARTNERSHIP, LTD. AND RECORDED IN DOCUMENT NO. 20160638940, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY TEXAS.



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PLAT KEYNOTES	
ITEM	DESCRIPTION
①	VARIABLE WIDTH SLOPE EASEMENT
②	VARIABLE WIDTH DRAINAGE EASEMENT
③	20' ACCESS EASEMENT
④	100 YEAR FEMA FLOODPLAIN

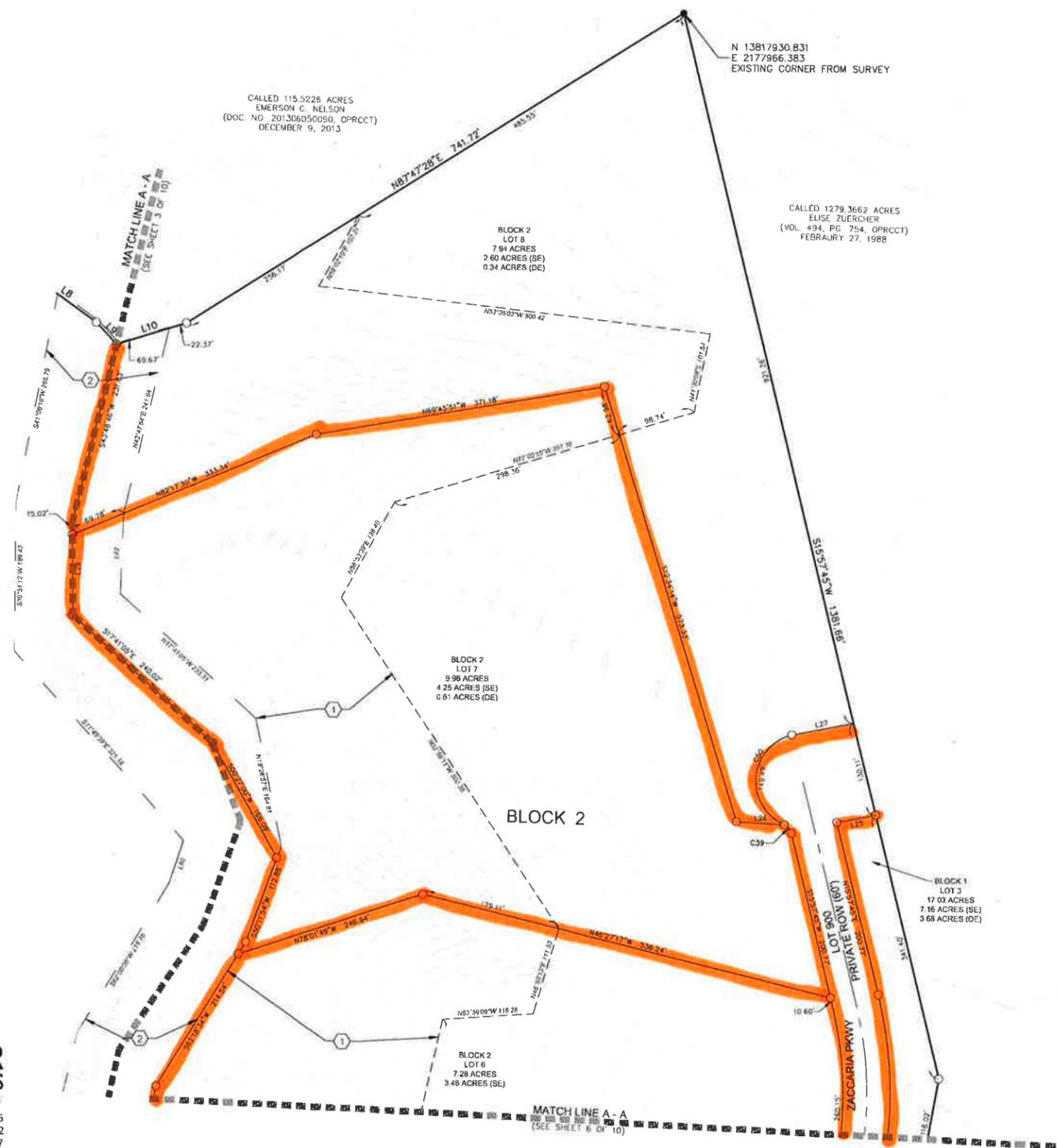
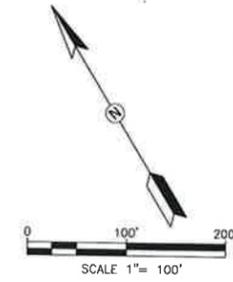
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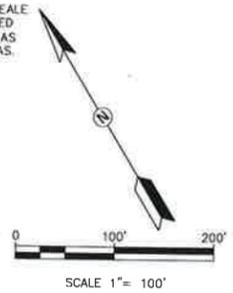
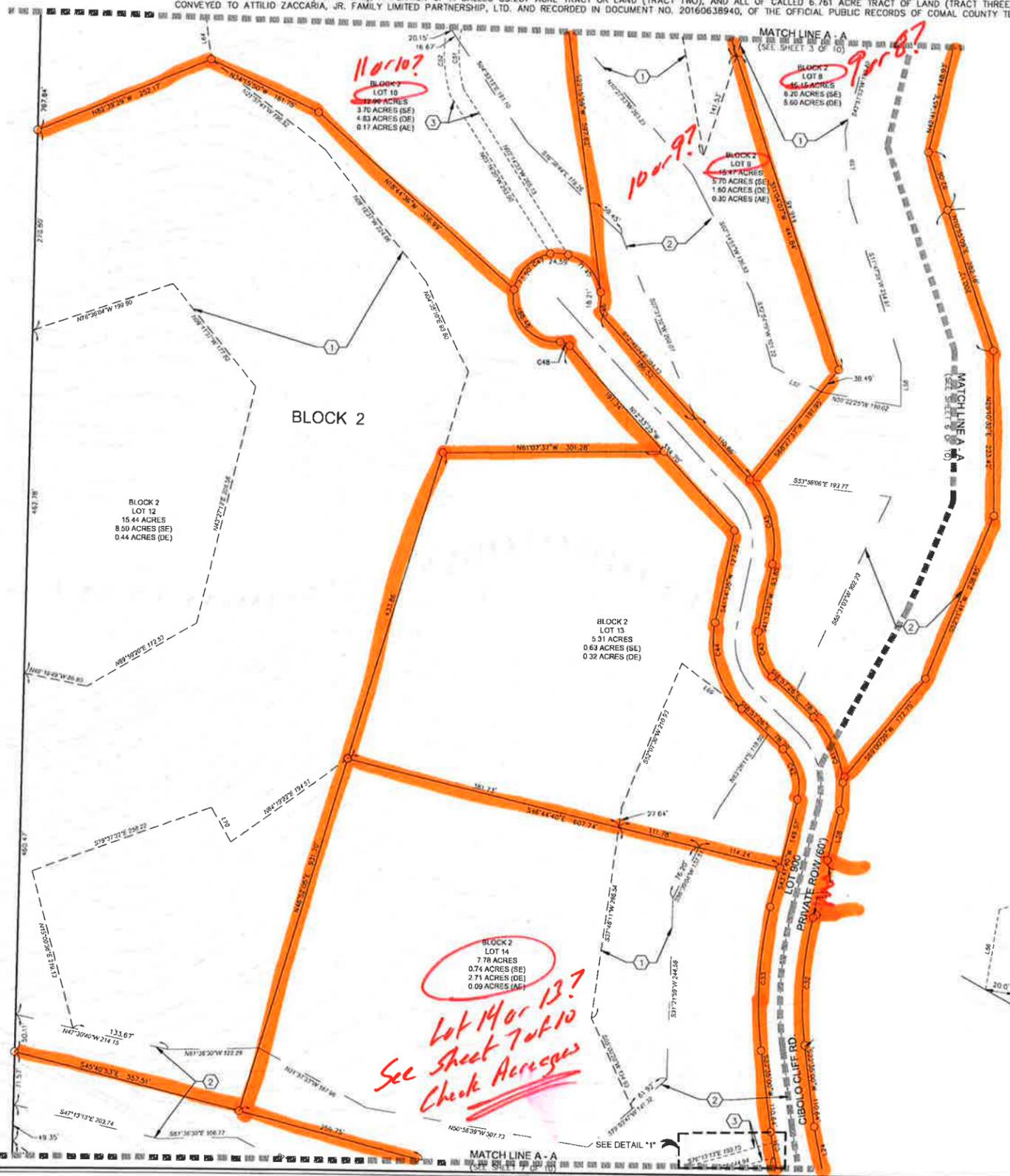
PLAT KEYNOTES	
ITEM	DESCRIPTION
①	VARIABLE WIDTH SLOPE EASEMENT
②	VARIABLE WIDTH DRAINAGE EASEMENT
③	20' ACCESS EASEMENT
④	100 YEAR FEMA FLOODPLAIN

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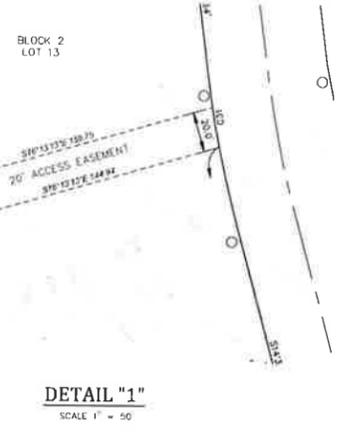
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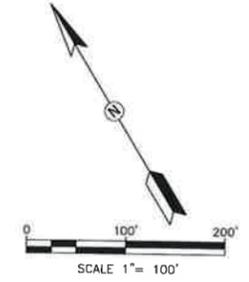


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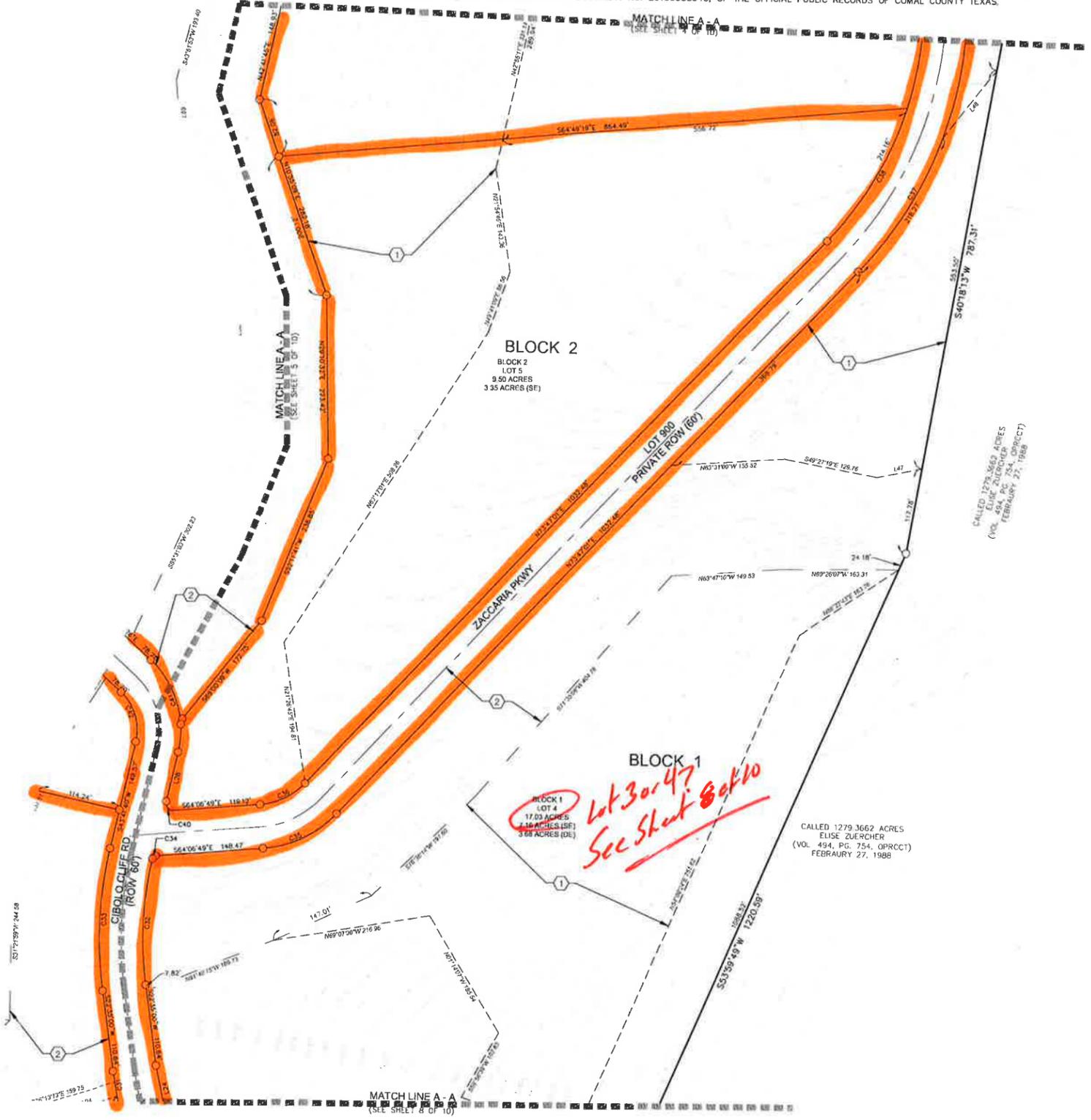
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 - - - = SLOPE EASEMENT
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 - = PROPERTY LOT LINE
 - - - = STREET CENTERLINE
 - = 100-YR WSEL
 - = 100-YR FEMA FLOODPLAIN

PLAT KEYNOTES	
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②	VARIABLE WIDTH DRAINAGE EASEMENT
③	20' ACCESS EASEMENT
④	100 YEAR FEMA FLOODPLAIN

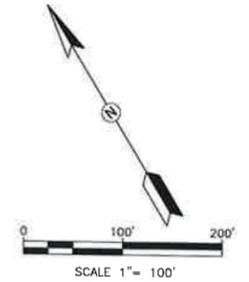


2021 SH 46W, Ste. 105
New Braunfels, TX 78132
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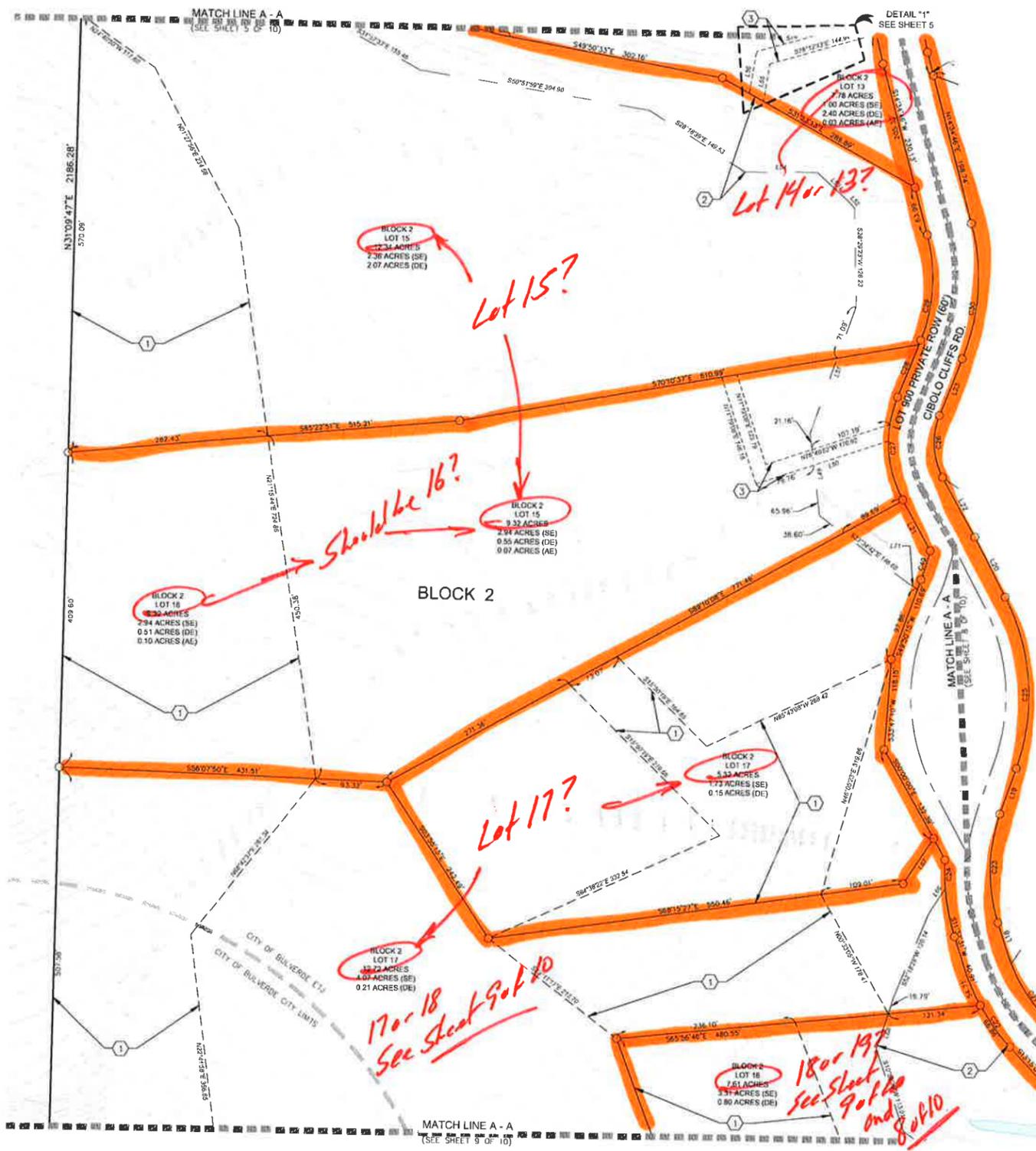
SUBDIVISION PLAT ESTABLISHING CIBOLO CLIFF RANCHES SUBDIVISION

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- LEGEND:**
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 - R.O.W. = RIGHT-OF-WAY
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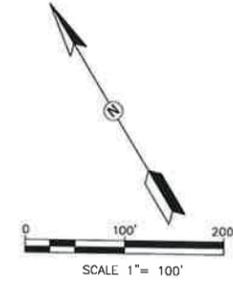
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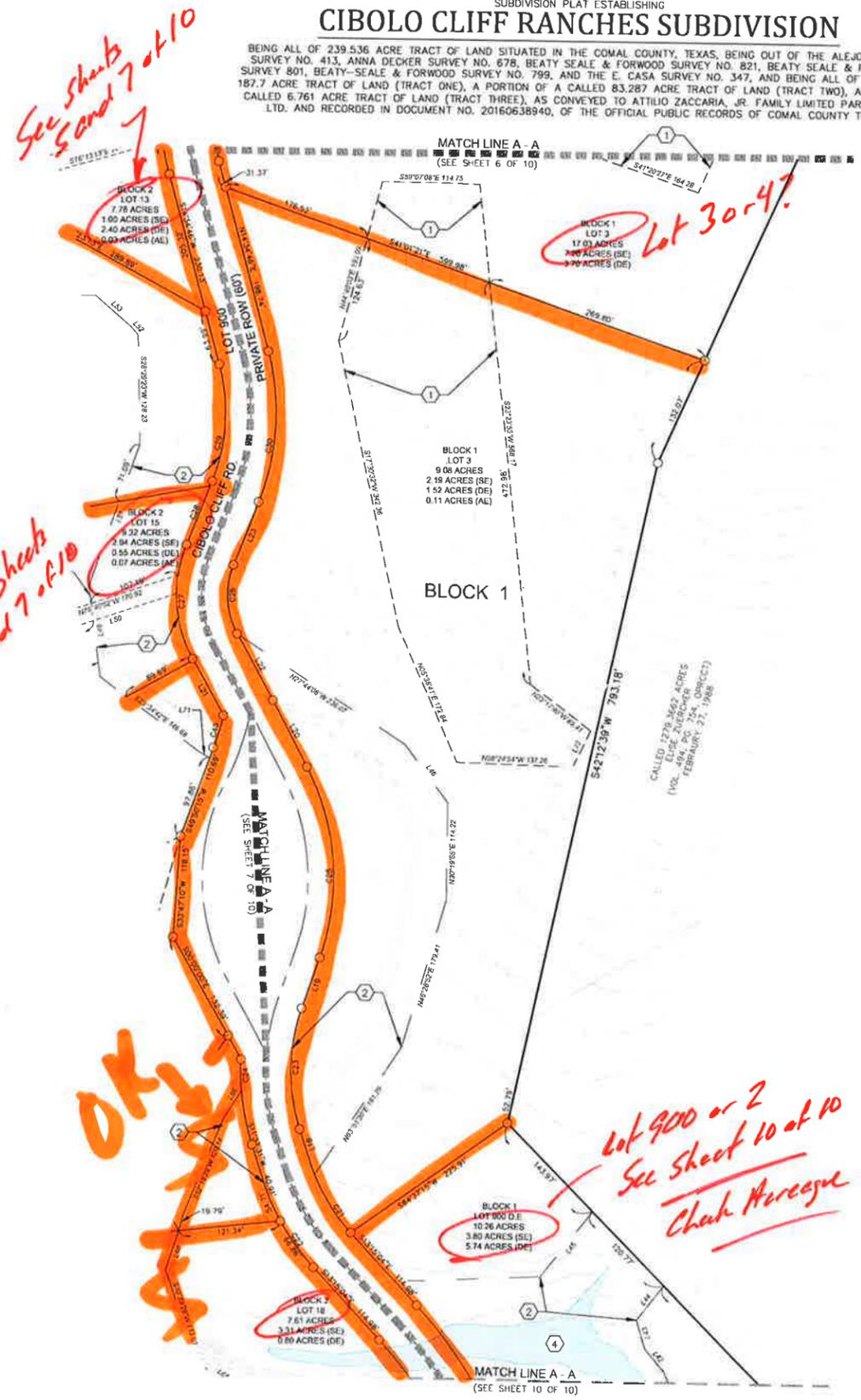
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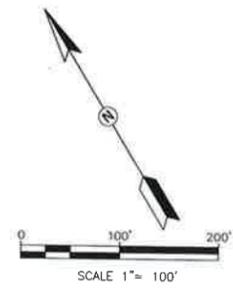
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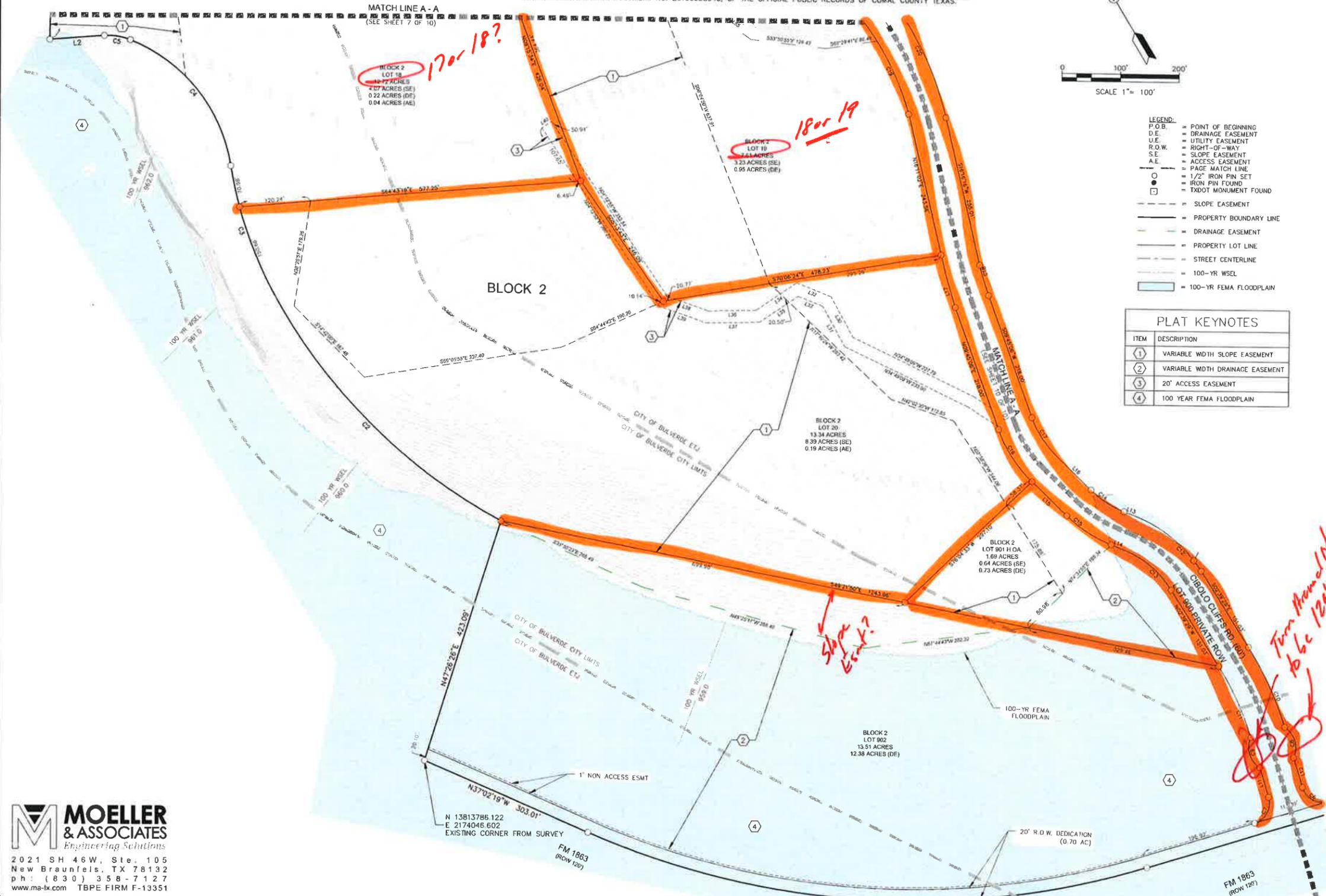
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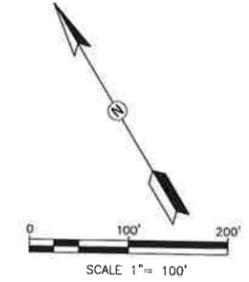


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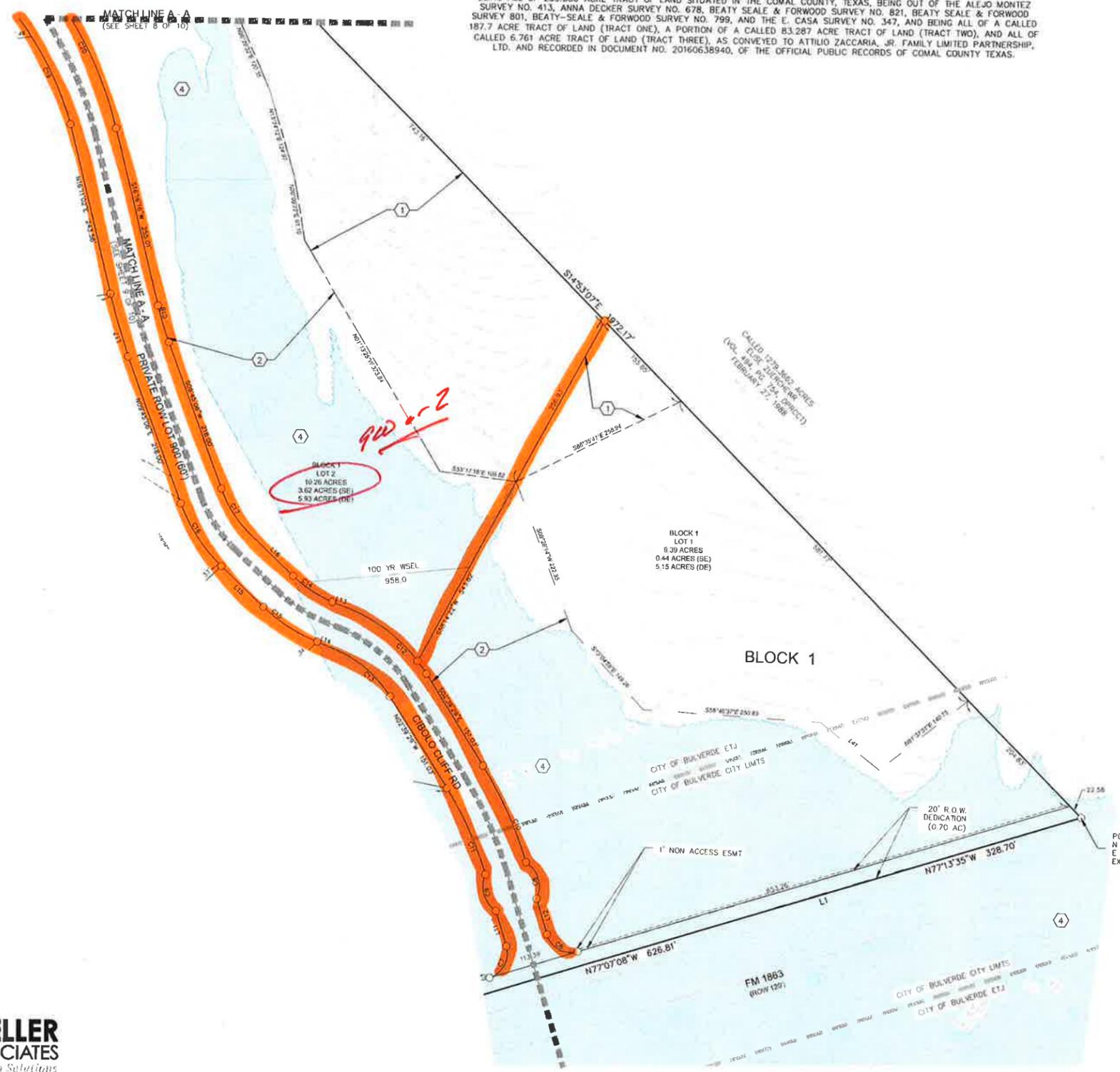
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PLANNING AND ZONING COMMISSION ITEM:
PC-19-24
PRELIMINARY PLAT
4S RANCH, UNIT 7B

MEETING DATE: January 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:

Consideration of a Preliminary Plat for 4S Ranch Subdivision Unit 7B, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.

APPLICANT:

Lennar Homes
1922 Dry Creek Way, Ste. 101
San Antonio, TX 78259

PROPERTY INFORMATION:

Owner: Lennar Homes
Legal Descrp: 49.151 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD IN DEED RECORDED IN DOCUMENT 201506007928 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.
Size: 49.151 acres; 152 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed preliminary plat for Unit 7B of the 4S Ranch development, for which a Development Agreement was approved in 2014 and Master Development Plan (MDP) subsequently approved in 2015.

This proposed Preliminary Plat is for approximately 49.151 acres of vacant property and establishes 152 single family residential lots. The density class for this plat is High Density.

ANALYSIS:

The proposed subdivision lies completely outside the City Limits. Water service will be provided by the Canyon Lake Water Service Company. Sewer Service will be provided by the Guadalupe Blanco River Authority.

With approval of the Preliminary Plat, the developer will continue with the design of the subdivision phase. During design, some minor changes to the plat may occur to avoid conflicts, reduce slopes, etc. by slightly altering the roadway alignment. Such minor changes, provided they do not substantially deviate from the Preliminary Plat, will be incorporated into the Final Plat. The Planning and Zoning Commission will also review and approve the Final Plat. If there is a substantial deviation from the Preliminary Plat, then the developer will be required to submit a new Preliminary Plat for review and approval.

Halff Associates and the City of Bulverde Planning Department have reviewed the proposed preliminary plat and related required documents. All comments have been resolved.

Therefore, Staff recommends **APPROVAL**.

ATTACHMENTS:

Application

Preliminary Plat



APPLICATION FOR PRELIMINARY PLAT

Planning & Development Department
 30360 Cougar Bend, Bulverde, TX 78163
 Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

- Name of Subdivision: 4S Ranch Unit No 7B
 Location Description/Nearest Intersection: Approximately 1.7 miles southeast of Mustang Vista/Stahl Lane intersection
- Owner/Applicant: Lennar Homes of Texas Land and Construction, LTD
 Address: 1992 Dry Creek Way, Suite 101, San Antonio, TX 78259 Email: richard.mott@lennar.com
 Telephone: (210) 889-5516 Fax: _____ Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.
- Licensed Engineer/Surveyor (technical contact): Pape-Dawson Engineers, Inc.
 Address: 2000 NW Loop 410, San Antonio, TX 78213 Email: bspengler@pape-dawson.com
 Telephone: (210) 375-9000 Fax: (210) 375-9010 Mobile: _____
- Property Details:

City Limits:	<input type="checkbox"/> In <input checked="" type="checkbox"/> Out (ETJ)	Water Source:	<u>CLWSC</u>
Commercial:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Sewage Treatment:	<u>GBRA</u>
Residential:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TxDOT Frontage:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
No. of Lots:	<u>152</u>	100-Year Floodplain:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Total Acreage without floodplain:	<u>39.93</u>	Edwards Aquifer Zone:	<input type="checkbox"/> Recharge
Density Class:	<u>High</u>		<input checked="" type="checkbox"/> Contributing
Zoning Class:	<u>Single-Family</u>		

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.



 Signature of Owner/Applicant

9/16/19

 Date

Fees on Page 2

Fees:

Preliminary Plats

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
- \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 - (0-5 acres)
- \$2500 + \$10/lot - (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
- \$2500 + \$10/acre (5+ acres)

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



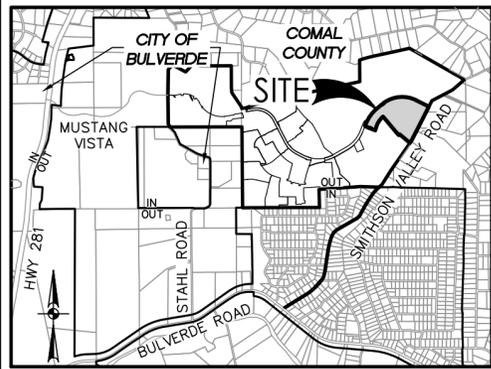
Planning and Development Preliminary Plat Application Checklist

**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Preliminary Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
- 2 copies of the Utility Layout showing all proposed utilities and easements
- 2 copies of the Traffic Impact Analysis
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Drainage Study
- 2 copies of the Water Study and Water Supply Certification as applicable
- 2 copies of the Sewer Study as applicable
- 2 copies of the Environmental Assessment
- Certification by all utilities and that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - Electric Utility
 - Gas Utility
 - Public Water System
 - Telephone Utility
 - Cable TV Utility
 - TxDOT
 - TCEQ
 - Other agencies or entities having jurisdiction
- Evidence that the applicant has submitted the information required above to the utilities and entities described above
- Variance Requests (if any)
- Original Tax Certificates
 - City
 - County
 - School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat
- Other applicable legal documents including deed restrictions, homeowner's association documents, etc.



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: January 7, 2020



LOCATION MAP
NOT-TO-SCALE

OPEN SPACE NOTE:
LOT 901, BLOCK 37, LOT 901, BLOCK 38, AND LOT 902, BLOCK 32 ARE DESIGNATED AS OPEN SPACE AND AS A LANDSCAPE, DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT.

MINIMUM FINISHED FLOOR ELEVATION NOTE:
THE MAXIMUM WATER SURFACE ELEVATION DURING THE 100-YEAR STORM EVENT SHALL BE NO LESS THAN TWO FEET BELOW THE FINISHED FLOOR ELEVATION OF ADJACENT RESIDENTIAL DWELLING AND PUBLIC, COMMERCIAL, AND INDUSTRIAL BUILDINGS.

C.P.S. NOTES:
1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE ENERGY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERETO. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
2. ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THESE FIVE (5) FOOT WIDE EASEMENTS.

GBRA NOTES:
1) GBRA (GUADALUPE-BLANCO RIVER AUTHORITY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
2) TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
3) OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN 10 FEET OF GBRA UTILITIES.
4) DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
5) MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
6) THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
7) CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

SURVEYOR'S NOTES:
1. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON".
2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NA 2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
3. DIMENSIONS SHOWN ARE SURFACE (SCALE FACTOR = 0.99983002889).
4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

MISCELLANEOUS NOTE:
1. FUTURE DEVELOPMENT IS SUBJECT TO THE CITY OF BULVERDE CODE OF ORDINANCES.
2. CONTOURS SHOWN ARE BASED OFF OF AN ON THE GROUND SURVEY. THE DATUM USED TO GENERATE THE CONTOURS IS THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
3. TOTAL LENGTH OF ROADWAY DEDICATION IN 4S RANCH UNIT-7B IS 5,333 LINEAR FEET.
4. 4S RANCH UNIT-7B LIES WITHIN THE CITY OF BULVERDE'S ETJ AND WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF BULVERDE PLANNING COMMISSION.

EUGENE H. DAWSON III
LICENSED PROFESSIONAL ENGINEER
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

STATE OF TEXAS
COUNTY OF BEXAR
I, THE UNDERSIGNED ERIC J. SNELL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

ERIC J. SNELL
REGISTERED PROFESSIONAL LAND SURVEYOR, #6527
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

DETENTION AND RETENTION FACILITIES NOTE:
THE 100-YEAR WATER SURFACE ELEVATION IN THE STORAGE AREAS SHALL BE AT LEAST TWO FEET BELOW THE LOWEST FINISHED FLOOR ELEVATION IN THE AREAS TRIBUTARY TO THE STORMWATER DETENTION AND RETENTION FACILITIES.

SUBDIVISION PLAT OF 4S RANCH, UNIT 7B

A 49.155 ACRE TRACT OF LAND INCLUSIVE OF A 0.837 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

LINE TABLE		
LINE #	BEARING	LENGTH
L1	S34°37'54"W	100.59'
L2	N25°05'14"W	29.28'
L3	N50°21'21"W	84.24'
L4	S50°06'56"W	45.00'
L5	N39°53'04"W	125.00'
L6	S50°06'56"W	2.75'
L7	N39°38'24"W	50.01'
L8	N40°29'42"W	124.45'
L9	S46°06'02"W	103.49'
L10	S38°22'32"W	103.52'
L11	S30°57'21"W	103.52'
L12	S23°32'11"W	103.52'
L13	S18°15'04"W	51.80'
L14	S17°33'24"W	57.74'
L15	S17°33'24"W	70.61'
L16	N68°30'08"W	111.76'
L17	N68°30'08"W	50.00'
L18	N68°30'08"W	51.71'
L19	N58°30'08"W	38.78'

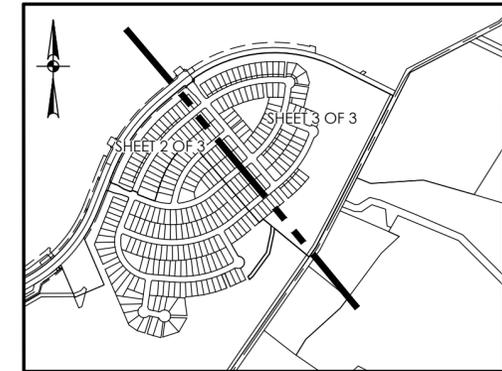
LINE TABLE		
LINE #	BEARING	LENGTH
L20	N68°30'08"W	44.77'
L21	N21°29'52"E	68.41'
L22	N52°27'00"E	70.06'
L23	S39°53'04"E	28.41'
L24	S32°20'22"E	61.98'
L25	S39°53'04"E	54.72'
L26	S7°36'08"W	64.86'
L27	S68°39'41"E	199.57'
L28	S23°10'06"W	53.51'
L29	S50°06'56"W	340.20'
L30	N50°06'56"E	261.00'
L31	S50°06'56"W	261.00'
L32	N50°06'56"E	261.00'
L33	S50°06'56"W	253.59'
L34	N50°06'56"E	253.59'
L35	S50°06'56"W	228.24'
L36	S21°29'52"W	76.41'
L37	N21°29'52"E	76.41'
L38	N50°06'56"E	228.24'

LINE TABLE		
LINE #	BEARING	LENGTH
L39	N39°53'04"W	52.06'
L40	N47°25'46"W	61.98'
L41	N39°53'04"W	31.26'
L42	N7°36'06"E	78.65'
L43	N68°39'41"W	199.48'
L44	N23°10'06"E	53.42'
L45	N50°06'56"E	1.20'
L46	S50°06'56"W	206.49'
L47	S50°06'56"W	45.00'
L48	S50°06'56"W	45.00'
L49	S50°06'56"W	45.00'
L50	S50°06'56"W	45.00'
L51	S50°06'56"W	45.00'
L52	S50°06'56"W	50.00'
L53	S49°45'19"W	47.50'
L54	S47°23'04"W	50.00'
L55	S44°39'22"W	50.00'
L56	S41°55'40"W	50.00'
L57	S39°11'58"W	50.00'

LINE TABLE		
LINE #	BEARING	LENGTH
L58	S10°25'04"W	24.96'
L59	S8°45'34"W	15.00'
L60	S12°25'56"W	51.01'
L61	N2°36'10"E	37.98'
L62	N2°36'10"E	56.79'
L63	S47°53'05"W	41.09'
L64	N47°53'05"E	29.63'
L65	S0°00'52"E	54.41'
L66	N0°00'52"W	45.59'
L67	N34°37'42"E	96.31'
L68	N26°30'15"E	148.06'
L69	N26°17'22"E	121.35'
L70	N26°42'35"E	110.90'
L71	N26°29'25"E	5.86'
L72	S27°35'44"W	6.04'
L73	S26°38'56"W	110.65'
L74	S26°04'29"W	121.41'
L75	S26°35'47"W	93.19'

CURVE TABLE				
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	1157.00'	62°28'31"	N85°24'04"E	1200.01'
C2	475.00'	3°56'28"	N70°28'22"W	32.67'
C3	15.00'	90°00'00"	N23°30'09"W	21.21'
C4	15.00'	89°59'59"	S66°29'53"W	21.21'
C5	15.00'	10°00'00"	N63°30'08"W	2.61'
C6	200.00'	10°00'00"	N63°30'08"W	34.86'
C7	13.00'	90°00'00"	N23°30'08"W	18.38'
C8	1457.00'	28°37'04"	N35°48'24"E	720.20'
C9	13.00'	90°00'03"	S84°53'01"E	18.39'
C10	13.00'	94°02'53"	S70°8'22"W	19.02'
C11	200.00'	7°32'42"	S36°06'43"E	26.32'
C12	15.00'	7°32'42"	S36°06'43"E	1.97'
C13	14.00'	85°45'43"	S82°45'55"E	19.05'
C14	957.00'	41°01'08"	N74°51'47"E	670.59'
C15	15.00'	32°44'24"	N79°00'09"E	8.46'
C16	50.00'	176°59'21"	S28°52'22"E	99.97'
C17	15.00'	52°01'12"	S33°36'42"W	13.16'
C18	825.00'	11°04'21"	S13°08'17"W	159.19'
C19	14.00'	87°20'09"	S24°59'37"E	19.33'
C20	14.00'	40°23'54"	S88°51'36"E	9.67'
C21	50.00'	172°37'30"	S22°44'47"E	99.79'
C22	14.00'	40°23'53"	S43°21'57"W	9.67'
C23	925.00'	26°56'50"	S36°38'31"W	431.04'
C24	14.00'	90°00'00"	N5°06'56"E	19.80'
C25	14.00'	90°00'00"	N84°53'04"W	19.80'
C26	14.00'	90°00'00"	N5°06'56"E	19.80'

CURVE TABLE				
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C27	14.00'	90°00'00"	N84°53'04"W	19.80'
C28	625.00'	0°40'45"	S49°46'34"W	7.41'
C29	675.00'	0°36'38"	N49°48'37"E	7.19'
C30	14.00'	90°00'00"	N5°06'56"E	19.80'
C31	14.00'	90°00'00"	N84°53'04"W	19.80'
C32	1207.00'	28°37'04"	S35°48'24"W	596.62'
C33	1257.00'	28°37'04"	N35°48'24"E	621.34'
C34	14.00'	90°00'00"	N5°06'56"E	19.80'
C35	15.00'	7°32'42"	N43°39'25"W	1.97'
C36	200.00'	7°32'42"	N43°39'25"W	26.32'
C37	14.00'	94°36'32"	S7°25'12"W	20.58'
C38	907.00'	39°35'29"	S74°31'13"W	614.34'
C39	25.00'	93°17'09"	N39°02'28"W	36.35'
C40	775.00'	40°53'00"	N28°02'36"E	541.34'
C41	14.00'	91°37'50"	S85°41'59"E	20.08'
C42	14.00'	88°31'16"	S4°22'34"W	19.54'
C43	825.00'	24°38'02"	S36°19'11"W	351.98'
C44	14.00'	87°20'09"	S67°40'15"W	19.33'
C45	25.00'	91°49'47"	N22°44'47"W	35.92'
C46	875.00'	26°56'50"	N36°38'31"E	407.74'
C47	14.00'	90°00'00"	S84°53'04"E	19.80'
C48	1382.00'	28°37'04"	S35°48'24"W	683.12'
C49	500.00'	0°50'56"	S49°41'28"W	7.41'
C50	950.00'	0°29'26"	S26°53'03"W	8.14'
C51	1082.00'	39°34'55"	N74°48'12"E	732.71'



INDEX MAP
SCALE: 1" = 1000'

STATE OF TEXAS
COUNTY OF BEXAR

KNOWN ALL MEN BY THESE PRESENTS:

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER, COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER: LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD., A TEXAS LIMITED PARTNERSHIP BY: U.S. HOME CORPORATION, A DELAWARE CORPORATION ITS GENERAL PARTNER BRIAN BARRON, VICE PRESIDENT 1922 DRY CREEK WAY, SUITE 101 SAN ANTONIO, TEXAS 78259

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRIAN BARRON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

STATE OF TEXAS
COUNTY OF COMAL

I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOC # _____ OF COMAL COUNTY ON THE _____ DAY OF _____, A.D. 20____, AT _____ M.

COUNTY CLERK, COMAL COUNTY, TEXAS

BY: _____, DEPUTY

THIS PLAT OF 4S RANCH, UNIT-7B HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF BULVERDE, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, YEAR _____

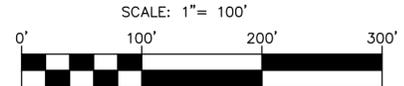
BY: _____
CHAIRPERSON



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPBS FIRM REGISTRATION #10028800
DATE OF PREPARATION: January 7, 2020

SUBDIVISION PLAT OF 4S RANCH, UNIT 7B

A 49.155 ACRE TRACT OF LAND INCLUSIVE OF A 0.837 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

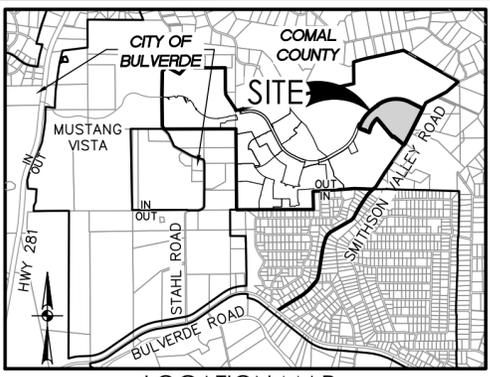
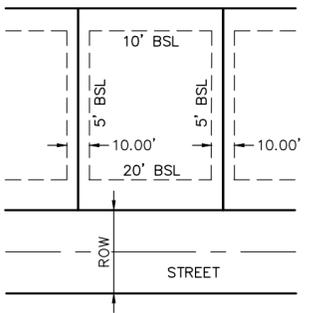


LEGEND

- | | | | |
|-----|---|-----|--|
| DOC | DOCUMENT NUMBER | VOL | VOLUME |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | PG | PAGE(S) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | VAR | VARIABLE WIDTH |
| | | WID | REPETITIVE BEARING AND/OR DISTANCE |
| | | | ● FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| | | | ○ SET 1/2" IRON ROD (PD) |
| | | | ○ SET 1/2" IRON ROD (PD)-ROW |
| | | | ⊠ EASEMENT POINT OF INTERSECTION |
-
- | | | | | |
|-----|------|---|---|--|
| --- | 1140 | EXISTING CONTOURS | ◇ | 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY) |
| --- | 1140 | PROPOSED CONTOURS | ◇ | 70' X 50' SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY) |
| --- | | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN | ◇ | 14' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| --- | | ORIGINAL SURVEY/COUNTY LINE CENTERLINE | ◇ | 29' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| ⬢ | 3 | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ◇ | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH, UNIT 7C, PLATTED CONCURRENTLY) |
| ⬢ | 11 | 21' SANITARY SEWER EASEMENT | ◇ | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH, UNIT 7C, PLATTED CONCURRENTLY) |
| ⬢ | 12 | 28' GAS, ELECTRIC, TELEPHONE, AND CABLE TV EASEMENT (0.313 TOTAL ACRES OFF-LOT) | ◇ | 21' SANITARY SEWER EASEMENT (4S RANCH, UNIT 7C, PLATTED CONCURRENTLY) |
| ⬢ | 14 | 20' BUILDING SETBACK | ◇ | 28' ELECTRIC EASEMENT (4S RANCH, UNIT 7C, PLATTED CONCURRENTLY) |
| ⬢ | 15 | VARIABLE WIDTH RIGHT-OF-WAY DEDICATION (0.837 TOTAL ACRES) | ◇ | VARIABLE WIDTH RIGHT-OF-WAY DEDICATION (4S RANCH, UNIT 7C, PLATTED CONCURRENTLY) |
| ⬢ | 3 | UNPLATTED GOLL JOHN W 5.89 ACRES (DOC# 201306046066 OPR) | | |
| ⬢ | 4 | UNPLATTED ESTRADA AROLDJO JR & JULISSA 5.671 ACRES (DOC# 201706036900 OPR) | | |

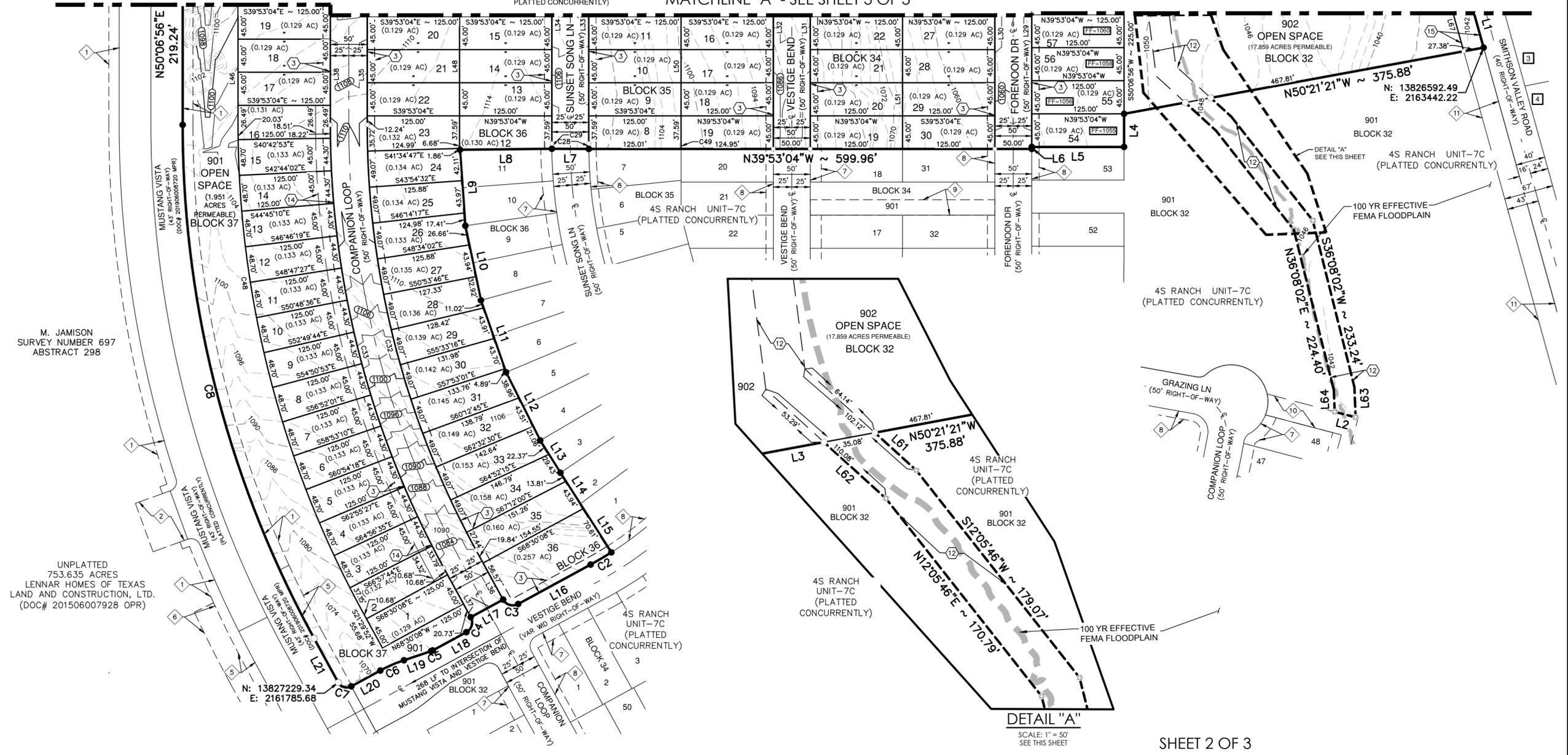
TYPICAL BUILDING SET-BACKS

FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



LOCATION MAP
NOT-TO-SCALE

MATCHLINE "A" - SEE SHEET 3 OF 3



M. JAMISON
SURVEY NUMBER 697
ABSTRACT 298

UNPLATTED
753.635 ACRES
LENNAR HOMES OF TEXAS
LAND AND CONSTRUCTION, LTD.
(DOC# 201506007928 OPR)

N: 13827229.34
E: 2161785.68

DETAIL "A"
SCALE: 1" = 50'
SEE THIS SHEET

SUBDIVISION PLAT OF 4S RANCH, UNIT 7B

A 49.155 ACRE TRACT OF LAND INCLUSIVE OF A 0.837 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

SCALE: 1" = 100'

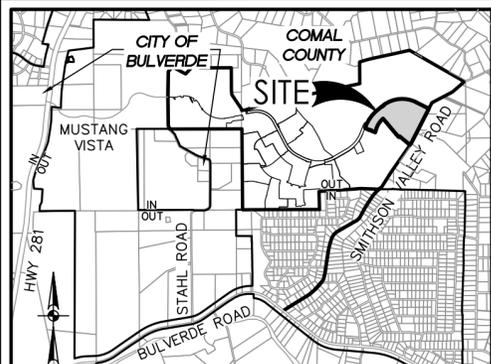
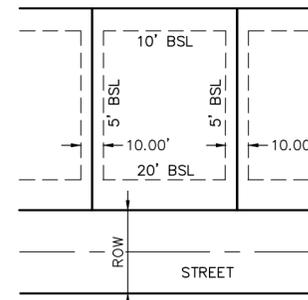


**PAPE-DAWSON
ENGINEERS**

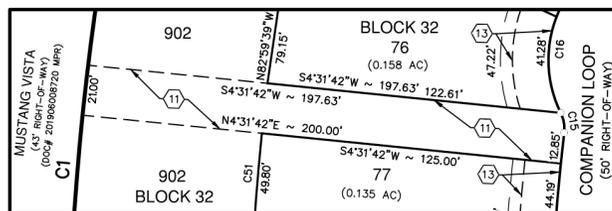
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TPE FIRM REGISTRATION #470 | TPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: January 7, 2020

TYPICAL BUILDING SET-BACKS

FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



LOCATION MAP
NOT-TO-SCALE



DETAIL "B"
SCALE: 1" = 50'
SEE THIS SHEET

LEGEND

- | | | | |
|---------|---|-----|---|
| DOC | DOCUMENT NUMBER | VOL | VOLUME |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | PG | PAGE(S) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | VAR | VARIABLE WIDTH |
| | | | REPETITIVE BEARING AND/OR DISTANCE |
| | | | ● FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| | | | ○ SET 1/2" IRON ROD (PD) |
| | | | ○ SET 1/2" IRON ROD (PD)-ROW |
| | | | ⊗ EASEMENT POINT OF INTERSECTION |
| FF=1068 | MINIMUM FINISHED FLOOR ELEVATION | | |
| --- | 1140 EXISTING CONTOURS | | |
| --- | 1140 PROPOSED CONTOURS | | |
| --- | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN | | |
| --- | ORIGINAL SURVEY/COUNTY LINE CENTERLINE | | |
| ① | 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ① | 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY) |
| ② | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ② | 70' X 50' SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY) |
| ③ | 21' SANITARY SEWER EASEMENT | ③ | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (MUSTANG VISTA PHASE 4, PLATTED CONCURRENTLY) |
| ④ | 28' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (0.313 TOTAL ACRES OFF-LOT) | ④ | VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| ⑤ | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | | |
| ⑥ | 20' BUILDING SETBACK | | |
| ⑦ | VARIABLE WIDTH RIGHT-OF-WAY DEDICATION (0.837 TOTAL ACRES) | | |

UNPLATTED
753.635 ACRES
LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
(DOC# 201506007928 OPR)

M. JAMISON
SURVEY NUMBER 697
ABSTRACT 298

UNPLATTED
DUSTIN & LAUREN FOX
26.664 ACRES
(DOC# 201706028529 OPR)

M. JAMISON
SURVEY NUMBER 697
ABSTRACT 298

UNPLATTED
DUSTIN & LAUREN FOX
26.664 ACRES
(DOC# 201706028529 OPR)

J. BYLAND
SURVEY NUMBER 438
ABSTRACT 50

UNPLATTED
DAVID C & JEAN M. ANDERSON
12.465 ACRES
(DOC# 200406006234 OPR)

N: 13827061.09
E: 2163697.83

OPEN SPACE
(1.951 ACRES PERMEABLE)

MATCHLINE "A" - SEE SHEET 2 OF 3

SHEET 3 OF 3

Civil Job No. 8547-55; Survey Job No. 8547-00

4S RANCH, UNIT 7B

Date: Jan 07, 2020, 10:33am User: fb: CG2020
File: C:\Users\lcom\OneDrive\Temp\AcPublish_8916\4S Ranch_8547-55.dwg



PLANNING AND ZONING COMMISSION ITEM:
PC-19-25
PRELIMINARY PLAT
4S RANCH, UNIT 7C

MEETING DATE: January 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:
Consideration of a Preliminary Plat for 4S Ranch, Unit 7C, generally located 1.7 miles southeast of the intersection of Mustang Vista and Stahl Lane.

APPLICANT:
Lennar Homes
1922 Dry Creek Way, Ste. 101
San Antonio, TX 78259

PROPERTY INFORMATION:
Owner: Lennar Homes
Legal Description: 94.234 ACRE TRACT OF LAND BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD IN DEED RECORDED IN DOCUMENT 201506007928 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.
Size: 94.234 acres; 149 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:
This is a proposed preliminary plat for Unit 7C of the 4S Ranch development, for which a Development Agreement was approved in 2014 and Master Development Plan (MDP) subsequently approved in 2015.

This proposed Preliminary Plat is for approximately 94.234 acres of vacant property and establishes 152 single family residential lots. The density class for this plat is High Density.

ANALYSIS:
The proposed subdivision lies completely outside the City Limits. Water service will be provided by the Canyon Lake Water Service Company. Sewer Service will be provided by the Guadalupe Blanco River Authority.

With approval of the Preliminary Plat, the developer will continue with the design of the subdivision phase. During design, some minor changes to the plat may occur to avoid conflicts, reduce slopes, etc. by slightly altering the roadway alignment. Such minor changes, provided they do not substantially deviate from the Preliminary Plat, will be incorporated into the Final Plat. The Planning and Zoning Commission will also review and approve the Final Plat. If there is a substantial deviation from the Preliminary Plat, then the developer will be required to submit a new Preliminary Plat for review and approval.

Halff Associates and the City of Bulverde Planning Department have reviewed the proposed preliminary plat and related required documents. All comments have been resolved.

Therefore, Staff recommends **APPROVAL**.

ATTACHMENTS:

Application

Preliminary Plat



APPLICATION FOR PRELIMINARY PLAT

Planning & Development Department
 30360 Cougar Bend, Bulverde, TX 78163
 Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

1. Name of Subdivision: 4S Ranch Unit No 7C
 Location Description/Nearest Intersection: Approximately 1.7 miles southeast of Mustang Vista/Stahl Lane intersection

2. Owner/Applicant: Lennar Homes of Texas Land and Construction, LTD
 Address: 1992 Dry Creek Way, Suite 101, San Antonio, TX 78259 Email: richard.mott@lennar.com
 Telephone: (210) 889-5516 Fax: _____ Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): Pape-Dawson Engineers, Inc.
 Address: 2000 NW Loop 410, San Antonio, TX 78213 Email: bspengler@pape-dawson.com
 Telephone: (210) 375-9000 Fax: (210) 375-9010 Mobile: _____

4. Property Details:

City Limits:	<input type="checkbox"/> In <input checked="" type="checkbox"/> Out (ETJ)	Water Source:	<u>CLWSC</u>
Commercial:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Sewage Treatment:	<u>GBRA</u>
Residential:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TxDOT Frontage:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
No. of Lots:	<u>149</u>	100-Year Floodplain:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Total Acreage without floodplain:	<u>41.77</u>	Edwards Aquifer Zone:	<input type="checkbox"/> Recharge
Density Class:	<u>High</u>		<input checked="" type="checkbox"/> Contributing
Zoning Class:	<u>Single-Family</u>		

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.



 Signature of Owner/Applicant

9/16/19

 Date

Fees on Page 2

Fees:

Preliminary Plats

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
- \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 - (0-5 acres)
- \$2500 + \$10/lot - (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
- \$2500 + \$10/acre (5+ acres)

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

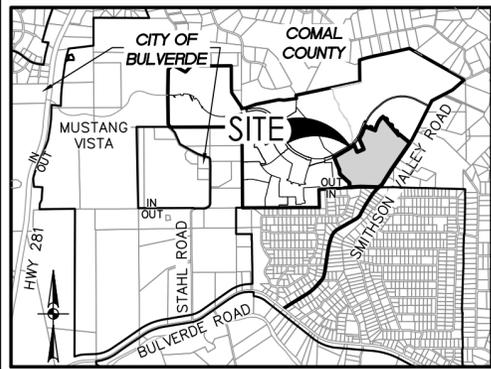
Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



Planning and Development Preliminary Plat Application Checklist

**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Preliminary Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - Plat Application & Review Fee
 - SWMP Review Fee
 - TIA Fee
- 2 copies of the Utility Layout showing all proposed utilities and easements
- 2 copies of the Traffic Impact Analysis
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Drainage Study
- 2 copies of the Water Study and Water Supply Certification as applicable
- 2 copies of the Sewer Study as applicable
- 2 copies of the Environmental Assessment
- Certification by all utilities and that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - Electric Utility
 - Gas Utility
 - Public Water System
 - Telephone Utility
 - Cable TV Utility
 - TxDOT
 - TCEQ
 - Other agencies or entities having jurisdiction
- Evidence that the applicant has submitted the information required above to the utilities and entities described above
- Variance Requests (if any)
- Original Tax Certificates
 - City
 - County
 - School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat
- Other applicable legal documents including deed restrictions, homeowner's association documents, etc.



LOCATION MAP
NOT-TO-SCALE

OPEN SPACE NOTE:
 LOT 901, BLOCK 32, AND LOT 901, BLOCK 34 ARE DESIGNATED AS OPEN SPACE AND AS A LANDSCAPE, DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT.

MINIMUM FINISHED FLOOR ELEVATION NOTE:
 THE MAXIMUM WATER SURFACE ELEVATION DURING THE 100-YEAR STORM EVENT SHALL BE NO LESS THAN TWO FEET BELOW THE FINISHED FLOOR ELEVATION OF ADJACENT RESIDENTIAL DWELLING AND PUBLIC, COMMERCIAL, AND INDUSTRIAL BUILDINGS.

C.P.S. NOTES:
 1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE ENERGY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THEREON, IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
 2. ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
 3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
 5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

GBRA NOTES:
 1) GBRA (GUADALUPE-BLANCO RIVER AUTHORITY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
 2) TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
 3) OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN 10 FEET OF GBRA UTILITIES.
 4) DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
 5) MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 6) THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
 7) CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

SURVEYOR'S NOTES:
 1. MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH ½" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON".
 2. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NA 2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
 3. DIMENSIONS SHOWN ARE SURFACE (SCALE FACTOR = 0.99983002889).
 4. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

MISCELLANEOUS NOTE:
 1. FUTURE DEVELOPMENT IS SUBJECT TO THE CITY OF BULVERDE CODE OF ORDINANCES.
 2. CONTOURS SHOWN ARE BASED OFF OF AN ON THE GROUND SURVEY. THE DATUM USED TO GENERATE THE CONTOURS IS THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
 3. TOTAL LENGTH OF ROADWAY DEDICATION IN 4S RANCH UNIT-7C IS 4,994 LINEAR FEET.
 4. 4S RANCH UNIT-7C LIES WITHIN THE CITY OF BULVERDE'S ETJ AND WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

STATE OF TEXAS
 COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF BULVERDE PLANNING COMMISSION.

EUGENE H. DAWSON III
 LICENSED PROFESSIONAL ENGINEER
 PAPE-DAWSON ENGINEERS, INC.
 2000 NW LOOP 410
 SAN ANTONIO, TEXAS 78213

STATE OF TEXAS
 COUNTY OF BEXAR
 I, THE UNDERSIGNED ERIC J. SNELL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

ERIC J. SNELL
 REGISTERED PROFESSIONAL LAND SURVEYOR, #6527
 PAPE-DAWSON ENGINEERS, INC.
 2000 NW LOOP 410
 SAN ANTONIO, TEXAS 78213

CLOMR NOTE:
 THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (CLOMR) STUDY PREPARED BY PAPE-DAWSON ENGINEERS, INC. AND APPROVED BY FEMA ON FEBRUARY 26, 2019 (CASE NO. 19-06-0091R). WATER SURFACE ELEVATIONS SHOWN ARE BASED ON THE 100-YEAR CORRECTED EFFECTIVE MODEL FOR LEWIS CREEK FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

DETENTION AND RETENTION FACILITIES NOTE:
 THE 100-YEAR WATER SURFACE ELEVATION IN THE STORAGE AREAS SHALL BE AT LEAST TWO FEET BELOW THE LOWEST FINISHED FLOOR ELEVATION IN THE AREAS TRIBUTARY TO THE STORMWATER DETENTION AND RETENTION FACILITIES.

**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 7C**

A 94.234 ACRE TRACT OF LAND INCLUSIVE OF A 1.235 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD. IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

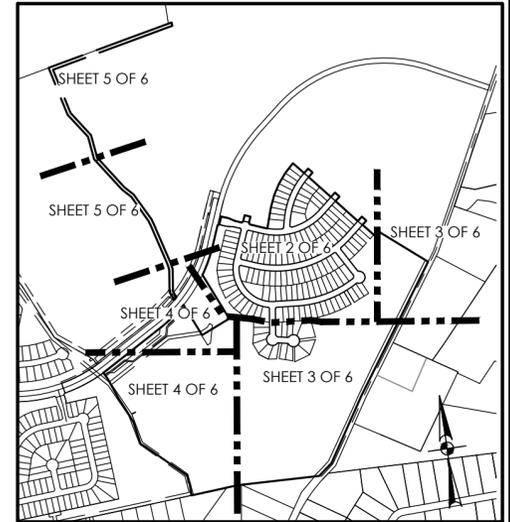
LINE TABLE			LINE TABLE			LINE TABLE		
LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH	LINE #	BEARING	LENGTH
L1	N21°29'52"E	70.00'	L36	S7°50'56"W	206.99'	L71	N67°05'46"E	270.91'
L2	S68°30'08"E	44.77'	L37	S29°45'28"E	221.88'	L72	N67°01'01"E	352.26'
L3	S58°30'08"E	38.78'	L38	S68°30'08"E	111.76'	L73	N47°04'06"E	3.28'
L4	S68°30'08"E	51.71'	L39	N29°45'28"W	224.97'	L74	S42°52'08"E	18.50'
L5	N21°29'52"E	50.00'	L40	N68°30'08"W	107.14'	L75	N47°04'06"E	12.39'
L6	S68°30'08"E	50.00'	L41	S13°26'50"W	46.54'	L76	N82°16'26"E	100.01'
L7	S21°29'52"W	50.00'	L42	N13°26'50"E	69.14'	L77	N63°32'21"E	4.35'
L8	S68°30'08"E	111.76'	L43	N69°47'13"W	49.51'	L78	N66°51'13"E	12.57'
L9	N17°33'24"E	128.36'	L44	N69°47'13"W	85.49'	L79	S69°54'18"W	50.59'
L10	N18°15'04"E	51.80'	L45	S66°44'40"E	60.18'	L80	N72°57'22"E	21.30'
L11	N23°32'11"E	103.52'	L46	N85°28'57"W	67.28'	L81	N76°00'27"E	12.93'
L12	S40°29'42"E	124.45'	L47	S47°04'16"W	15.42'	L82	N79°03'31"E	4.63'
L13	N50°06'56"E	42.81'	L48	S86°35'42"W	50.02'	L83	N82°06'36"E	11.55'
L14	S40°29'42"E	50.00'	L49	S53°37'51"W	50.59'	L84	S85°09'40"W	50.59'
L15	S50°06'56"W	43.34'	L50	S51°06'37"W	32.99'	L85	N88°12'45"E	23.84'
L16	N50°06'56"E	50.00'	L51	N50°06'56"E	60.66'	L86	S88°44'11"E	18.28'
L17	S39°53'04"E	50.00'	L52	N50°06'56"E	45.00'	L87	S85°41'06"E	12.75'
L18	S50°06'56"W	50.00'	L53	N50°06'56"E	46.60'	L88	S82°38'02"E	7.17'
L19	N50°06'56"E	50.00'	L54	N51°22'37"E	5.47'	L89	S79°34'57"E	8.95'
L20	S39°53'04"E	50.00'	L55	N55°41'45"E	15.80'	L90	S73°28'48"E	50.59'
L21	S50°06'56"W	47.25'	L56	N60°25'04"E	53.65'	L91	S76°31'53"E	4.95'
L22	S39°53'04"E	125.00'	L57	N65°07'36"E	17.19'	L92	S70°25'44"E	50.59'
L23	N50°06'56"E	45.00'	L58	N69°54'02"E	3.48'	L93	S68°31'06"E	82.92'
L24	N87°55'17"W	37.56'	L59	N74°36'39"E	53.65'	L94	S47°15'17"W	29.73'
L25	N0°00'00"E	109.37'	L60	N79°20'28"E	29.50'	L95	S12°34'1"E	28.50'
L26	N90°00'00"W	9.00'	L61	N84°04'19"E	19.18'	L96	S43°41'05"E	99.49'
L27	N0°00'00"E	30.36'	L62	N88°55'35"E	43.30'	L97	N43°41'05"W	97.78'
L28	N51°58'36"W	40.35'	L63	S86°34'49"E	11.83'	L98	S16°51'32"E	51.70'
L29	N28°49'16"W	57.43'	L64	S77°00'17"E	21.16'	L99	N16°52'24"W	48.30'
L30	N68°30'08"W	44.77'	L65	S72°16'17"E	10.83'	L100	S9°18'31"E	52.07'
L31	N78°30'08"W	38.78'	L66	S68°36'25"E	44.69'	L101	N9°18'31"W	47.93'
L32	N68°30'08"W	51.71'	L67	N50°09'02"E	43.77'	L102	N23°04'57"W	75.03'
L33	N7°50'56"E	203.14'	L68	S35°22'30"W	43.73'	L103	S23°04'57"E	57.38'
L34	N78°19'44"W	71.52'	L69	S26°05'19"W	43.75'	L104	N50°06'56"E	15.66'
L35	S78°19'44"E	75.98'	L70	S22°17'47"W	43.79'	L105	N50°06'56"E	15.66'

CURVE TABLE						CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH	CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	1243.00'	2°02'07"	N60°51'52"E	44.15'	44.15'	C25	25.00'	86°10'41"	S35°14'24"E	34.16'	37.60'
C2	1242.82'	12°40'17"	N53°30'43"E	274.30'	274.86'	C26	15.00'	86°40'07"	S51°10'59"W	20.59'	22.69'
C3	1242.93'	12°00'13"	N27°29'58"E	259.92'	260.40'	C27	875.00'	34°42'36"	S77°09'45"W	522.01'	530.08'
C4	13.00'	90°00'00"	N66°29'52"E	18.38'	20.42'	C28	15.00'	50°21'06"	S84°59'00"W	12.76'	13.18'
C5	200.00'	10°00'00"	S63°30'08"E	34.86'	34.91'	C29	50.00'	191°56'14"	S14°11'26"W	99.46'	167.50'
C6	15.00'	10°00'00"	S63°30'08"E	2.61'	2.62'	C30	15.00'	52°01'11"	S55°46'05"E	13.16'	13.62'
C7	15.00'	90°00'00"	N66°29'52"E	21.21'	23.56'	C31	15.00'	87°16'14"	S13°52'39"W	20.70'	22.85'
C8	15.00'	90°00'00"	S23°30'08"E	21.21'	23.56'	C32	825.00'	7°23'50"	S53°48'51"W	106.44'	106.51'
C9	475.00'	3°56'28"	S70°28'22"E	32.67'	32.67'	C33	775.00'	61°22'56"	N80°48'24"E	791.13'	830.27'
C10	675.00'	0°36'38"	N49°48'37"E	7.19'	7.19'	C34	15.00'	90°00'00"	S23°30'08"E	21.21'	23.56'
C11	625.00'	0°40'45"	S49°46'34"W	7.41'	7.41'	C35	15.00'	100°49'06"	S61°05'19"W	23.12'	26.39'
C12	60.08'	48°21'01"	N22°57'11"W	49.21'	50.70'	C36	275.00'	96°09'43"	S37°24'06"E	409.25'	461.54'
C13	61.00'	13°54'49"	N16°22'26"W	14.78'	14.81'	C37	825.00'	34°44'23"	N77°08'51"E	492.59'	500.21'
C14	200.00'	10°00'00"	N73°30'08"W	34.86'	34.91'	C38	25.00'	89°32'09"	N15°00'36"E	35.21'	39.07'
C15	15.00'	10°00'00"	N73°30'08"W	2.61'	2.62'	C39	15.00'	87°16'14"	N73°23'36"W	20.70'	22.85'
C16	15.00'	90°00'00"	N23°30'08"W	21.21'	23.56'	C40	825.00'	48°31'34"	S87°14'05"W	678.03'	698.73'
C17	325.00'	96°53'33"	N26°56'55"W	486.42'	549.61'	C41	15.00'	90°00'00"	S66°29'52"W	21.21'	23.56'
C18	15.00'	83°14'37"	N33°46'23"W	19.93'	21.79'	C42	525.00'	61°22'56"	S80°48'24"W	535.93'	562.44'
C19	15.00'	52°01'12"	N33°51'32"E	13.16'	13.62'	C43	475.00'	32°22'21"	N66°18'07"E	264.82'	268.38'
C20	50.00'	190°13'05"	N35°14'24"W	99.60'	166.00'	C44	15.00'	110°57'33"	S42°01'57"E	24.72'	29.05'
C21	15.00'	52°01'12"	S75°39'39"W	13.16'	13.62'	C45	625.00'	35°59'22"	S31°26'31"W	386.16'	392.58'
C22	15.00'	52°01'12"	N52°19'08"W	13.16'	13.62'	C46	675.00'	36°03'28"	N31°28'34"E	417.82'	424.80'
C23	50.00'	284°02'25"	S11°40'16"W	61.54'	247.87'	C47	15.00'	79°24'34"	N53°09'07"E	19.16'	20.79'
C24	15.00'	52°01'12"	N75°39'39"E	13.16'	13.62'	C48	475.00'	18°38'28"	S77°49'22"E	153.86'	154.54'

THIS PLAT OF 4S RANCH, UNIT-7C HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF BULVERDE, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, YEAR _____

BY: _____
 CHAIRPERSON



INDEX MAP
 SCALE: 1"=1000'

STATE OF TEXAS
 COUNTY OF BEXAR

KNOWN ALL MEN BY THESE PRESENTS:

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER, COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER: LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 A TEXAS LIMITED PARTNERSHIP
 BY: U.S. HOME CORPORATION,
 A DELAWARE CORPORATION
 ITS GENERAL PARTNER
 BRIAN BARRON, VICE PRESIDENT
 1922 DRY CREEK WAY, SUITE 101
 SAN ANTONIO, TEXAS 78259

STATE OF TEXAS
 COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRIAN BARRON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, A.D. 20____.

STATE OF TEXAS
 COUNTY OF COMAL

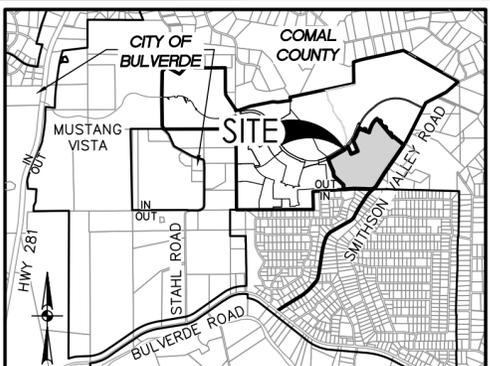
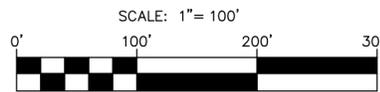
I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOC # _____ OF COMAL COUNTY ON THE _____ DAY OF _____, A.D. 20____, AT _____ M.

 COUNTY CLERK, COMAL COUNTY, TEXAS

BY: _____, DEPUTY

**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 7C**

A 94.234 ACRE TRACT OF LAND INCLUSIVE OF A 1.235 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD. IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

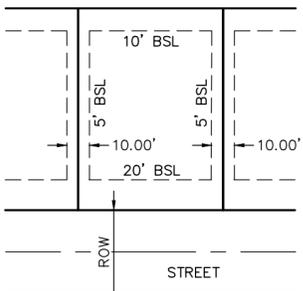


LOCATION MAP
NOT-TO-SCALE

LEGEND

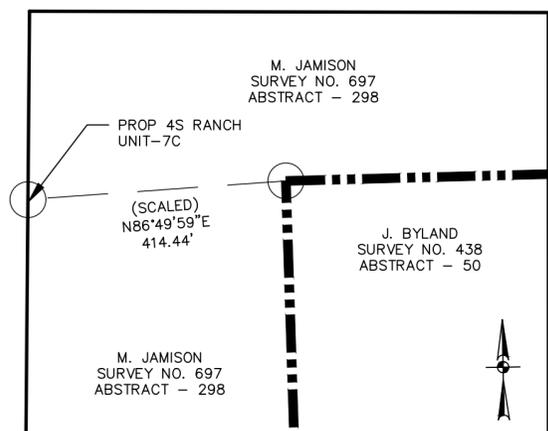
- | | | | |
|--------|---|---------|--------------------------------|
| DOC | DOCUMENT NUMBER | VOL | VOLUME |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | PG | PAGE(S) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | VAR WID | VARIABLE WIDTH AND/OR DISTANCE |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | | |
-
- | | | | |
|--------|--|-----------|---|
| — 1140 | EXISTING CONTOURS | — 1234.56 | MINIMUM FINISHED FLOOR ELEVATION |
| — 1140 | PROPOSED CONTOURS | — 1234.56 | 100 YR CLOM FLOODPLAIN (CASE NO. 19-06-0091R) |
| — | ORIGINAL SURVEY/COUNTY LINE | — | SANITARY SEWER LINE |
| — | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN | | |
| — | 100 YR CLOM FLOODPLAIN (CASE NO. 19-06-0091R) | | |
| — | SANITARY SEWER LINE | | |
-
- | | | | |
|---|---|---|---|
| ⊕ | CENTERLINE | ⊕ | 14' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| ⊕ | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ⊕ | 14' X 18' WATER EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| ⊕ | 5' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ⊕ | 29' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| ⊕ | 21' SANITARY SEWER EASEMENT | ⊕ | 16' X 14' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| ⊕ | 28' ELECTRIC EASEMENT (2.130 TOTAL ACRES OFF-LOT) | ⊕ | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE RIGHT-OF-WAY (0.171 TOTAL ACRES OFF-LOT) |
| ⊕ | 50' X 50' SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE RIGHT-OF-WAY (0.058 TOTAL ACRES OFF-LOT) | ⊕ | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| ⊕ | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE RIGHT-OF-WAY (0.058 TOTAL ACRES OFF-LOT) | | |
| ⊕ | VARIABLE WIDTH SANITARY SEWER EASEMENT | | |
| ⊕ | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | | |
| ⊕ | 20' BUILDING SETBACK | | |

TYPICAL BUILDING SET-BACKS
 FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.

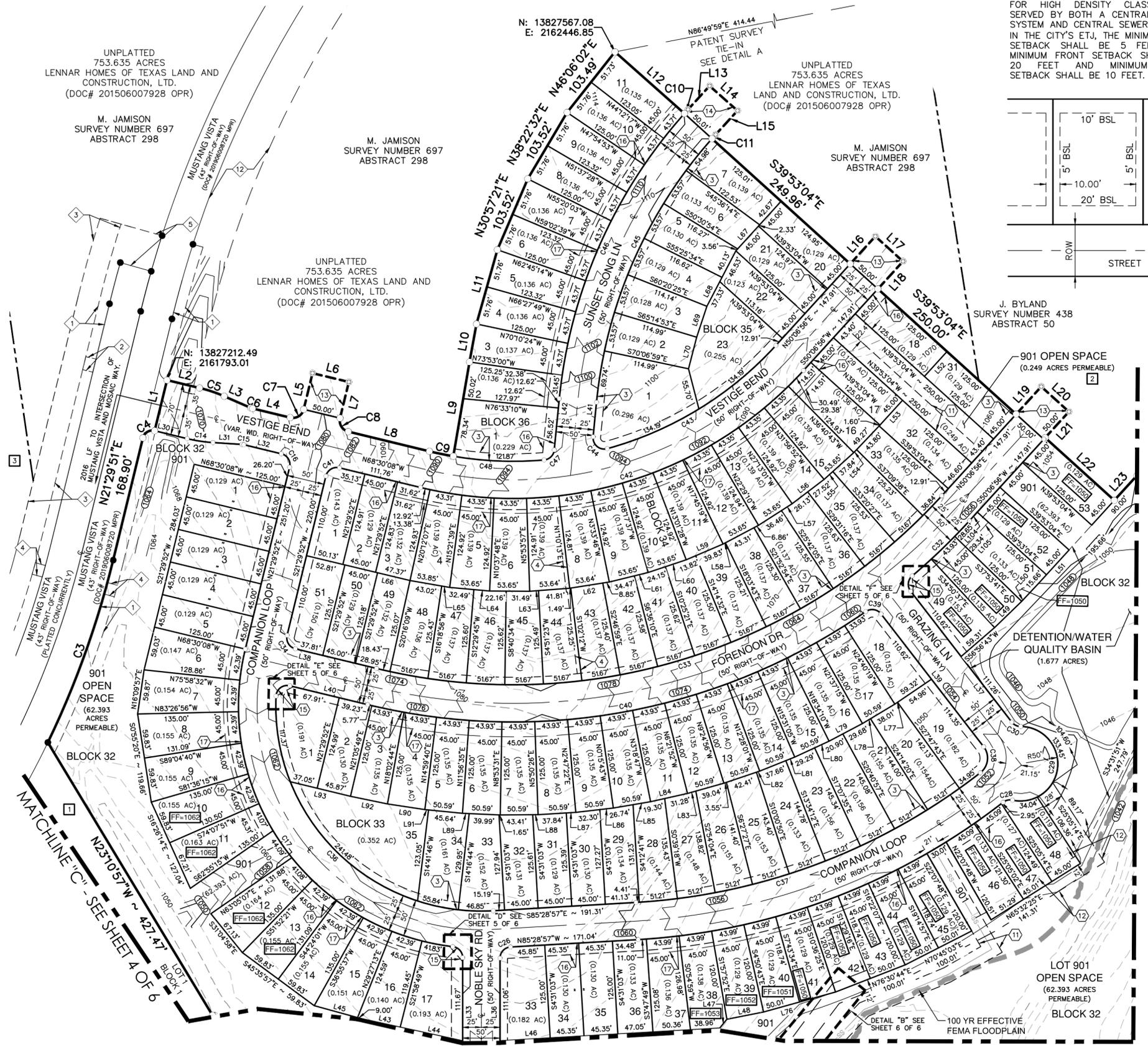


J. BYLAND SURVEY NUMBER 438 ABSTRACT 50

901 OPEN SPACE (0.249 ACRES PERMEABLE)



DETAIL "A"
SCALE: 1" = 20'



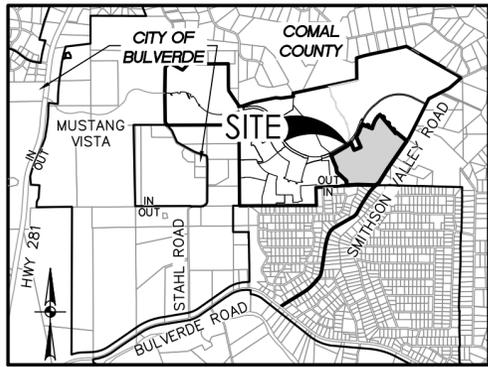
MATCHLINE "A" - SEE SHEET 3 OF 6

MATCHLINE "B" - SEE SHEET 3 OF 6

**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 7C**

A 94.234 ACRE TRACT OF LAND INCLUSIVE OF A 1.235 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

SCALE: 1" = 100'

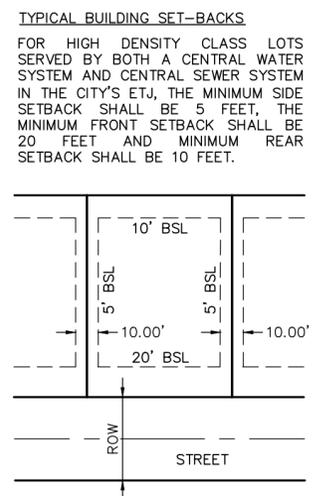
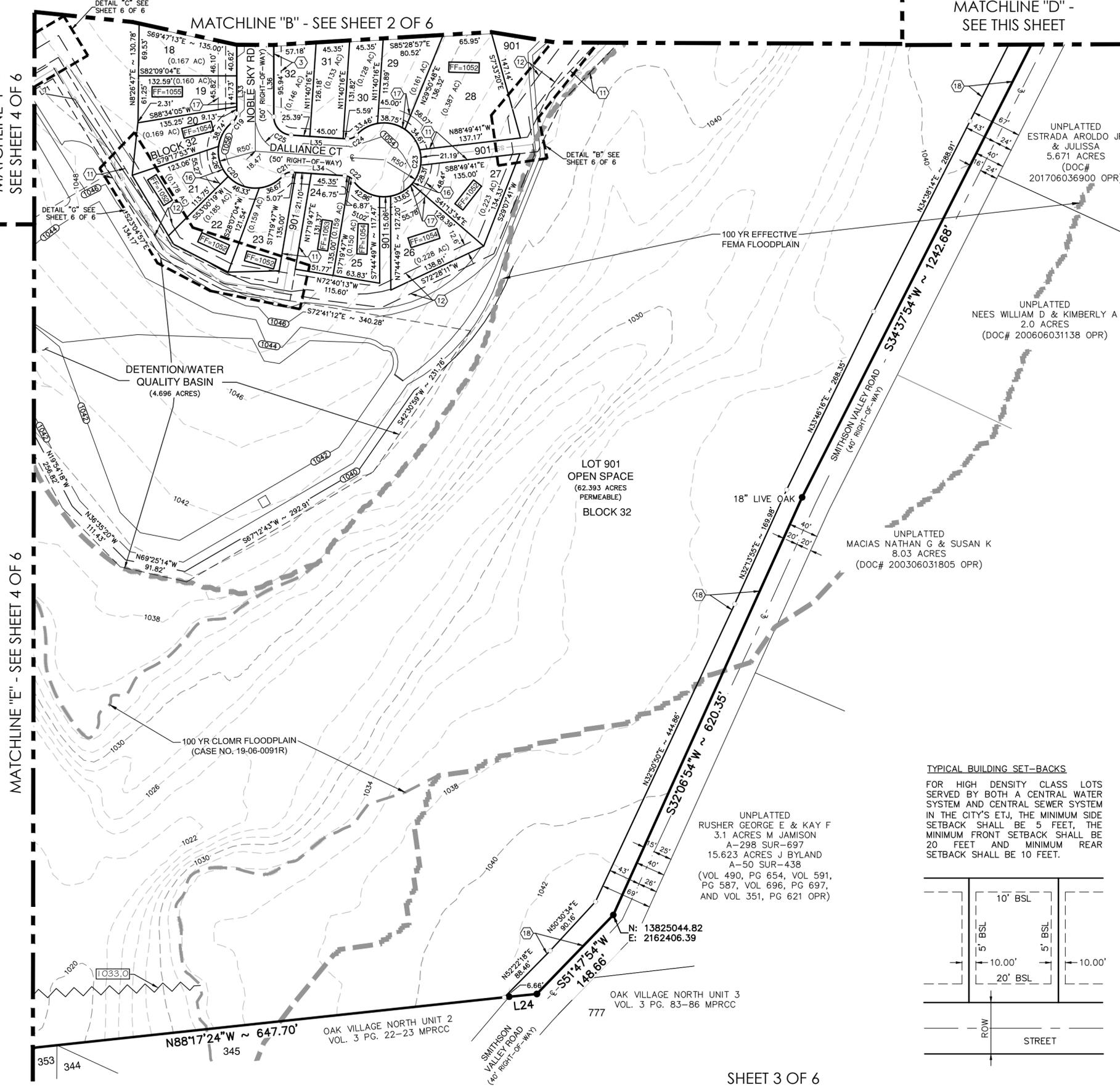
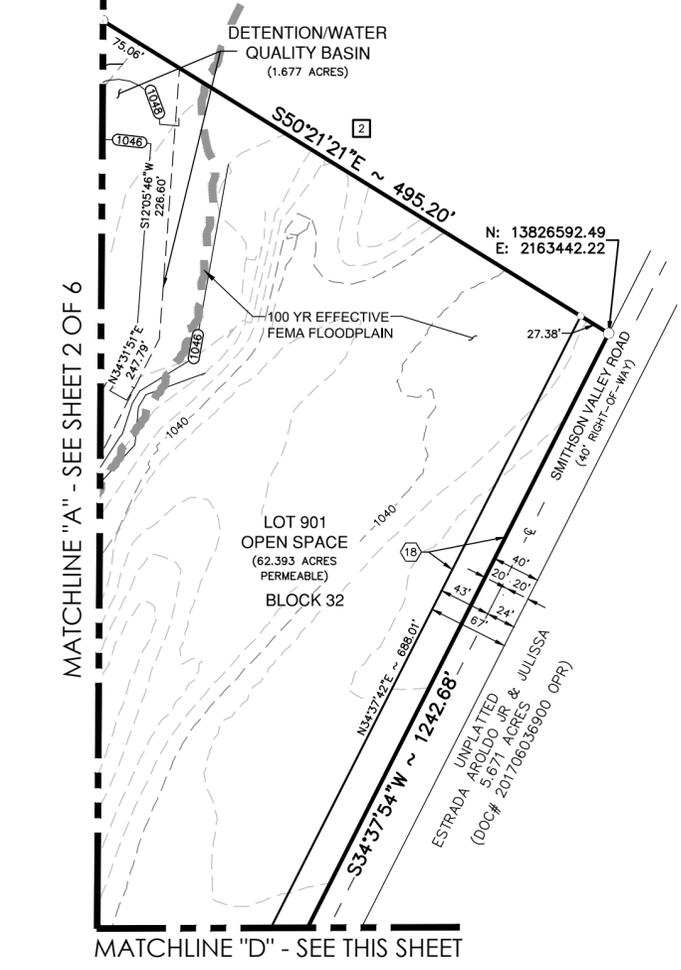


LOCATION MAP

NOT-TO-SCALE

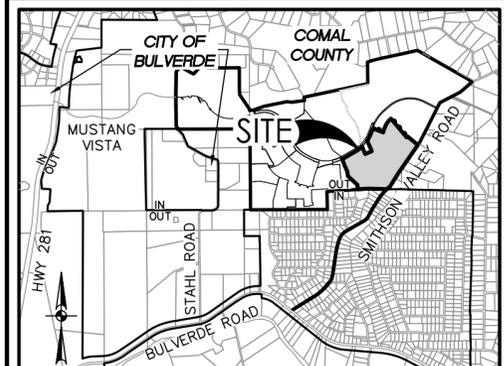
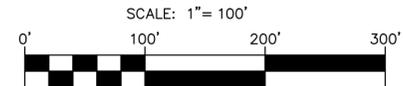
LEGEND

- | | | | |
|--------|---|-----|---|
| DOC | DOCUMENT NUMBER | - | REPETITIVE BEARING AND/OR DISTANCE |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | ○ | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | ● | SET 1/2" IRON ROD (PD) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD)-ROW |
| VOL | VOLUME | ○ | EASEMENT P.I. POINT |
| PG | PAGE(S) | ○ | WATER SURFACE ELEVATION |
| VAR | VARIABLE WIDTH | ○ | HYDRAULIC CROSS SECTION |
| --- | EXISTING CONTOURS | --- | |
| --- | PROPOSED CONTOURS | --- | |
| --- | ORIGINAL SURVEY/COUNTY LINE | --- | |
| --- | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN | --- | |
| --- | 100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R) | --- | |
| --- | SANITARY SEWER LINE | --- | |
| --- | CENTERLINE | --- | |
| ① | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | ② | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) |
| ② | 21' SANITARY SEWER EASEMENT | | |
| ③ | 28' ELECTRIC EASEMENT (2,130 TOTAL ACRES OFF-LOT) | | |
| ④ | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | | |
| ⑤ | 20' BUILDING SETBACK | | |
| ⑥ | VARIABLE WIDTH RIGHT-OF-WAY DEDICATION (1.235 TOTAL ACRES) | | |



SUBDIVISION PLAT
 OF
4S RANCH, UNIT 7C

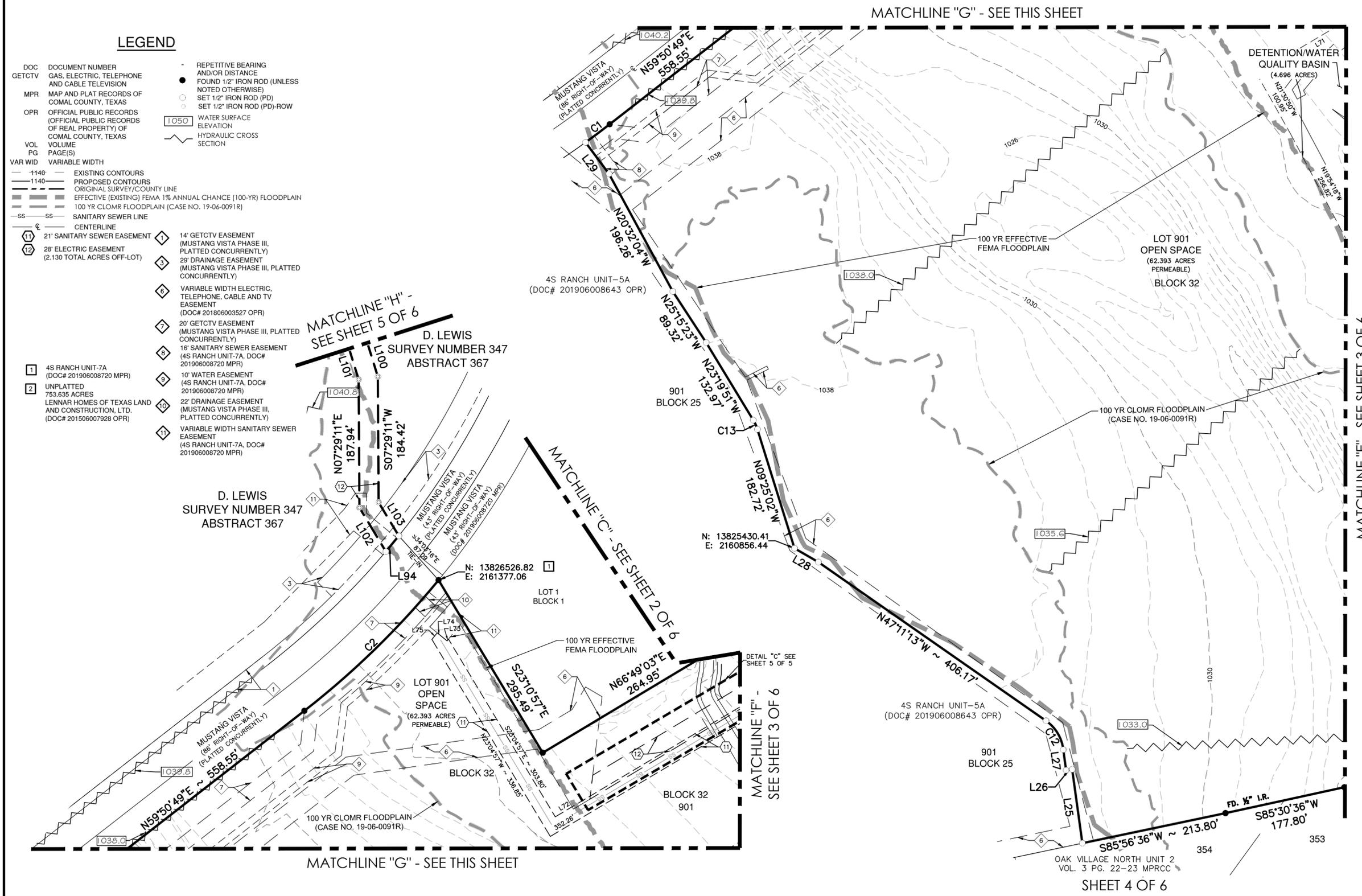
A 94.234 ACRE TRACT OF LAND INCLUSIVE OF A 1.235 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.



LOCATION MAP
 NOT-TO-SCALE

LEGEND

- | | | | |
|---------|---|------|---|
| DOC | DOCUMENT NUMBER | • | REPETITIVE BEARING AND/OR DISTANCE |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | ● | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD)-ROW |
| VOL PG | VOLUME PAGE(S) | 1050 | WATER SURFACE ELEVATION |
| VAR WID | VARIABLE WIDTH | — | HYDRAULIC CROSS SECTION |
| — 1140 | EXISTING CONTOURS | — | |
| — 1140 | PROPOSED CONTOURS | — | |
| — | ORIGINAL SURVEY/COUNTY LINE | — | |
| — | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN | — | |
| — | 100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R) | — | |
| — SS | SANITARY SEWER LINE | — | |
| — | CENTERLINE | — | |
| ⑪ | 21' SANITARY SEWER EASEMENT | ◇ | 14' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| ⑫ | 28' ELECTRIC EASEMENT (2.130 TOTAL ACRES OFF-LOT) | ◇ | 29' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| | | ◇ | VARIABLE WIDTH ELECTRIC, TELEPHONE, CABLE AND TV EASEMENT (DOC# 201806003527 OPR) |
| | | ◇ | 20' GETCTV EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| | | ◇ | 16' SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| | | ◇ | 10' WATER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |
| 1 | 4S RANCH UNIT-7A (DOC# 201906008720 MPR) | ◇ | 22' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY) |
| 2 | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) | ◇ | VARIABLE WIDTH SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR) |



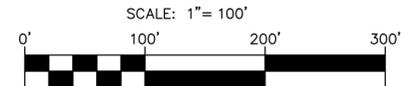
**SUBDIVISION PLAT
OF
4S RANCH, UNIT 7C**

A 94.234 ACRE TRACT OF LAND INCLUSIVE OF A 1.235 ACRE RIGHT-OF-WAY DEDICATION BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

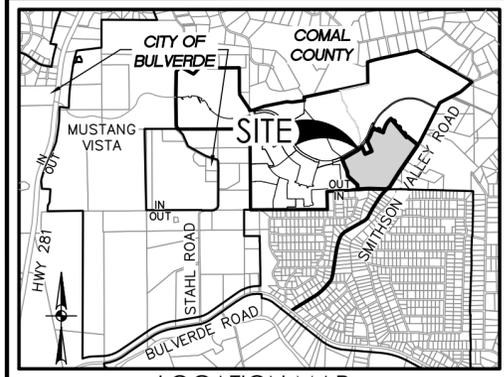
49.35 ACRES
BOOMER & COCO, LLC
A TEXAS LIMITED LIABILITY COMPANY
(DOC# 201706051125 OPR)



SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPB FIRM REGISTRATION #470 | TBPFS FIRM REGISTRATION #10028000
DATE OF PREPARATION: December 26, 2019



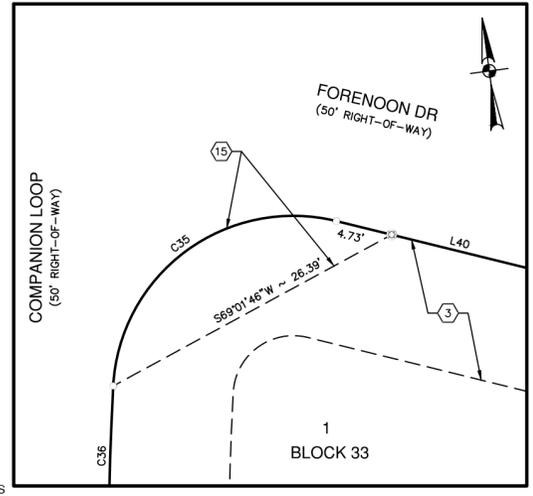
M. JAMISON
SURVEY NUMBER 697
ABSTRACT 298



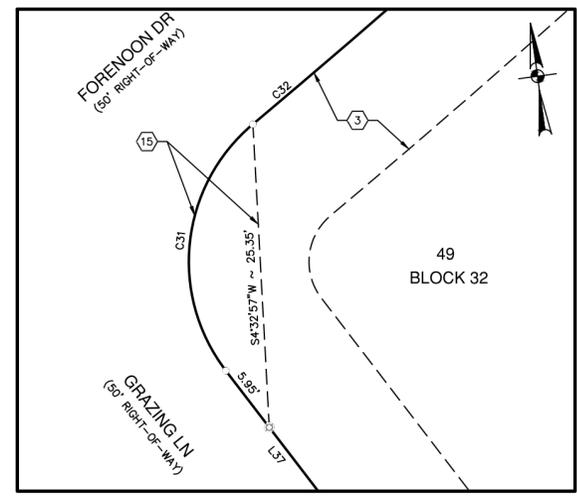
LOCATION MAP
NOT-TO-SCALE

LEGEND

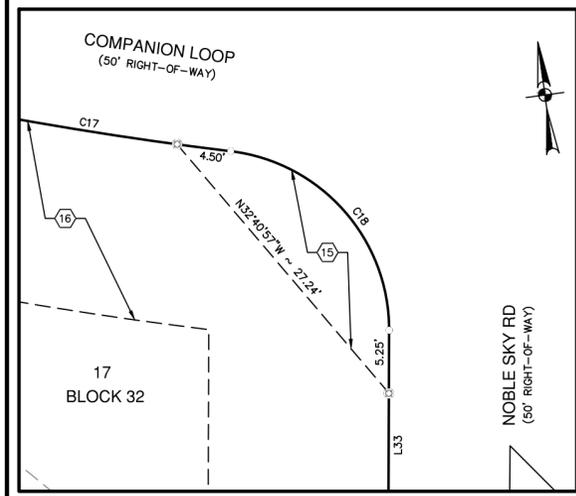
- | | | | |
|---------|---|------|---|
| DOC | DOCUMENT NUMBER | - | REPETITIVE BEARING AND/OR DISTANCE |
| GET/CTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | ● | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD) |
| OPR | OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS | ○ | SET 1/2" IRON ROD (PD)-ROW |
| VOL | VOLUME | 1050 | WATER SURFACE ELEVATION |
| PG | PAGE(S) | | HYDRAULIC CROSS SECTION |
| VAR WID | VARIABLE WIDTH | | |
| --- | 1140 | --- | EXISTING CONTOURS |
| --- | 1140 | --- | PROPOSED CONTOURS |
| --- | | --- | ORIGINAL SURVEY/COUNTY LINE |
| --- | | --- | EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN |
| --- | | --- | 100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R) |
| --- | | --- | CENTERLINE |
| 3 | 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | 2 | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 201506007928 OPR) |
| 12 | 28' ELECTRIC EASEMENT (2:130 TOTAL ACRES OFF-LOT) | | |
| 15 | VARIABLE WIDTH SANITARY SEWER EASEMENT | | |
| 16 | 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT | | |



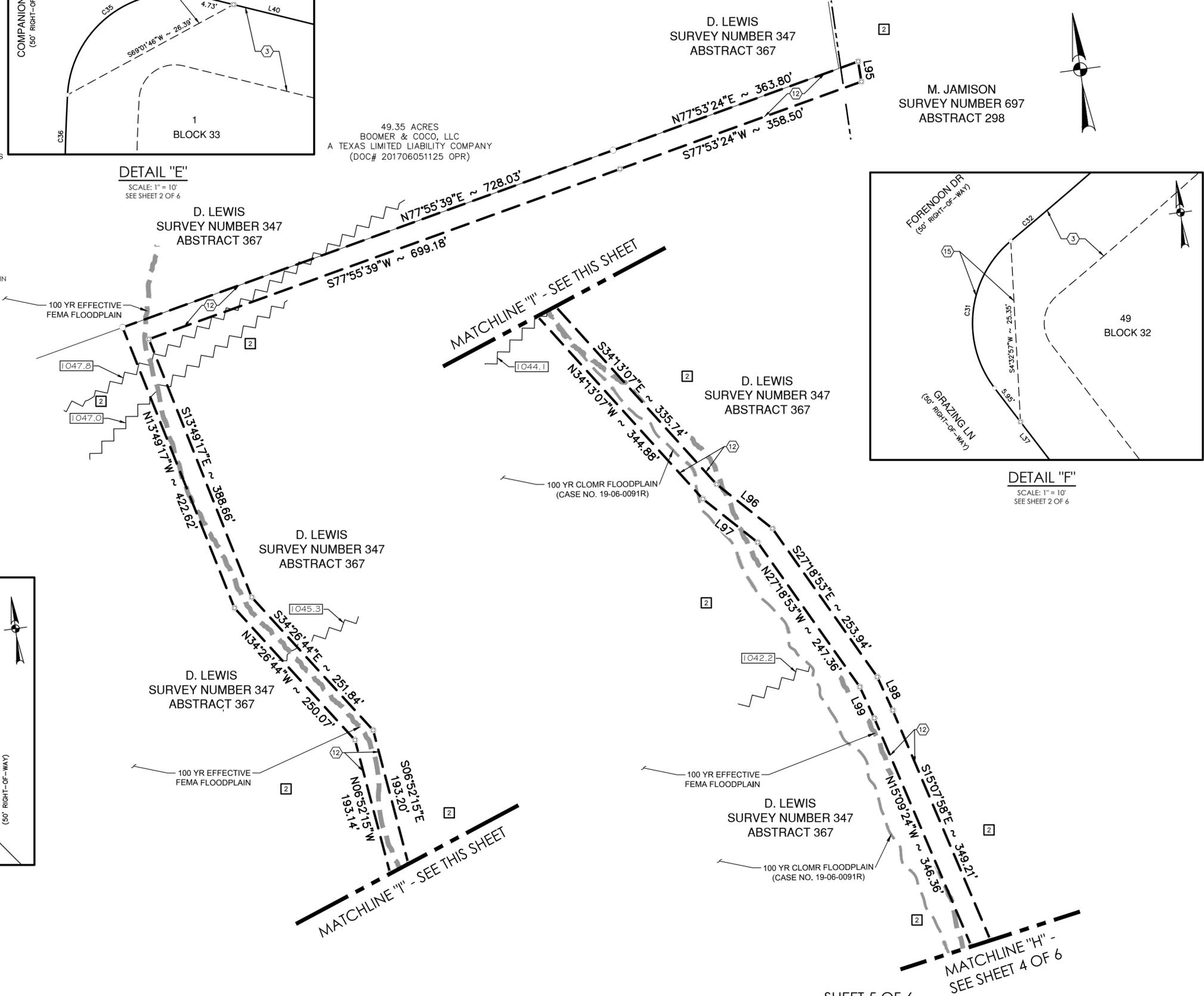
DETAIL "E"
SCALE: 1" = 10'
SEE SHEET 2 OF 6



DETAIL "F"
SCALE: 1" = 10'
SEE SHEET 2 OF 6

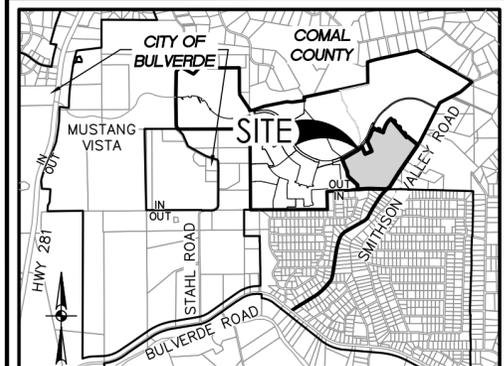


DETAIL "D"
SCALE: 1" = 10'
SEE SHEET 2 OF 6



**SUBDIVISION PLAT
 OF
 4S RANCH, UNIT 7C**

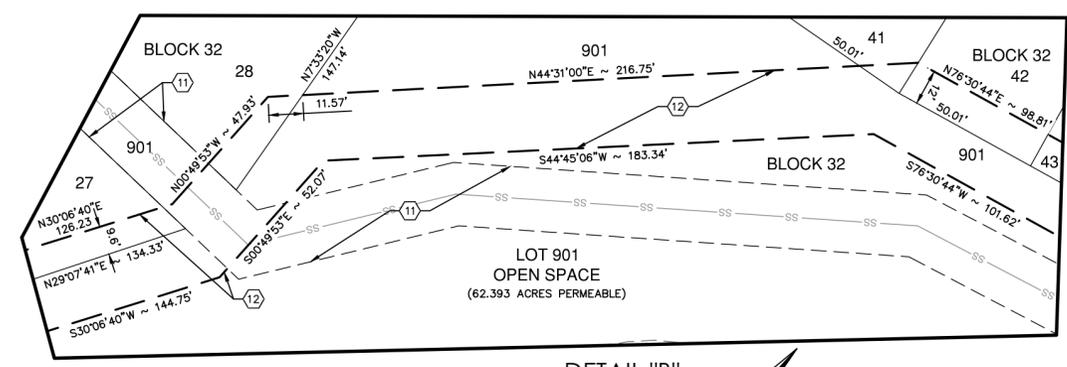
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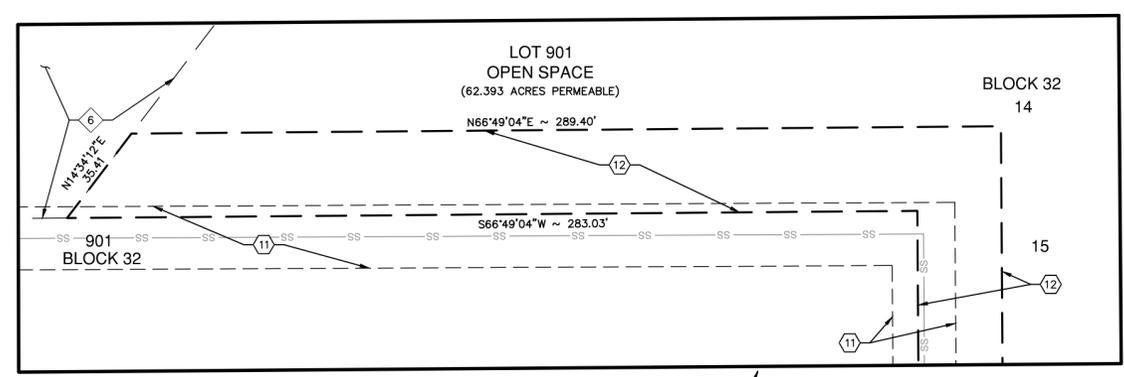
LOCATION MAP
 NOT-TO-SCALE

LEGEND

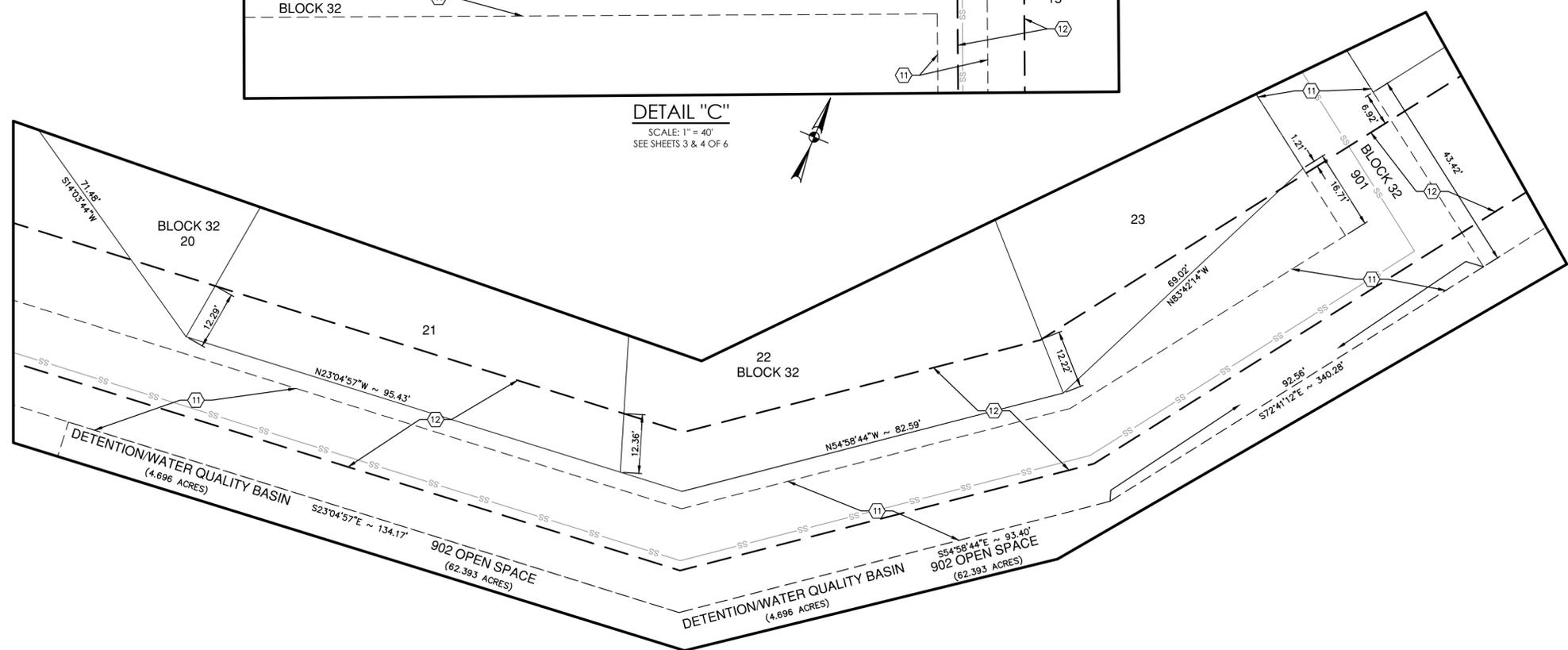
DOC	DOCUMENT NUMBER	VOL	VOLUME
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION	PG	PAGE(S)
MPR	MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS	VAR WID	VARIABLE WIDTH
OPR	OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS	-	REPETITIVE BEARING AND/OR DISTANCE
---	1140 EXISTING CONTOURS	●	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
---	1140 PROPOSED CONTOURS	○	SET 1/2" IRON ROD (PD)
---	ORIGINAL SURVEY/COUNTY LINE	○	SET 1/2" IRON ROD (PD)-ROW
---	EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN	⊠	EASEMENT P.I. POINT
---	100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R)		
SS	SANITARY SEWER LINE		
⊕	CENTERLINE		
⊠	21' SANITARY SEWER EASEMENT	⊠	VARIABLE WIDTH ELECTRIC, TELEPHONE, CABLE AND TV EASEMENT (DOC# 201806003527 OPR)
⊠	28' ELECTRIC EASEMENT (2.130 TOTAL ACRES OFF-LOT)		



DETAIL "B"
 SCALE: 1" = 40'
 SEE SHEETS 2 & 3 OF 6



DETAIL "C"
 SCALE: 1" = 40'
 SEE SHEETS 3 & 4 OF 6



DETAIL "G"
 SCALE: 1" = 20'
 SEE SHEET 3 OF 6



PLANNING AND ZONING COMMISSION ITEM:
PC-19-26
PRELIMINARY PLAT
MUSTANG VISTA PHASE IV & AMENITY
CENTER #2

MEETING DATE: January 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:

Consideration of a Preliminary Plat for Mustang Vista Phase IV & Amenity Center #2, generally located 1.0 miles southeast of the intersection of Mustang Vista and Stahl Lane.

APPLICANT:

Lennar Homes
1922 Dry Creek Way, Ste. 101
San Antonio, TX 78259

PROPERTY INFORMATION:

Owner: Lennar Homes
Legal Description: 8.611 ACRE TRACT OF LAND, SAID 8.611 ACRE TRACT OF LAND COMPRISED OF 8.223 ACRES BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD IN DEED RECORDED IN DOCUMENT 201506007928 AND 0.388 ACRES OFF-LOT EASEMENTS, BEING OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.
Size: 8.611 acres; 2 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Roadway & Non-Single Family

SUMMARY:

This is a proposed preliminary plat for Mustang Vista Phase IV & Amenity Center #2, for which a Development Agreement was approved in 2014 and Master Development Plan (MDP) subsequently approved in 2015.

This proposed Preliminary Plat is for approximately 8.611 acres establishes a roadway extension of the existing Mustang Vista, and a lot for an amenity center that will serve the Hidden Trails (4S Ranch) subdivision. The density class for this plat is High Density.

ANALYSIS:

The proposed subdivision lies completely outside the City Limits. Water service will be provided by the Canyon Lake Water Service Company. Sewer Service will be provided by the Guadalupe Blanco River Authority.

With approval of the Preliminary Plat, the developer will continue with the design of the subdivision phase. During design, some minor changes to the plat may occur to avoid conflicts, reduce slopes, etc. by slightly altering the roadway alignment. Such minor changes, provided they do not substantially deviate from the Preliminary Plat, will be incorporated into the Final Plat. The Planning and Zoning Commission will also review and approve the Final Plat. If there is a substantial deviation from the Preliminary Plat, then the developer will be required to submit a new Preliminary Plat for review and approval.

Halff Associates and the City of Bulverde Planning Department have reviewed the proposed preliminary plat and related required documents. All comments have been resolved.

Therefore, Staff recommends **APPROVAL**.

ATTACHMENTS:

Application
Preliminary Plat



APPLICATION FOR PRELIMINARY PLAT

Planning & Development Department
30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.bulverdetx.gov

ALL APPLICATIONS SHALL BE ACCEPTED BY APPOINTMENT ONLY DURING A PRE-APPLICATION CONFERENCE ON THE DATES SPECIFIED IN PAGE 2 OF THIS APPLICATION. TO SCHEDULE AN APPOINTMENT PLEASE CONTACT THE BULVERDE PLANNING & DEVELOPMENT DEPARTMENT.

1. Name of Subdivision: Mustang Vista Phase 4 & Amenlty Center #2 Unit No _____
Location Description/Nearest Intersection: Approximately 1.9 miles southeast of Mustang
Vista/Stahl Lane intersection

2. Owner/Applicant: Lennar Homes of Texas Land and Construction, LTD
Address: 1992 Dry Creek Way, Sulte 101, San Antonlo, TX 78259 Email: rlchard.mott@lennar.com
Telephone: (210) 889-5516 Fax: _____ Mobile: _____
Note: If applicant is person other than owner, a letter of authorizatton must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): Pape-Dawson Engineers, Inc.
Address: 2000 NW Loop 410, San Antonlo, TX 78213 Email: bspengler@pape-dawson.com
Telephone: (210) 375-9000 Fax: (210) 375-9010 Mobile: _____

4. Property Details:

City Limits:	<input type="checkbox"/> In <input checked="" type="checkbox"/> Out (ETJ)	Water Source:	<u>CLWSC</u>
Commercial:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Sewage Treatment:	<u>GBRA</u>
Residential:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
No. of Lots:	<u>2</u>	TxDOT Frontage:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Total Acreage without floodplain:	<u>8.61</u>	100-Year Floodplain:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Density Class:	<u>High</u>		
Zoning Class:	<u>Non-Single Family</u>	Edwards Aquifer Zone:	<input type="checkbox"/> Recharge <input type="checkbox"/> Contributing

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.

Signature of Owner/Applicant

11/5/19
Date

Fees on Page 2

Fees:

Preliminary Plats

- \$1250.00 + \$15.00 per lot single family; \$30.00 per acre for non-single family.

Traffic Impact Analysis (TIA) Review

- \$1250.00 - Minor TIA
- \$2500.00 - Major TIA

Drainage Analysis Review Tier 1

- \$750

Drainage Analysis Review Tier 2 single family residential

- \$1500 – (0-5 acres)
- \$2500 + \$10/lot – (5+ acres)

Drainage Analysis Review Tier 2 Commercial/Industrial/Multi-Family

- \$1750 - (0-5 acres)
- \$2500 + \$10/acre (5+ acres)

SUBMITTAL DATES: OCTOBER 2019 – DECEMBER 2020

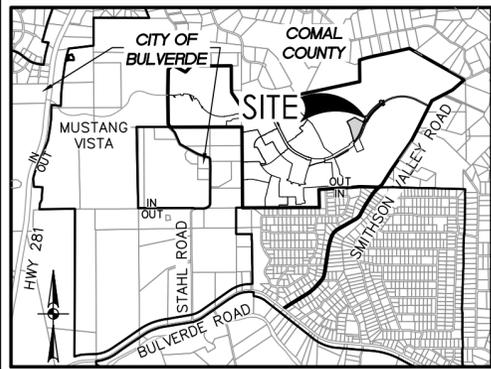
Planning & Zoning Meeting	City Council Meeting	Submittal Date
OCTOBER 10, 2019	NOVEMBER 12, 2019	SEPTEMBER 12, 2019
NOVEMBER 14, 2019	DECEMBER 10, 2019	OCTOBER 15, 2019
DECEMBER 12, 2019	JANUARY 14, 2020	NOVEMBER 13, 2019
JANUARY 16, 2020	FEBRUARY 11, 2020	DECEMBER 17, 2019
FEBRUARY 13, 2020	MARCH 10, 2020	JANUARY 15, 2020
MARCH 12, 2020	APRIL 14, 2020	FEBRUARY 11, 2020
APRIL 16, 2020	MAY 12, 2020	MARCH 17, 2020
MAY 14, 2020	JUNE 9, 2020	APRIL 14, 2020
JUNE 11, 2020	JULY 14, 2020	MAY 12, 2020
JULY 16, 2020	AUGUST 11, 2020	JUNE 16, 2020
AUGUST 13, 2020	SEPTEMBER 8, 2020	JULY 14, 2020
SEPTEMBER 10, 2020	OCTOBER 13, 2020	AUGUST 11, 2020
OCTOBER 15, 2020	NOVEMBER 10, 2020	SEPTEMBER 15, 2020
NOVEMBER 12, 2020	DECEMBER 8, 2020	OCTOBER 13, 2020
DECEMBER 10, 2020	JANUARY 12, 2021	NOVEMBER 10, 2020



Planning and Development Preliminary Plat Application Checklist

**ALL SUBMITTALS MUST FOLLOW THE FOLLOWING REQUIREMENTS TO BE
ACCEPTED BY THE CITY OF BULVERDE FOR INITIAL REVIEW**

- 2 Copies of the Preliminary Plat
- One electronic copy of each document required below and plat drawing(s) in PDF format.
- A check or money order for the platting fee, review fee and other required fees.
 - o Plat Application & Review Fee
 - o SWMP Review Fee
 - o TIA Fee
- 2 copies of the Utility Layout showing all proposed utilities and easements
- 2 copies of the Traffic Impact Analysis
- 1 copy of the approved Floodplain Development Permit from Comal County if subdivision includes property within the ETJ.
- 2 copies of the Drainage Study
- 2 copies of the Water Study and Water Supply Certification as applicable
- 2 copies of the Sewer Study as applicable
- 2 copies of the Environmental Assessment
- Certification by all utilities and that will provide service to the proposed subdivision and all entities with regulatory authority pertaining to the proposed subdivision including but not limited to the following.
 - o Electric Utility
 - o Gas Utility
 - o Public Water System
 - o Telephone Utility
 - o Cable TV Utility
 - o TxDOT
 - o TCEQ
 - o Other agencies or entities having jurisdiction
- Evidence that the applicant has submitted the information required above to the utilities and entities described above
- Variance Requests (if any)
- Original Tax Certificates
 - o City
 - o County
 - o School
- Letter of Agent or other power of attorney authorizing signature of Owner on plat
- Other applicable legal documents including deed restrictions, homeowner's association documents, etc.



LOCATION MAP
NOT-TO-SCALE

CLMR NOTE:

THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (CLMR) STUDY PREPARED BY PAPE-DAWSON ENGINEERS, INC. AND APPROVED BY FEMA ON FEBRUARY 26, 2019 (CASE NO. 19-06-0091R). WATER SURFACE ELEVATIONS SHOWN ARE BASED ON THE 100-YEAR CORRECTED EFFECTIVE MODEL FOR LEWIS CREEK FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

MINIMUM FINISHED FLOOR ELEVATION NOTE:

THE MAXIMUM WATER SURFACE ELEVATION DURING THE 100-YEAR STORM EVENT SHALL BE NO LESS THAN TWO FEET BELOW THE FINISHED FLOOR ELEVATION OF ADJACENT RESIDENTIAL DWELLING AND PUBLIC, COMMERCIAL, AND INDUSTRIAL BUILDINGS.

OPEN SPACE NOTE:

LOT 900, BLOCK 40, IS DESIGNATED AS OPEN SPACE AND AS A LANDSCAPE, DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT.

DETENTION AND RETENTION FACILITIES NOTE:

THE 100-YEAR WATER SURFACE ELEVATION IN THE STORAGE AREAS SHALL BE AT LEAST TWO FEET BELOW THE LOWEST FINISHED FLOOR ELEVATION IN THE AREAS TRIBUTARY TO THE STORMWATER DETENTION AND RETENTION FACILITIES.

**SUBDIVISION PLAT
OF
MUSTANG VISTA PHASE 4 &
AMENITY CENTER #2**

A 8.611 ACRE TRACT OF LAND, SAID 8.611 ACRE TRACT OF LAND COMPRISED OF 8.223 ACRES BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928 AND 0.388 ACRES OFF-LOT EASEMENTS, BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

C.P.S. NOTES:

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE ENERGY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES; TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERETO, IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
- ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

GBRA NOTES:

- GBRA (GUADALUPE-BLANCO RIVER AUTHORITY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
- TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
- OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN 10 FEET OF GBRA UTILITIES.
- DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
- MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
- CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 3/8" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON".
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NA 2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORRS NETWORK.
- DIMENSIONS SHOWN ARE SURFACE (SCALE FACTOR = 0.99983002889).
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

MISCELLANEOUS NOTE:

- FUTURE DEVELOPMENT IS SUBJECT TO THE CITY OF BULVERDE CODE OF ORDINANCES.
- CONTOURS SHOWN ARE BASED OFF OF AN ON THE GROUND SURVEY. THE DATUM USED TO GENERATE THE CONTOURS IS THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
- TOTAL LENGTH OF ROADWAY DEDICATION IN MUSTANG VISTA PHASE IV IS 1023 LINEAR FEET.
- MUSTANG VISTA PHASE IV & AMENITY CENTER #2 LIES WITHIN THE CITY OF BULVERDE'S ETJ AND WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF BULVERDE PLANNING COMMISSION.

EUGENE H. DAWSON III
LICENSED PROFESSIONAL ENGINEER
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

STATE OF TEXAS
COUNTY OF BEXAR

I, THE UNDERSIGNED ERIC J. SNELL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

ERIC J. SNELL
REGISTERED PROFESSIONAL LAND SURVEYOR, #6527
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

LINE TABLE		
LINE #	BEARING	LENGTH
L1	N66°22'45"W	43.00'
L2	N66°23'01"W	14.01'
L3	N59°49'11"W	10.00'
L4	N30°10'49"E	10.00'
L5	N59°49'11"W	33.68'
L6	S59°49'11"E	33.68'
L7	N30°10'49"E	10.00'
L8	S59°49'11"E	10.00'
L9	N39°53'04"W	10.00'
L10	N50°06'56"E	10.00'
L11	N39°53'04"W	33.77'
L12	S39°55'40"E	36.18'
L13	N50°06'56"E	9.97'
L14	S39°53'04"E	10.00'
L15	S35°52'55"E	14.00'
L16	S35°51'56"E	43.04'
L17	N66°23'01"W	14.01'

LINE TABLE		
LINE #	BEARING	LENGTH
L18	N39°53'04"W	10.00'
L19	S50°06'56"W	10.00'
L20	N39°53'04"W	20.26'
L21	S39°53'04"E	17.61'
L22	S50°06'56"W	10.00'
L23	S39°53'04"E	10.00'
L24	S35°28'56"E	14.00'
L25	N59°49'12"W	11.09'
L26	S59°49'11"E	11.09'
L27	S39°53'05"E	11.00'
L28	S39°55'40"E	10.24'
L29	N53°59'01"E	7.80'
L30	S35°52'00"E	43.00'
L31	N39°53'04"W	11.00'
L32	S39°53'06"E	10.79'
L33	N64°52'31"E	66.51'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	1543.00'	1°51'24"	N24°32'57"E	50.00'	50.00'
C2	1557.00'	3°03'48"	N26°59'33"E	83.23'	83.24'
C3	200.00'	1°29'56"	N59°04'13"W	5.23'	5.23'
C4	200.00'	1°29'56"	S60°34'10"E	5.23'	5.23'
C5	1557.00'	18°16'45"	N40°58'34"E	494.63'	496.73'
C6	200.00'	1°30'09"	N39°08'00"W	5.24'	5.24'
C7	200.00'	1°01'56"	S40°24'02"E	3.60'	3.60'
C8	1257.00'	0°29'56"	N53°54'42"E	10.94'	10.94'
C9	1243.00'	2°18'17"	N55°18'50"E	50.00'	50.00'
C10	1200.00'	2°23'14"	S55°21'22"W	50.00'	50.00'
C11	1200.00'	4°02'49"	S52°08'21"W	84.74'	84.76'
C12	1500.00'	26°29'41"	S36°52'06"W	687.47'	693.63'
C13	1443.00'	24°34'42"	S37°51'40"W	612.57'	617.26'
C14	200.00'	5°23'57"	N42°35'02"W	18.84'	18.85'
C15	200.00'	6°11'48"	S36°47'10"E	21.62'	21.63'
C16	1143.00'	0°30'05"	S54°16'03"W	10.00'	10.00'
C17	1157.00'	4°24'07"	N52°19'00"E	88.87'	88.89'
C18	1457.00'	24°31'41"	N37°51'05"E	618.99'	623.74'
C19	1543.00'	4°47'30"	N26°01'00"E	129.00'	129.04'
C20	13.00'	88°13'52"	N15°42'11"W	18.10'	20.02'
C21	13.00'	88°13'48"	N76°03'48"E	18.10'	20.02'
C22	1543.00'	18°10'03"	N41°01'54"E	487.21'	489.26'
C23	13.00'	90°00'00"	N5°06'56"E	18.38'	20.42'
C24	13.00'	90°31'34"	S80°56'06"E	18.47'	20.54'
C25	13.00'	89°49'46"	N84°47'53"W	18.36'	20.38'
C26	13.00'	94°02'53"	S7°08'22"W	19.02'	21.34'
C27	1543.13'	0°55'21"	N23°09'34"E	24.84'	24.84'
C28	1543.00'	1°12'02"	S22°05'53"W	32.33'	32.33'
C29	1157.00'	21°58'50"	S32°29'17"W	441.15'	443.86'
C30	7.75'	56°43'51"	N89°32'13"W	7.36'	7.67'
C31	1586.00'	0°52'54"	S22°25'28"W	24.40'	24.40'

STATE OF TEXAS
COUNTY OF BEXAR

KNOWN ALL MEN BY THESE PRESENTS:

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER, COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER: LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
BY: U.S. HOME CORPORATION,
A DELAWARE CORPORATION
ITS GENERAL PARTNER
BRIAN BARRON, VICE PRESIDENT
1922 DRY CREEK WAY, SUITE 101
SAN ANTONIO, TEXAS 78259

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRIAN BARRON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF COMAL

I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE _____ DAY OF _____, A.D. 20____, AT _____ M. AND DULY RECORDED THE _____ DAY OF _____, A.D. 20____, AT _____ M. IN THE RECORDS OF _____ OF COMAL COUNTY, IN BOOK/DOC # _____ ON PAGE _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____, A.D. 20____.

COUNTY CLERK, COMAL COUNTY, TEXAS

BY: _____, DEPUTY

THIS PLAT OF MUSTANG VISTA PHASE 4 & AMENITY CENTER #2 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF BULVERDE, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, YEAR _____

BY: _____
CHAIRPERSON

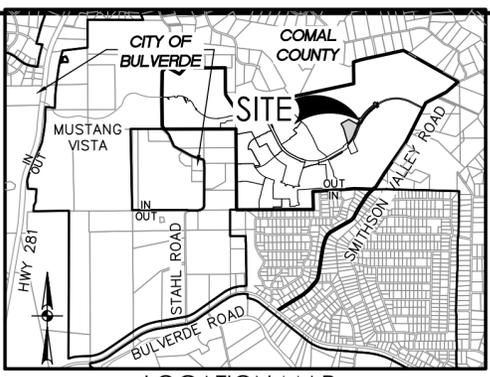
SUBDIVISION PLAT OF MUSTANG VISTA PHASE 4 & AMENITY CENTER #2

A 8.611 ACRE TRACT OF LAND, SAID 8.611 ACRE TRACT OF LAND COMPRISED OF 8.223 ACRES BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928 AND 0.388 ACRES OFF-LOT EASEMENTS, BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.



**PAPE-DAWSON
ENGINEERS**

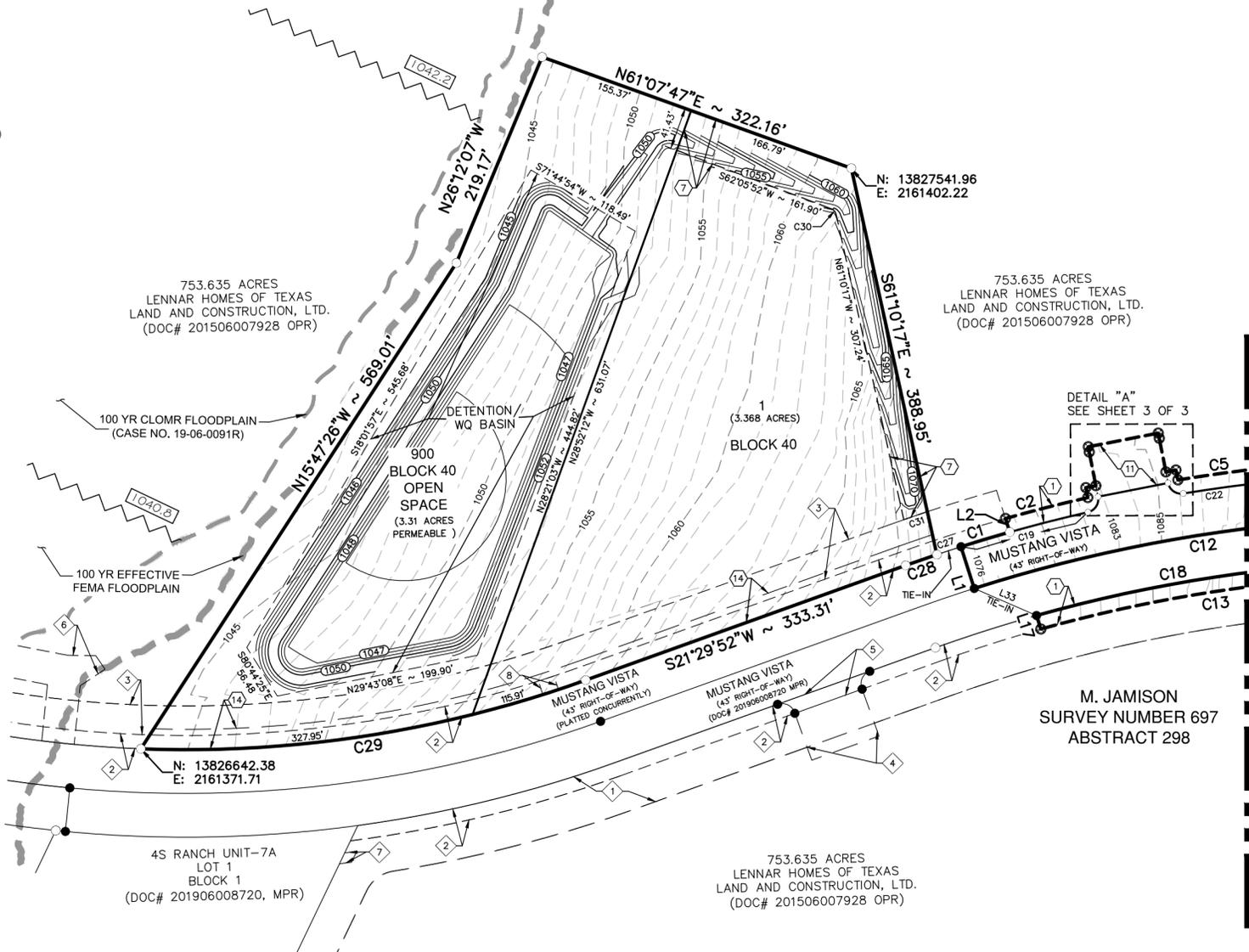
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBPE FIRM REGISTRATION #470 | TBPLS FIRM REGISTRATION #10028800
DATE OF PREPARATION: JULY 23, 2019



LOCATION MAP
NOT-TO-SCALE

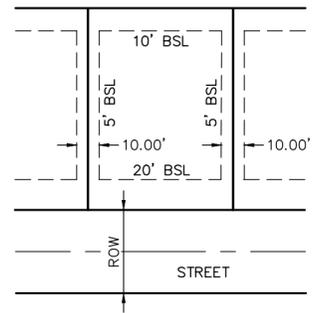
LEGEND

DOC	DOCUMENT NUMBER	VOL	VOLUME
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION	PG	PAGE(S)
MPR	MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS (SURVEYOR)	VAR WID	VARIABLE WIDTH
OPR	OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS	●	FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE)
		○	SET 1/2" IRON ROD (PD)
		○	SET 1/2" IRON ROD (PD)-ROW
		○	EASEMENT POINT OF INTERSECTION
---	1140 EXISTING CONTOURS	1050	WATER SURFACE ELEVATION
---	1140 PROPOSED CONTOURS		HYDRAULIC CROSS SECTION
---	CENTERLINE		
---	EFFECTIVE (EXISTING) FEMA 1% ANNUAL CHANCE (100-YR) FLOODPLAIN		
---	100 YR CLOMR FLOODPLAIN (CASE NO. 19-06-0091R)		
①	14" GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (0.563 ACRES TOTAL OFF LOT)	◇	VARIABLE WIDTH DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (DOC# 201906008720 MPR)
⑦	VARIABLE WIDTH DRAINAGE EASEMENT (0.347 TOTAL ACRES)	◇	14" GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (MUSTANG VISTA PHASE III PLAT PLATTED CONCURRENTLY)
⑪	70" X 50" SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.240 ACRES TOTAL OFF LOT)	◇	20' DRAINAGE EASEMENT (MUSTANG VISTA PHASE III PLAT PLATTED CONCURRENTLY)
⑬	20' BUILDING SETBACK	◇	VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (MUSTANG VISTA PHASE III PLAT PLATTED CONCURRENTLY)
		◇	14" RIGHT-OF-WAY DEDICATION (MUSTANG VISTA PHASE III PLAT PLATTED CONCURRENTLY)
		◇	10' WATER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 MPR)
		◇	VAR WID DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (4S RANCH UNIT-7A, DOC# 201906008720 MPR)
		◇	16" X 14" DRAINAGE EASEMENT (MUSTANG VISTA PHASE III, PLATTED CONCURRENTLY)



TYPICAL BUILDING SET-BACKS

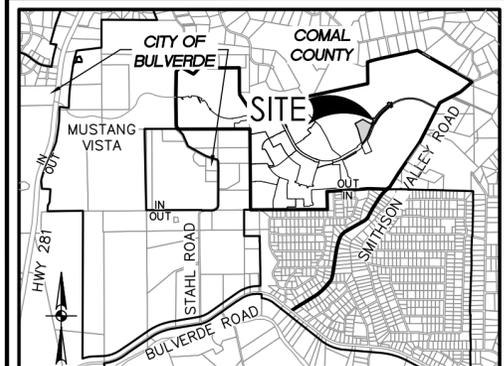
FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



MATCHLINE "A" - SEE SHEET 3 OF 3

**SUBDIVISION PLAT
 OF
 MUSTANG VISTA PHASE 4 &
 AMENITY CENTER #2**

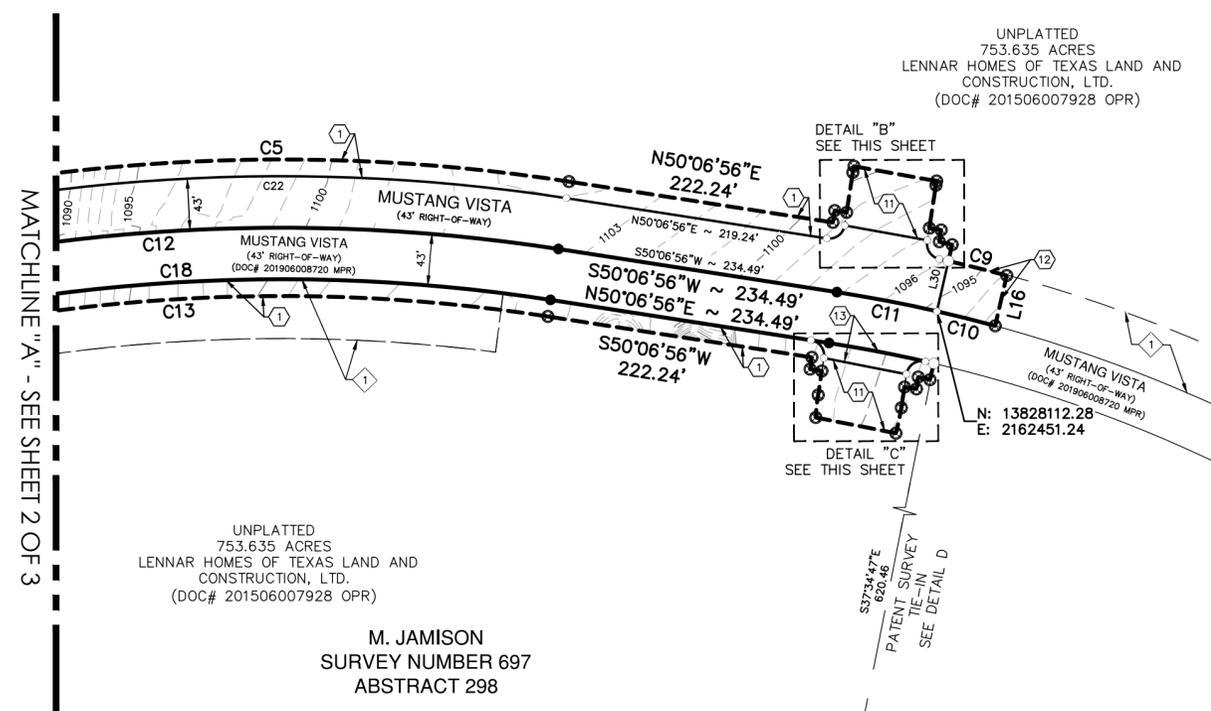
A 8.611 ACRE TRACT OF LAND, SAID 8.611 ACRE TRACT OF LAND COMPRISED OF 8.223 ACRES BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928 AND 0.388 ACRES OFF-LOT EASEMENTS, BEING OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.



LOCATION MAP
 NOT-TO-SCALE

LEGEND

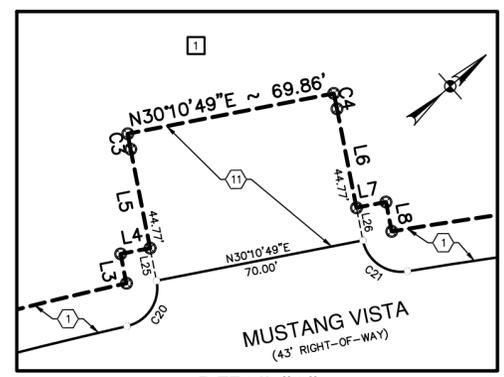
- | | | | |
|--------|---|---------|----------------|
| DOC | DOCUMENT NUMBER | VOL | VOLUME |
| GETCTV | GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION | PG | PAGE(S) |
| MPR | MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS(SURVEYOR) | VAR WID | VARIABLE WIDTH |
-
- | | | | |
|----------|--|---|---|
| — 1140 — | EXISTING CONTOURS | ● | FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) |
| — 1140 — | PROPOSED CONTOURS | ○ | SET 1/2" IRON ROD (PD) |
| — — — | CENTERLINE | ○ | SET 1/2" IRON ROD (PD)-ROW |
| ① | 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (0.563 ACRES TOTAL OFF LOT) | ○ | EASEMENT POINT OF INTERSECTION |
| ⑪ | 70' X 50' SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.240 ACRES TOTAL OFF LOT) | □ | UNPLATTED 753.635 ACRES LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD. (DOC# 2015-060-07928 OPR) |
| ⑫ | VARIABLE WIDTH SANITARY SEWER, WATER, ELECTRIC, GAS, CABLE TELEVISION AND DRAINAGE EASEMENT TO EXPIRE UPON INCORPORATION INTO FUTURE PLAT (0.049 ACRES OFF LOT) | | |
| ⑬ | 14' RIGHT-OF-WAY DEDICATION (0.024 ACRES TOTAL) | | |



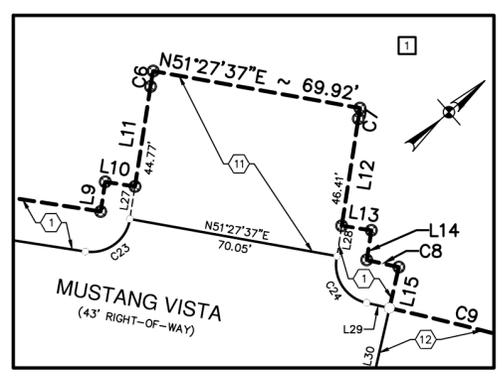
MATCHLINE "A" - SEE SHEET 2 OF 3

UNPLATTED
 753.635 ACRES
 LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
 (DOC# 201506007928 OPR)

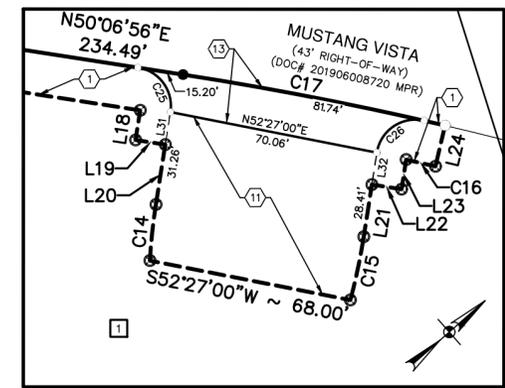
M. JAMISON
 SURVEY NUMBER 697
 ABSTRACT 298



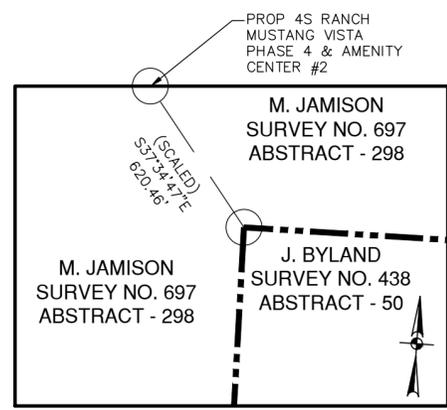
DETAIL "A"
 SCALE: 1" = 40'
 SEE SHEET 2 OF 3



DETAIL "B"
 SCALE: 1" = 40'
 SEE THIS SHEET



DETAIL "C"
 SCALE: 1" = 40'
 SEE THIS SHEET



DETAIL "D"
 SCALE: 1" = 40'
 SEE THIS SHEET



PLANNING AND ZONING COMMISSION ITEM:
PC-19-13
FINAL PLAT
4S RANCH, UNIT 6B

MEETING DATE: January 16, 2020
DEPARTMENT: Planning & Development
PRESENTED BY: Susana Ramos, AICP, Planning Director

REQUEST:

Consideration of a Preliminary Plat for 4S Ranch Subdivision Unit 6B, generally located 1.1 miles southeast of the intersection of Mustang Vista and Stahl Lane.

APPLICANT:

Lennar Homes
1922 Dry Creek Way, Ste. 101
San Antonio, TX 78259

PROPERTY INFORMATION:

Owner: Lennar Homes
Legal Descrp: BEING 27.43 ACRES OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD IN DEED RECORDED IN DOCUMENT 201506007928 OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS. OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.
Size: 27.43 acres; 52 lots
Existing Land Use: Undeveloped
Existing Zoning: Extraterritorial Jurisdiction (ETJ)
Proposed Land-Use: Single Family Residential

SUMMARY:

This is a proposed preliminary plat for Unit 6B of the 4S Ranch development, for which a Development Agreement was approved in 2014 and Master Development Plan (MDP) subsequently approved in 2015.

This proposed Preliminary Plat is for approximately 27.43 acres of vacant property and establishes 52 single family residential lots. The density class for this plat is High Density.

ANALYSIS:

The proposed subdivision lies completely outside the City Limits. Water service will be provided by the Canyon Lake Water Service Company. Sewer Service will be provided by the Guadalupe Blanco River Authority.

Half Associates and the City of Bulverde Planning Department have reviewed the proposed preliminary plat and related required documents. All comments have been resolved.

Therefore, Staff recommends **APPROVAL**.

ATTACHMENTS:

Application

Final Plat



Application for Plat

30360 Cougar Bend, Bulverde, TX 78163
Telephone: 830-438-3612 - Fax: 830-438-4339
www.ci.bulverde.tx.us

Check one: Master Plan Final Plat Vacating Plat Replat without Vacating Amending Plat

1. Name of Subdivision: _____ Unit No _____
Location Description/Nearest Intersection: _____

2. Owner/Applicant: _____
Address: _____ Email: _____
Telephone: _____ Fax: _____ Mobile: _____
Note: If applicant is person other than owner, a letter of authorization must be provided from owner.

3. Licensed Engineer/Surveyor (technical contact): _____
Address: _____ Email: _____
Telephone: _____ Fax: _____ Mobile: _____

4. Property Details:

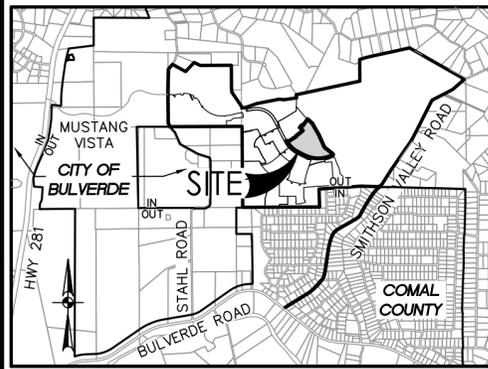
City Limits:	<input type="checkbox"/> In <input type="checkbox"/> Out (ETJ)	Water Source:	_____
Commercial:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Sewage Treatment:	_____
Residential:	<input type="checkbox"/> Yes <input type="checkbox"/> No	TxDOT Frontage:	<input type="checkbox"/> Yes <input type="checkbox"/> No
No. of Lots:	_____	100-Year Floodplain:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Total Acreage without floodplain:	_____	Roadways Planned:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Smallest Lot:	_____	Edwards Aquifer Zone:	<input type="checkbox"/> Recharge
Density Class:	_____		<input type="checkbox"/> Contributing
Zoning Class:	_____		

The undersigned agrees to comply with all platting and subdivision requirements of the City of Bulverde, and hereby authorizes the surveyor/engineer to record the approved final plat. The undersigned agrees to pay the appropriate fees as outlined in the Planning and Development Fee Schedule and agrees to pay fees for any additional review requiring consultation with City Consultants, including involvement of a contract engineer in a predevelopment conference. To the extent possible, City Staff will provide the Owner/Applicant with an estimate of fees should outside consultation be required.

Signature of Owner/Applicant _____
Date

Fees:

Master Plans/Preliminary Plats \$400.00 + \$5.00 for each acre	Replats requiring notice \$500.00 + \$3.00 for each acre -\$40.00 if the replat does not increase the number of lots -\$40.00 if the replat does not increase water/sewer units -\$40.00 if the replat does not increase impervious cover
Final Plats \$500.00 + \$3.00 for each acre	Construction Plan Review Fees \$700.00 + \$0.12 for each linear foot of improvements
Amending Plats and Replats not requiring notice \$200.00 + \$5.00 for each acre -\$25.00 if the replat does not increase the number of lots -\$25.00 if the replat does not increase water/sewer units -\$25.00 if the replat does not increase impervious cover	Minor Traffic Impact Analysis Review Fee \$400.00
	Major Traffic Impact Analysis Review Fee \$800.00



LOCATION MAP
NOT-TO-SCALE

OPEN SPACE NOTE:

LOT 902, BLOCK 8, LOT 902, BLOCK 10, AND LOT 901, BLOCK 12 ARE DESIGNATED AS OPEN SPACE AND AS A LANDSCAPE, DRAINAGE, SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT.

MINIMUM FINISHED FLOOR ELEVATION NOTE:

THE MAXIMUM WATER SURFACE ELEVATION DURING THE 100-YEAR STORM EVENT SHALL BE NO LESS THAN TWO FEET BELOW THE FINISHED FLOOR ELEVATION OF ADJACENT RESIDENTIAL DWELLING AND PUBLIC, COMMERCIAL, AND INDUSTRIAL BUILDINGS.

C.P.S. NOTES:

- THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC AND GAS SYSTEM (CITY PUBLIC SERVICE ENERGY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR ELECTRIC AND GAS DISTRIBUTION AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "GAS EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," AND "TRANSFORMER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING POLES, HANGING OR BURYING WIRES, CABLES, CONDUITS, PIPELINES OR TRANSFORMERS, EACH WITH ITS NECESSARY APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AREAS, AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF SAID LINES OR APPURTENANCES THERETO. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN SAID EASEMENT AREA.
- ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENT, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATION.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.
- CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY REAR LOT UNDERGROUND ELECTRIC AND GAS FACILITIES.
- ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) FOOT WIDE ELECTRIC, GAS, TELEPHONE AND CABLE T.V. EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC, GAS, TELEPHONE AND CABLE T.V. FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) FOOT WIDE EASEMENTS.

GBRA NOTES:

- GBRA (GUADALUPE-BLANCO RIVER AUTHORITY) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, INSPECTING, REPAIRING, REMOVING, AND RELOCATING BURIED AND/OR EXPOSED SANITARY SEWER FACILITIES AND APPURTENANCES.
- TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS, GBRA SHALL HAVE THE RIGHT TO REMOVE SAID LANDS OF ALL TREES OR PARTS THEREOF, OR ANY OTHER OBSTRUCTIONS WHICH MAY ENDANGER, OR INTERFERE WITH MAINTENANCE OF, THE FACILITIES AND APPURTENANCES.
- OTHER UTILITIES, STRUCTURES, GRADING, DRAINAGE, DETENTION/RETENTION PONDS, LANDSCAPING, TREES, ROADS, PARKING LOTS, FENCES, WALLS, CONSTRUCTION OF ANY TYPE, OR ANY OTHER IMPROVEMENTS OR OBSTRUCTIONS, ARE NOT ALLOWED WITHIN 10 FEET OF GBRA UTILITIES.
- DESIGNS FOR ANY PROPOSED ALTERATIONS OR CROSSINGS OF GBRA EASEMENTS OR GBRA UTILITIES MUST BE APPROVED IN WRITING BY GBRA AND THE INSTALLATION OF SUCH MUST BE INSPECTED AND APPROVED BY GBRA.
- MAINTENANCE OF EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE PROPERTY OWNER MUST INSTALL 16 FOOT GATES IN ANY FENCES THAT CROSS GBRA UTILITIES; GATES MUST BE CENTERED ACROSS GBRA UTILITIES.
- CUSTOMER SANITARY SEWER SERVICES SHALL NOT BE INSTALLED WITHIN FENCED AREAS.

SURVEYOR'S NOTES:

- MONUMENTS WERE FOUND OR SET AT EACH CORNER OF THE SURVEY BOUNDARY OF THE SUBDIVISION AS NOTED. MONUMENTS AND LOT MARKERS WILL BE SET WITH 1/2" IRON ROD WITH CAP MARKED "PAPE-DAWSON" OR MAG NAIL WITH DISK MARKED "PAPE-DAWSON".
- COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NA 2011) EPOCH 2010.00 FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORP NETWORK.
- DIMENSIONS SHOWN ARE SURFACE (SCALE FACTOR = 0.99983002889).
- BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.

MISCELLANEOUS NOTE:

- FUTURE DEVELOPMENT IS SUBJECT TO THE CITY OF BULVERDE CODE OF ORDINANCES.
- CONTOURS SHOWN ARE BASED OFF OF AN ON THE GROUND SURVEY. THE DATUM USED TO GENERATE THE CONTOURS IS THE NORTH AMERICAN DATUM OF 1983 NAD83 (NA2011) EPOCH 2010.00, FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
- TOTAL LENGTH OF ROADWAY DEDICATION IN 4S RANCH UNIT-6B IS 3.585 LINEAR FEET.
- 4S RANCH UNIT-6B LIES WITHIN THE CITY OF BULVERDE'S ETJ AND WITHIN THE EDWARDS AQUIFER CONTRIBUTING ZONE.

STATE OF TEXAS
COUNTY OF COMAL

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE CODE OF ORDINANCES, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF BULVERDE PLANNING COMMISSION.

EUGENE H. DAWSON III
LICENSED PROFESSIONAL ENGINEER
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

STATE OF TEXAS
COUNTY OF BEXAR

I, THE UNDERSIGNED ERIC J. SNELL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE UNDER MY SUPERVISION AND IN COMPLIANCE WITH CITY AND STATE SURVEY REGULATIONS AND LAWS AND MADE ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

ERIC J. SNELL
REGISTERED PROFESSIONAL LAND SURVEYOR, #6527
PAPE-DAWSON ENGINEERS, INC.
2000 NW LOOP 410
SAN ANTONIO, TEXAS 78213

CLOMR NOTE:

THE 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN LIMITS SHOWN ON THIS PLAT WERE DELINEATED BASED UPON A CONDITIONAL LETTER OF MAP REVISION (CLOMR) STUDY PREPARED BY PAPE-DAWSON ENGINEERS, INC. AND APPROVED BY FEMA ON FEBRUARY 26, 2019 (CASE NO. 19-06-0091R). WATER SURFACE ELEVATIONS SHOWN ARE BASED ON THE 100-YEAR CORRECTED EFFECTIVE MODEL FOR LEWIS CREEK FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.

**SUBDIVISION PLAT
OF
4S RANCH, UNIT-6B**

BEING 27.43 ACRES OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C1	707.00'	0°29'50"	N30°09'19"W	6.14'	6.14'
C2	225.00'	10°53'44"	S53°51'25"E	42.72'	42.79'
C3	1157.00'	44°52'58"	S84°22'31"W	883.34'	906.34'
C4	13.00'	92°25'32"	N26°58'14"W	18.77'	20.97'
C5	13.00'	92°23'02"	S65°26'03"W	18.76'	20.96'
C6	1157.00'	5°36'19"	N65°34'16"W	113.15'	113.19'
C7	957.00'	19°35'53"	N52°58'10"W	325.75'	327.34'
C8	13.00'	93°11'35"	N3°25'34"E	18.89'	21.14'
C9	13.00'	93°10'29"	N83°55'43"W	18.89'	21.14'
C10	957.00'	6°56'15"	N33°52'21"W	115.80'	115.87'
C11	707.00'	32°21'52"	S46°35'10"E	394.07'	399.36'
C12	907.00'	5°30'46"	S65°31'30"E	87.24'	87.27'
C13	15.00'	92°32'36"	N65°30'51"E	21.68'	24.23'
C14	75.00'	43°29'43"	N2°30'19"W	55.58'	56.94'
C15	15.00'	90°00'00"	N69°15'11"W	21.21'	23.56'
C16	225.00'	75°04'11"	N76°43'06"W	274.16'	294.80'
C17	175.00'	75°04'11"	S76°43'06"E	213.24'	229.29'
C18	15.00'	90°00'00"	N20°44'49"E	21.21'	23.56'
C19	175.00'	12°47'25"	N30°38'53"W	38.98'	39.07'
C20	882.00'	201°7'08"	S52°37'32"E	310.64'	312.27'
C21	175.00'	25°44'02"	N49°54'37"W	77.94'	78.60'
C22	225.00'	3°28'21"	N61°02'28"W	13.63'	13.64'
C23	175.00'	3°28'21"	S61°02'28"E	10.60'	10.61'
C24	225.00'	25°44'05"	S49°54'37"E	100.21'	101.06'
C25	337.00'	1°30'49"	S25°00'35"E	8.90'	8.90'
C26	225.00'	12°47'25"	S30°38'53"E	50.12'	50.23'
C27	125.00'	43°29'43"	S2°30'19"E	92.63'	94.89'

CURVE TABLE					
CURVE #	RADIUS	DELTA	CHORD BEARING	CHORD	LENGTH
C28	15.00'	92°35'49"	S27°03'22"E	21.69'	24.24'
C29	907.00'	30°25'19"	S88°29'54"E	475.95'	481.58'
C30	15.00'	53°38'55"	N49°27'59"E	13.54'	14.05'
C31	50.00'	284°00'26"	S15°21'15"E	61.56'	247.84'
C32	15.00'	50°29'39"	N78°35'52"W	12.80'	13.22'
C33	957.00'	26°08'10"	S89°13'24"W	432.77'	436.55'
C34	957.00'	4°34'04"	N75°25'31"W	76.28'	76.30'
C35	15.00'	87°37'01"	S63°03'03"W	20.77'	22.94'
C36	15.00'	10°00'00"	S14°15'47"W	2.61'	2.62'
C37	200.00'	10°00'00"	S14°15'47"W	34.86'	34.91'
C38	200.00'	10°00'00"	N24°15'47"E	34.86'	34.91'
C39	15.00'	10°00'00"	N24°15'47"E	2.61'	2.62'
C40	15.00'	87°39'58"	N24°35'26"W	20.78'	22.95'
C41	957.00'	5°39'19"	N65°35'44"W	94.42'	94.46'
C42	757.00'	19°32'33"	N52°59'50"W	256.95'	258.20'
C43	15.00'	87°01'48"	N86°44'27"W	20.66'	22.78'
C44	15.00'	10°00'00"	S44°44'39"W	2.61'	2.62'
C45	200.00'	10°00'00"	S44°44'39"W	34.86'	34.91'
C46	200.00'	10°00'00"	N54°44'39"E	34.86'	34.91'
C47	15.00'	10°00'00"	N54°44'39"E	2.61'	2.62'
C48	15.00'	87°01'48"	N61°34'55"E	20.66'	22.78'
C49	757.00'	0°21'00"	N37°06'39"W	4.63'	4.63'
C50	757.00'	6°31'55"	N33°40'11"W	86.25'	86.30'
C51	1082.00'	5°04'05"	S65°18'09"E	95.68'	95.71'
C52	1082.00'	30°49'01"	N86°52'58"E	574.97'	581.96'
C53	1082.00'	5°06'55"	S75°09'03"E	96.57'	96.60'

LINE TABLE		
LINE #	BEARING	LENGTH
L1	N41°35'27"E	127.18'
L2	N30°41'43"E	50.00'
L3	S28°49'43"E	60.40'
L4	N70°47'11"W	70.00'
L5	N40°15'33"W	70.00'
L6	N39°11'00"W	23.80'
L7	S39°11'00"E	8.46'
L8	N62°46'38"W	52.80'
L9	S62°46'38"E	52.80'
L10	S19°14'33"W	51.90'
L11	S9°15'47"W	38.78'
L12	S19°12'27"W	44.39'
L13	N19°12'27"E	44.45'
L14	N29°15'47"E	38.78'
L15	N19°14'33"E	51.85'
L16	S49°44'32"W	51.90'
L17	S39°44'39"W	38.78'
L18	S49°44'46"W	44.33'
L19	N49°44'48"E	44.33'
L20	N59°44'39"E	38.78'

LINE TABLE		
LINE #	BEARING	LENGTH
L21	N49°44'32"E	51.90'
L22	N78°27'44"E	60.04'
L23	N82°51'05"E	59.74'
L24	N87°14'33"E	60.09'
L25	S88°21'19"E	60.05'
L26	S84°00'05"E	58.78'
L27	N62°46'06"W	2.43'
L28	S53°52'53"E	37.07'
L29	N50°49'15"E	50.00'
L30	S62°31'55"E	59.19'
L31	S53°15'48"E	85.55'
L32	S40°11'46"E	76.19'
L33	S37°09'56"E	60.33'
L34	S37°04'31"E	60.00'
L35	S35°50'06"E	73.07'
L36	S63°51'23"W	22.13'
L37	S26°08'37"E	16.00'
L38	N63°51'23"E	27.34'
L39	N60°16'43"E	16.98'
L40	S29°43'17"E	12.00'

STATE OF TEXAS
COUNTY OF BEXAR

KNOWN ALL MEN BY THESE PRESENTS:

THE OWNERS OF THE LAND SHOWN ON THIS PLAT WHOSE NAMES ARE SUBSCRIBED HERETO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, PARKS, WATER, COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

OWNER/DEVELOPER: LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION, LTD.
A TEXAS LIMITED PARTNERSHIP
BY: U.S. HOME CORPORATION,
A DELAWARE CORPORATION
ITS GENERAL PARTNER
BRIAN BARRON, VICE PRESIDENT
1922 DRY CREEK WAY, SUITE 101
SAN ANTONIO, TEXAS 78259

STATE OF TEXAS
COUNTY OF BEXAR

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRIAN BARRON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF _____, A.D. 20____.

NOTARY PUBLIC, BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF COMAL

I, _____, COUNTY CLERK OF COMAL COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT WAS FILED FOR RECORD IN THE MAP AND PLAT RECORDS, DOC # _____ OF COMAL COUNTY ON THE _____ DAY OF _____, A.D. 20____, AT _____ M.

COUNTY CLERK, COMAL COUNTY, TEXAS

BY: _____, DEPUTY

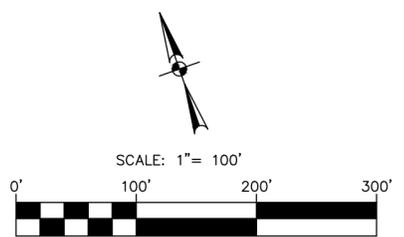
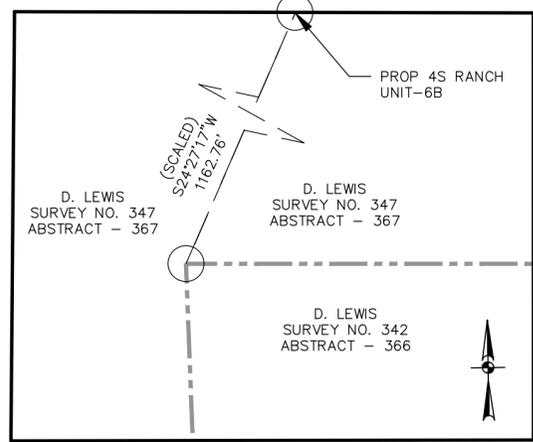
THIS PLAT OF 4S RANCH, UNIT-6B HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF BULVERDE, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, YEAR _____

BY: _____
CHAIRPERSON

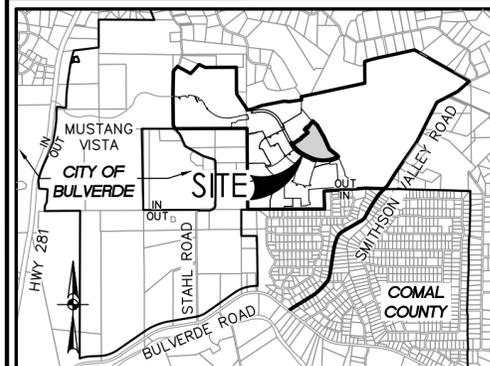
SUBDIVISION PLAT OF 4S RANCH, UNIT-6B

BEING 27.43 ACRES OUT OF THAT 753.635 ACRES CONVEYED TO LENNAR HOMES OF TEXAS LAND AND CONSTRUCTION LTD IN DEED RECORDED IN DOCUMENT 201506007928, OF THE OFFICIAL PUBLIC RECORDS OF COMAL COUNTY, TEXAS, OUT OF THE D. LEWIS SURVEY NUMBER 347, ABSTRACT 367, IN COMAL COUNTY, TEXAS.



**PAPE-DAWSON
ENGINEERS**

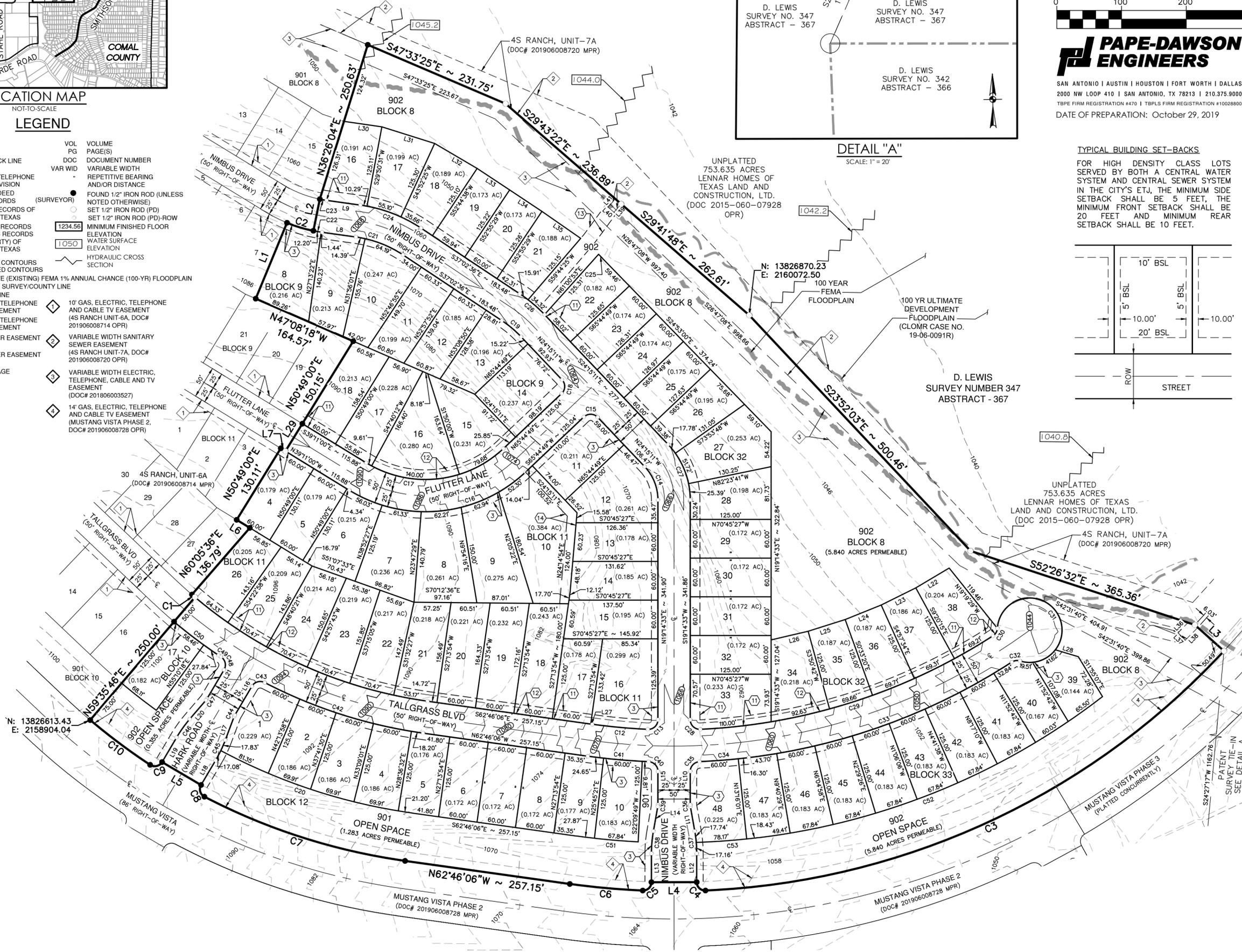
SAN ANTONIO | AUSTIN | HOUSTON | FORT WORTH | DALLAS
2000 NW LOOP 410 | SAN ANTONIO, TX 78213 | 210.375.9000
TBP# FIRM REGISTRATION #470 | TBP#LS FIRM REGISTRATION #10028800
DATE OF PREPARATION: October 29, 2019



LOCATION MAP
NOT-TO-SCALE

LEGEND

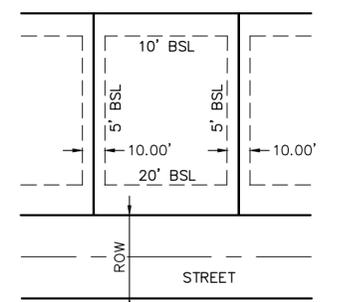
- | | |
|---|--|
| <ul style="list-style-type: none"> AC ACRE(S) BLK BLOCK BSL BUILDING SETBACK LINE ROW RIGHT-OF-WAY GETCTV GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION CCPR COMAL COUNTY DEED AND PUBLIC RECORDS (SURVEYOR) MPR MAP AND PLAT RECORDS OF COMAL COUNTY, TEXAS OPR OFFICIAL PUBLIC RECORDS (OFFICIAL PUBLIC RECORDS OF REAL PROPERTY) OF COMAL COUNTY, TEXAS 1140 EXISTING CONTOURS 1149 PROPOSED CONTOURS 3 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT 11 15' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT 12 10' SANITARY SEWER EASEMENT 13 21' SANITARY SEWER EASEMENT 14 14' PRIVATE DRAINAGE EASEMENT | <ul style="list-style-type: none"> VOL VOLUME PG PAGE(S) DOC DOCUMENT NUMBER VAR WID VARIABLE WIDTH ● FOUND 1/2" IRON ROD (UNLESS NOTED OTHERWISE) ○ SET 1/2" IRON ROD (PD) ○ SET 1/2" IRON ROD (PD)-ROW 1234.56 MINIMUM FINISHED FLOOR ELEVATION 1050 WATER SURFACE ELEVATION HYDRAULIC CROSS SECTION 1 10' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (4S RANCH UNIT-6A, DOC# 201906008714 OPR) 2 VARIABLE WIDTH SANITARY SEWER EASEMENT (4S RANCH UNIT-7A, DOC# 201906008720 OPR) 3 VARIABLE WIDTH ELECTRIC, TELEPHONE, CABLE AND TV EASEMENT (DOC# 201806003527) 4 14' GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT (MUSTANG VISTA PHASE 2, DOC# 201906008728 OPR) |
|---|--|



DETAIL "A"
SCALE: 1" = 20'

TYPICAL BUILDING SET-BACKS

FOR HIGH DENSITY CLASS LOTS SERVED BY BOTH A CENTRAL WATER SYSTEM AND CENTRAL SEWER SYSTEM IN THE CITY'S ETJ, THE MINIMUM SIDE SETBACK SHALL BE 5 FEET, THE MINIMUM FRONT SETBACK SHALL BE 20 FEET AND MINIMUM REAR SETBACK SHALL BE 10 FEET.



Civil Job No. 8547-49; Survey Job No. 8547-00 4S RANCH, UNIT-6B